



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

May 24, 2021 • 5:30pm • 1111 Main Street



City of Conway HISTORIC DISTRICT COMMISSION

May 24, 2021

Due to restrictions imposed because of COVID-19, the Historic District Commission meeting will be broadcast on the City of Conway [Facebook](#) and [YouTube](#) pages. Please submit questions/comments via [email to Planning Staff](#) by 3:00pm the day of the meeting.

MEMBERS

Steve Hurd, Chairman
Emily Walter, Vice-Chairman
Shelby Fiegel, Secretary
Marie Cason
Liz Hamilton
Shane Lind
Margaret West

Call to Order.

Roll Call.

Approval of Minutes. April 26, 2021

I. Public Hearing Items -Old Conway Design Overlay District

- A. 2016 Cross Street - Exterior modifications (HDC2021MAY01)
- B. 1406 Scott Street - New office/storage building (HDC2021MAY02)
- C. 911 Oak Street - Fence variance (HDC2021MAY03)

Adjourn.

APPLICANT/OWNER/CONTRACTOR

Niki Thompson / Storybook Renovations
2759 Carl Stuart Rd
Conway, AR 72034



SITE

Address. 2016 Cross St.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay Suburban District.

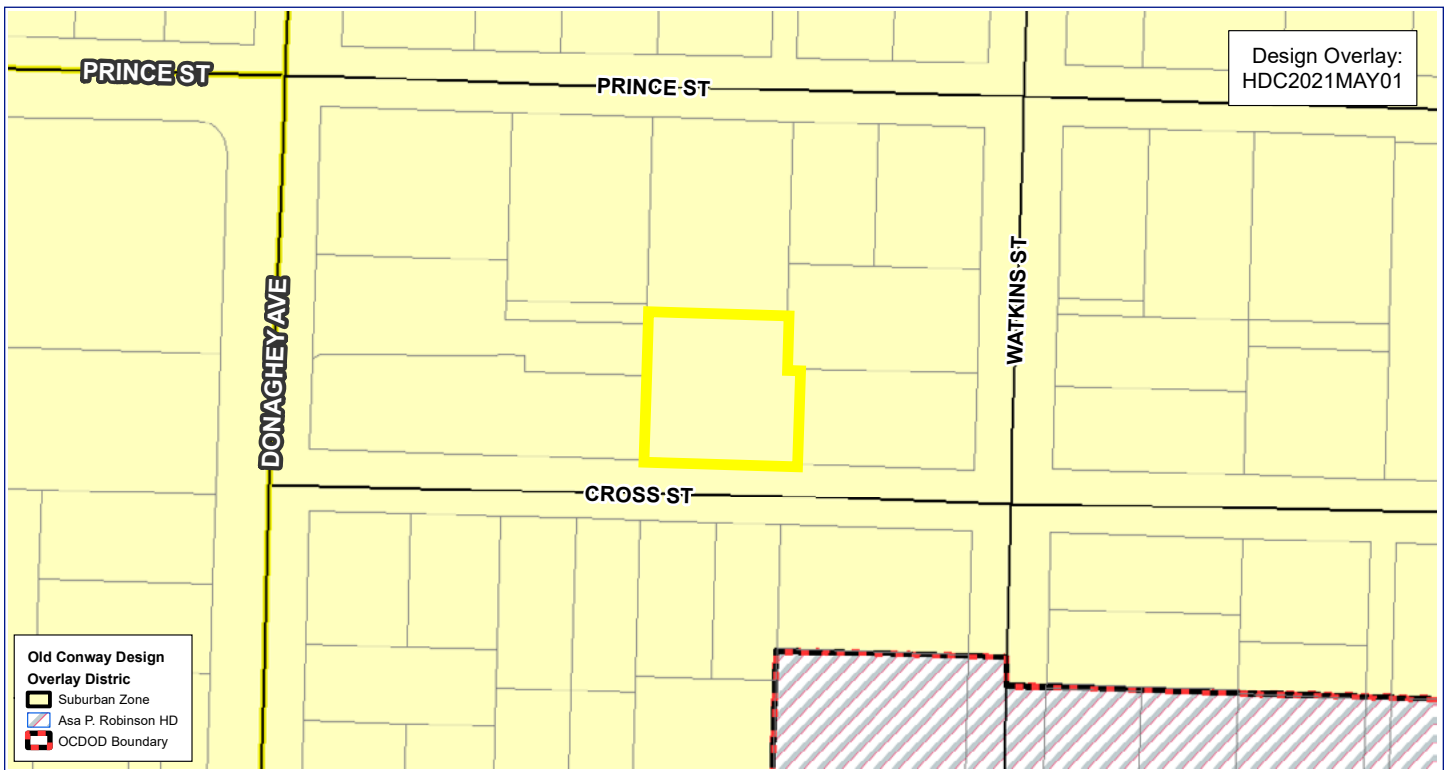
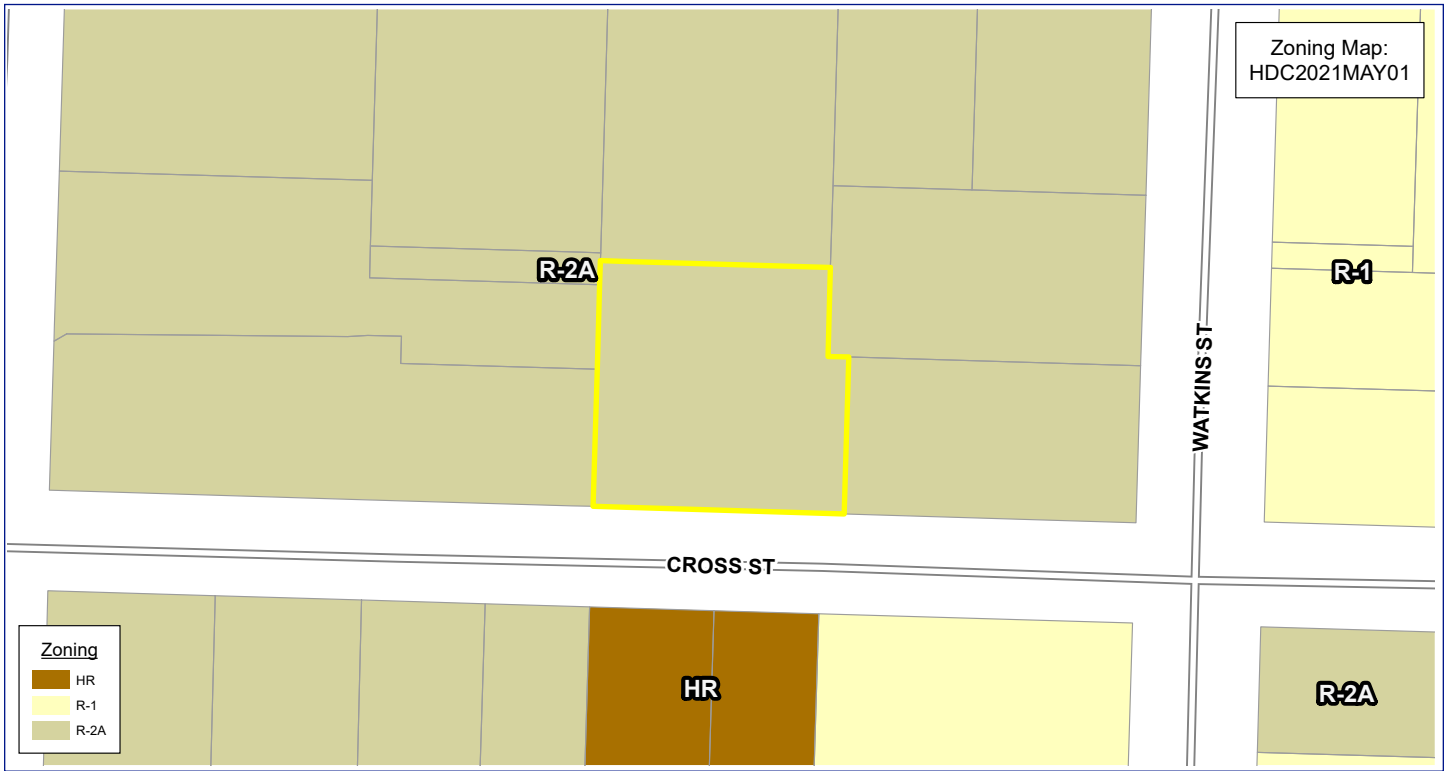
Abutting Zoning. R-2A (Two-Family Residential) and HR (Historical Residential), Old Conway Design Overlay Suburban District.

Lot Area. 0.31 acres ±.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Cross St. Area structures consist of a mix of simple ranch-style and craftsman homes. The south side of Cross St has seen significant in-fill and re-development with several more contemporary residences.

General Description of Property and Proposed Development. The existing residence is a one-story, ranch-style house constructed in 1967. The applicant is proposing to renovate the 1960's home, including reverting the now enclosed garage back to its original use, adding a low fence surrounding the patio on the southeast corner of the house, replacing wooden inserts with glass, and replacing existing aluminum windows with like-design vinyl windows.

Fences/Walls. Fences may be constructed of wood, iron, brick, or stone. Fences in front yards shall be no more 3.5' tall. *The applicant is proposing a 40" tall wood fence around the patio on the southeast corner of the home which is considered part of the front yard. The proposed fence height and material are appropriate.*



Tree preservation. Significant existing trees (8" or greater in diameter) and all trees which exist within street rights-of-way in Old Conway should be protected and preserved.

It is not anticipated that any trees will be impacted by the project.

Garages & Outbuildings. The applicant is proposing to convert the attached garage, which was previously enclosed, back to its original state.

The proposed garage door is more modern in design, but given the younger age of the structure the design is acceptable.

DESIGN ELEMENTS

Doors & Windows. Windows should be of divided-light construction, where divided light windows are proposed. Fake muntins are not permitted.

The applicant is proposing to replace all existing aluminum windows with vinyl, replace a section of windows on the rear with French doors, and remove a section of windows and replace with a long transom, to accommodate the master bathroom renovation. The applicant is proposing to replace the windows with a like-design to existing which are primarily horizontal sliding; no divided light windows are proposed. The proposed windows and door design are consistent with the style and age of the residence and therefore appropriate.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Siding and exterior cladding should be stone, stucco, wood, brick, etc.

No change of cladding is proposed in the scope of work. Any change to exterior cladding would require review and approval by the Commission.

RECOMMENDATION

Staff recommends approval of the application with the following conditions:

1. Fence height, in the front yard, shall not exceed 42" and shall be of wood.
2. Replacement windows shall be of like-design to existing as per the applicant's proposal.
3. Stone detailing on the front shall remain unpainted.

2016 Cross Street - Exterior Modifications

Old Conway Design Overlay District

I.A



View of subject property looking NE



View of subject property looking NW



View of subject property looking N



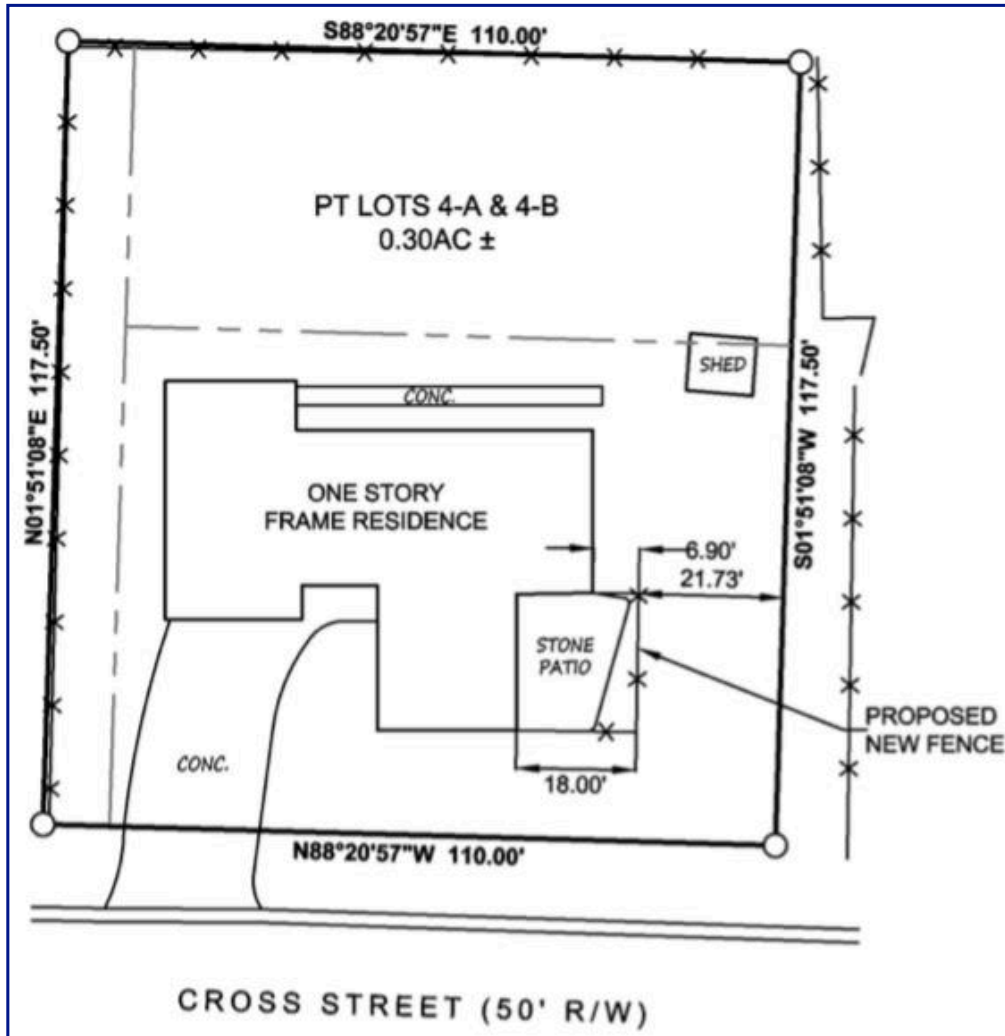
Property adjacent to the E



Property adjacent to the W



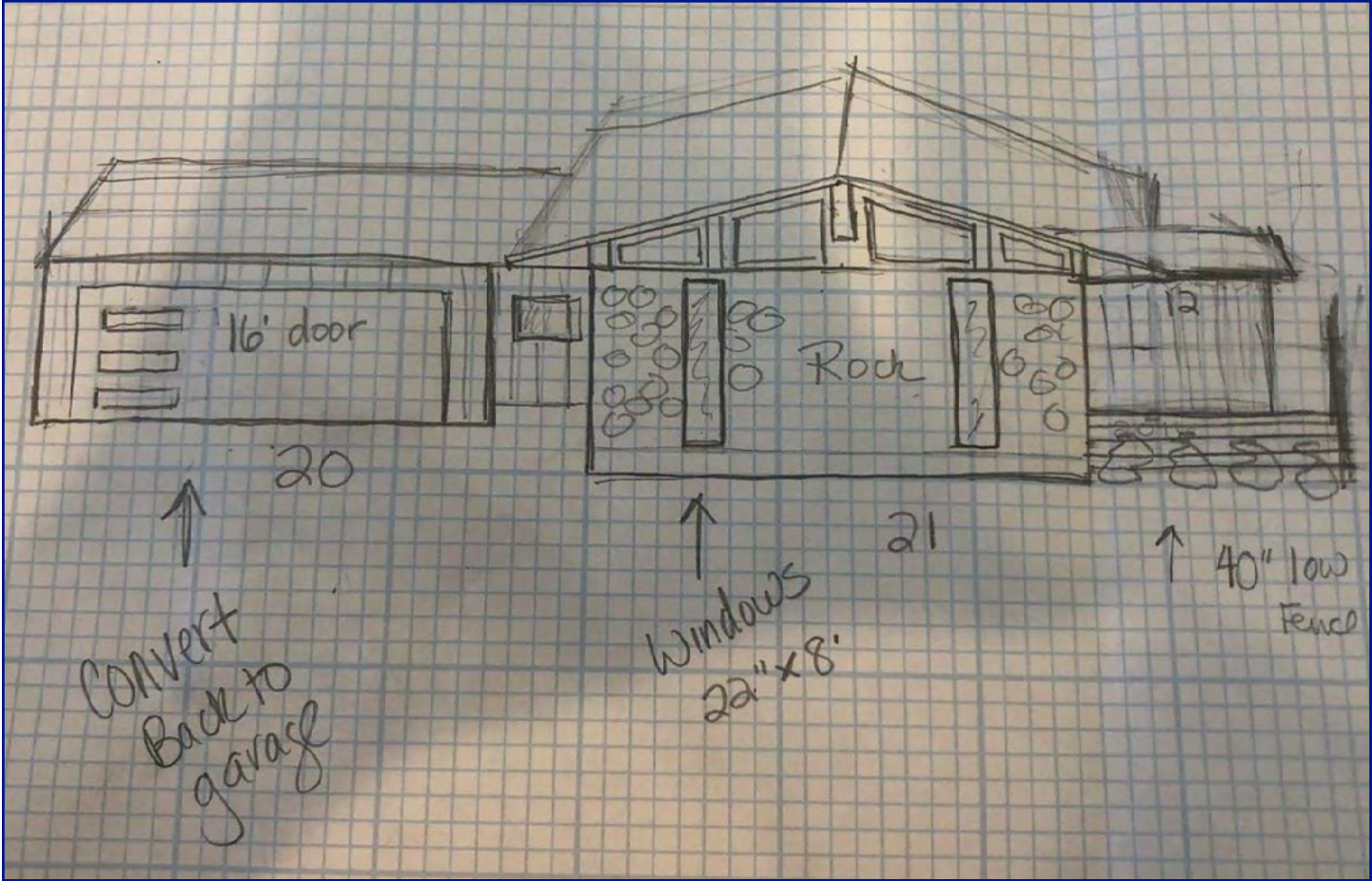
Properties adjacent to the S



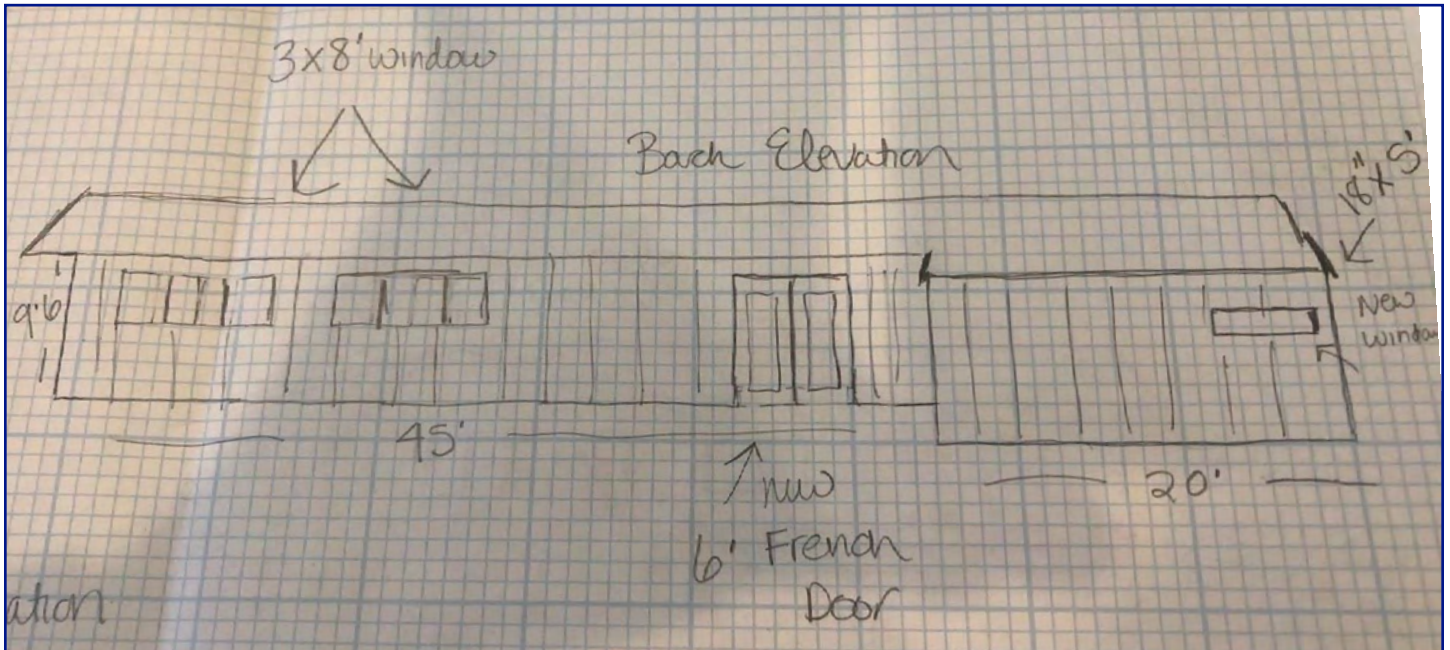
Proposed garage door



Proposed fence style



Proposed fence location



Series: Manchester

Exact Size: 96 X 36 **Rough Opening:** 96 3/4 X 36 1/2

**** Viewed From Exterior ****

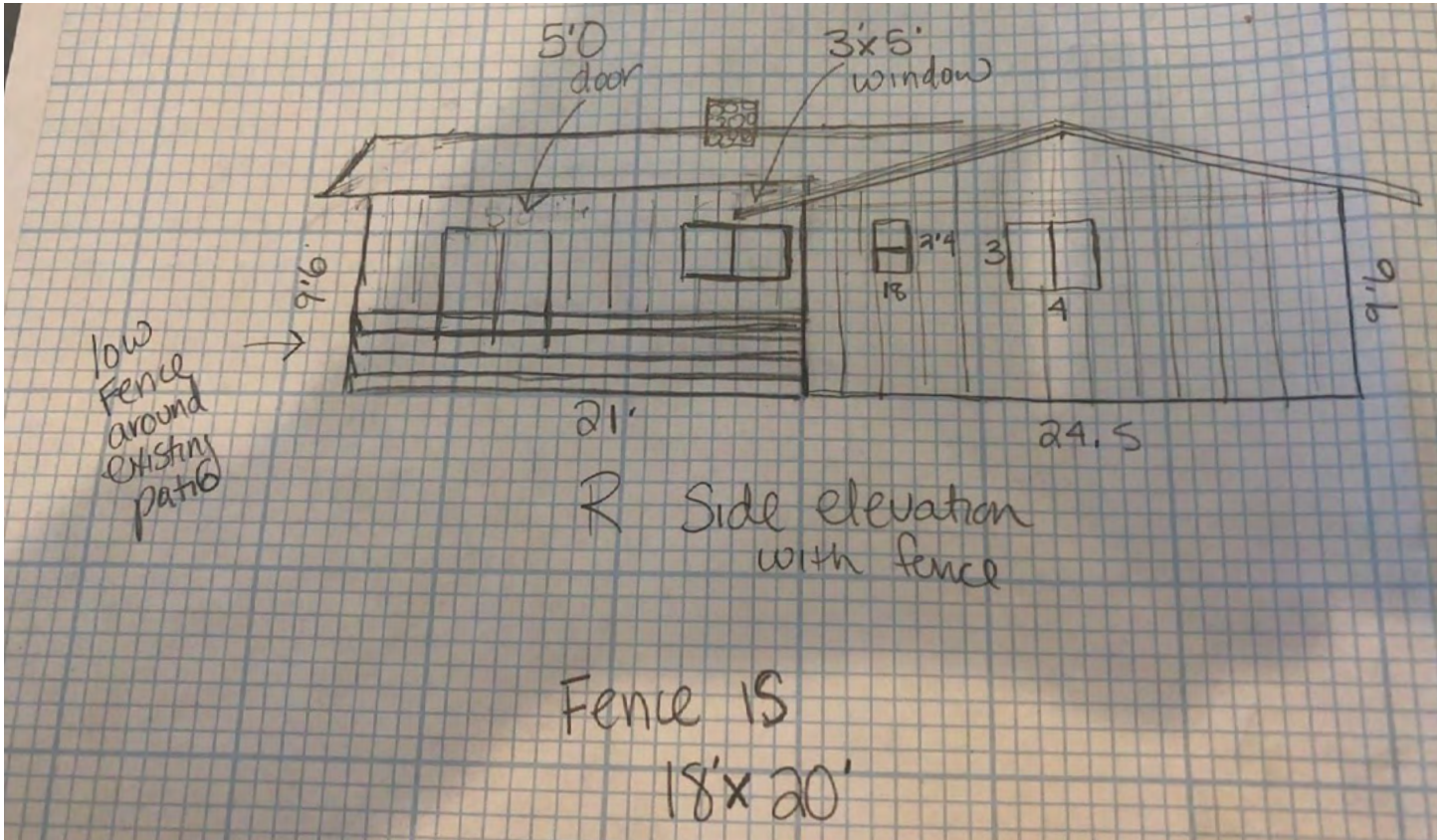
Color: Textured Black Exterior/Textured Black Interior,
Glass: Energy3S (Triple Silver), Argon Filled,
Hardware: Black, **Sash:** Sweep Lock,
Screen: Vent Screen, **Material:** BetterVue (TM), **Ship:** Screen With Product,
Install Acc: Nailing Fin, **Depth:** 2" Jamb Depth,

Unit: 1-Center Vent Slider Left **Exact Size:** 96 X 36, **Offset:** 1-3_1-3, **Meets Egress**
NFRC - U-Factor: 0.28 **SHGC:** 0.22 **VT:** 0.5 **AL:** s0.3 **CR:** 60
No DP Rating - Certification Pending
Left Glass: Cardinal LowE 366 - DSB / Clear - DSB, **Strength:** Annealed Glass
Center Glass: Cardinal LowE 366 - DSB / Clear - DSB, **Strength:** Annealed Glass
Right Glass: Cardinal LowE 366 - DSB / Clear - DSB, **Strength:** Annealed Glass

Proposed windows



View of rear of the house



Proposed windows



** Viewed From Exterior **

Series: Manchester

Exact Size: 60 X 36 Rough Opening: 60 3/4 X 36 1/2

Color: Textured Black Exterior/Textured Black Interior,
 Glass: Energy3S (Triple Silver), Argon Filled,
 Hardware: Black, Sash: Sweep Lock,
 Screen: Half Screen, Material: BetterVue (TM), Ship: Screen With Product,
 Install Acc: Nailing Fin, Depth: 2" Jamb Depth,

Unit: 1-Slider Active/Fixed Exact Size: 60 X 36, **NOT Egress.**

U-Factor: 0.28 SHGC: 0.22 VT: 0.5 AL: ≤ 0.3 CR: 60

g: R-40

g: LC-25

Glass: Cardinal LowE 366 - DSB / Clear - DSB, Strength: Annealed Glass

Glass: Cardinal LowE 366 - DSB / Clear - DSB, Strength: Annealed Glass

View of east side of house



1406 Scott Street - New Office/Storage Building

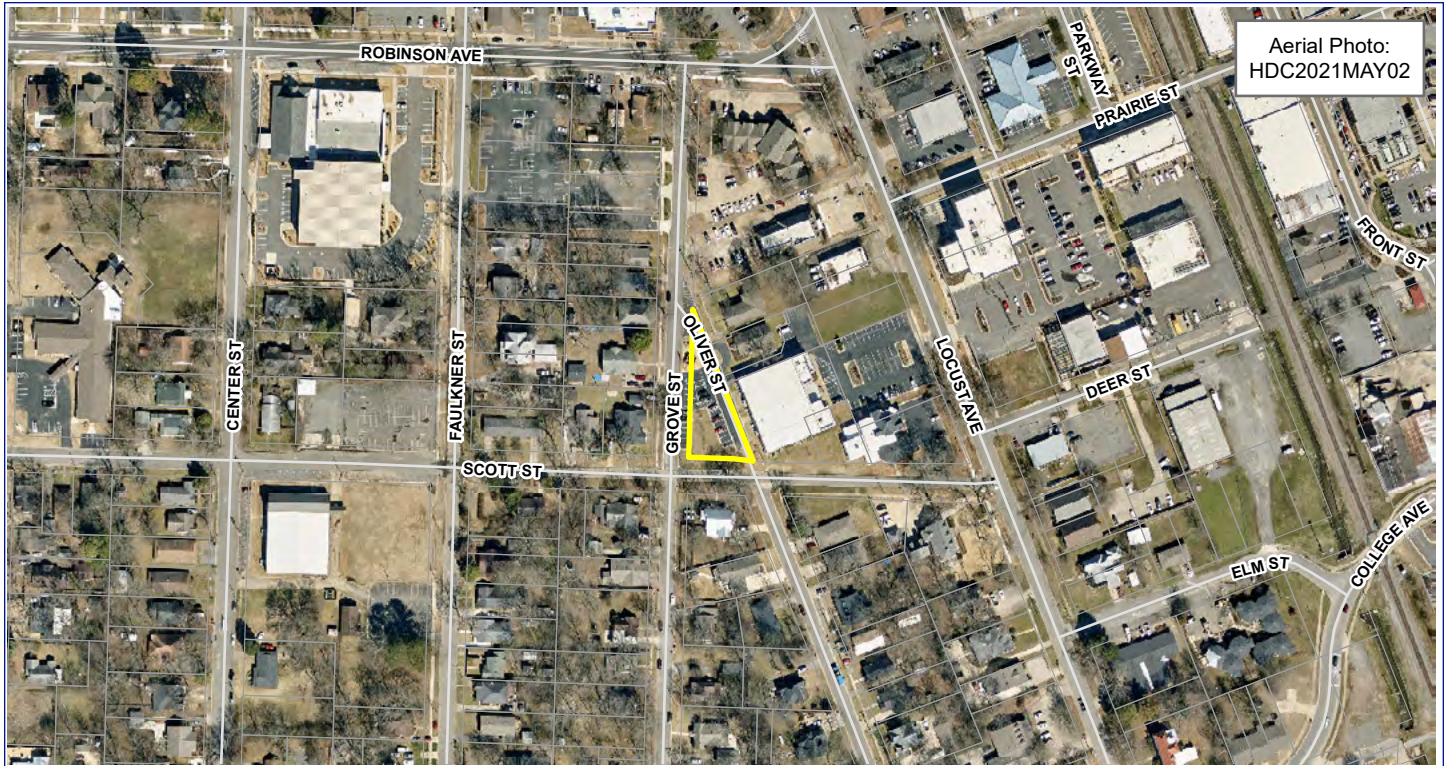
Old Conway Design Overlay District

APPLICANT/OWNER

BMA of America, LLC
PO Box 1188
Conway, AR 72033

DESIGN PROFESSIONAL

Rik Sowell, AIA / Sowell Architects, Inc.
1315 North St
Conway, AR 72034



SITE

Address. 1406 Scott St.

Present Zoning. C-1 (Central Business District), Old Conway Design Overlay Transition District.

Abutting Zoning. C-1 (Central Business District), Old Conway Design Overlay Transition District.

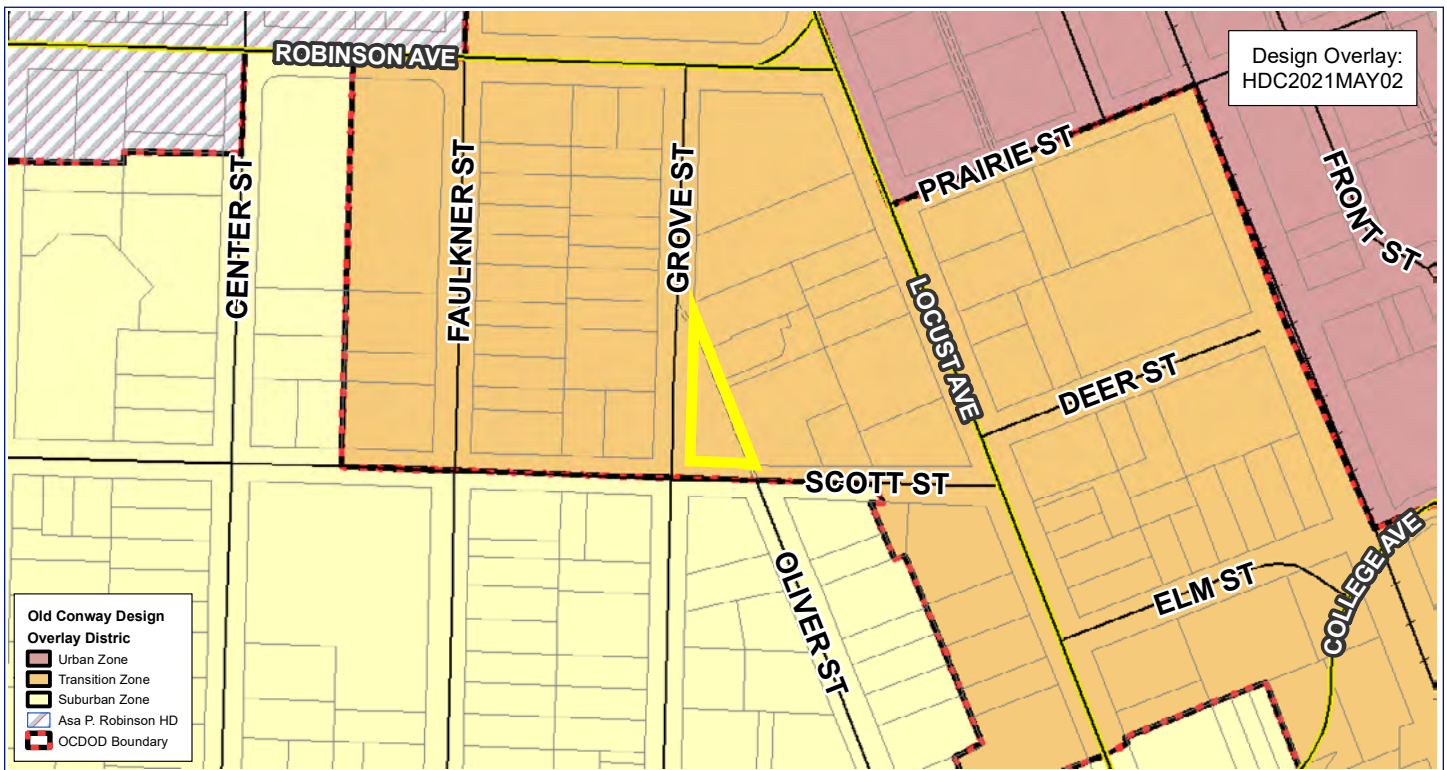
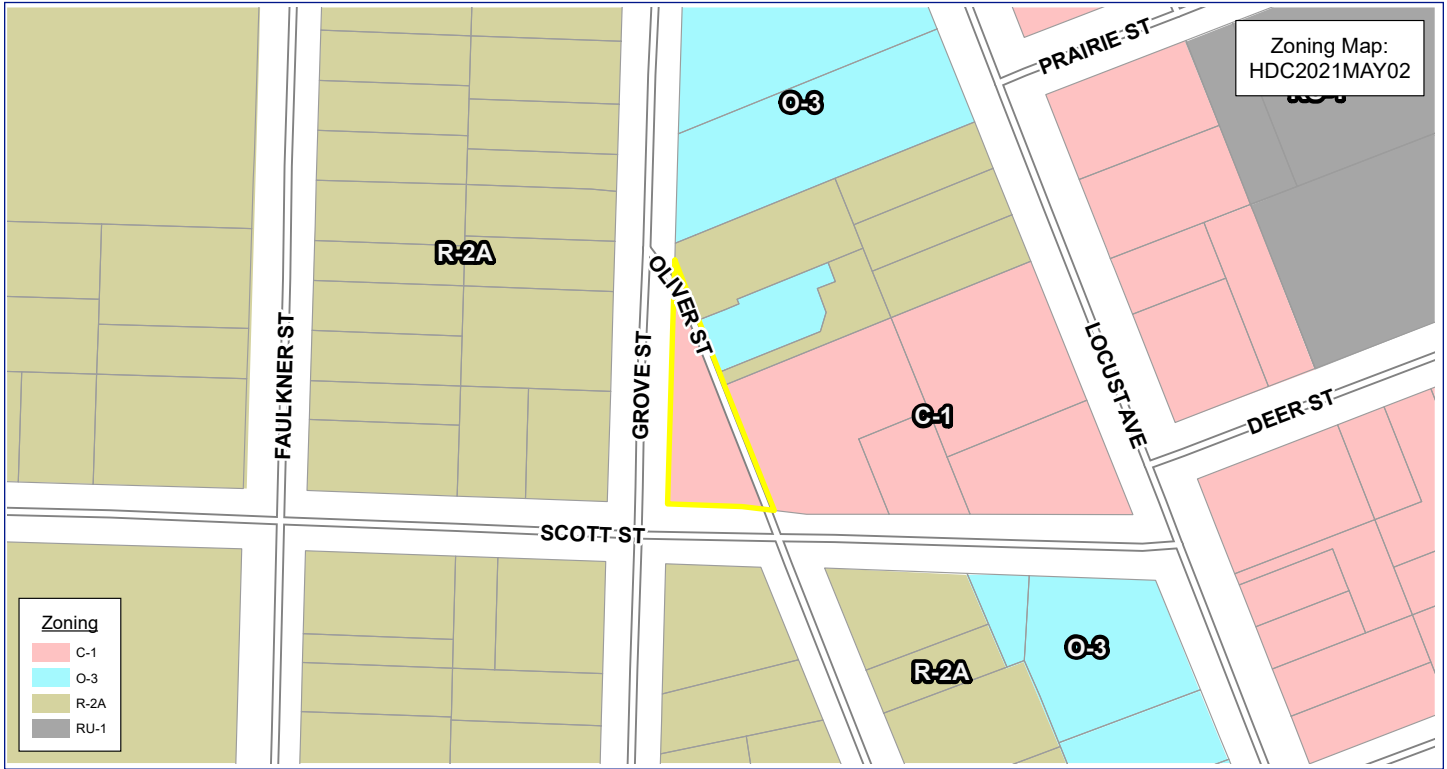
Lot Area. 0.3 acres ±.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Transition District on the north side of Scott St. Area structures consist of a mix of single-family residences, office structures, and residential structures which have been converted to commercial structures. These structures consist of a variety of historic and modern commercial styles.

General Description of Property and Proposed Development. The applicant is proposing to construct a new 2,280 sf office and storage structure. The proposed structure will be of a modern style consistent with the adjacent BMAA structure.

Setbacks and Spacing. Front setbacks are allowed within a range of 6' to 18'. The included drawings indicate a front setback of 10'. The other proposed setbacks conform to the zoning requirements. Side setbacks are encouraged to be narrow to create a higher density, urbanized environment.

The proposed setbacks and spacing are appropriate given the use and the site to ensure the structure maintains consistent building lines with adjacent structures and the residential feel of adjacent property.



Building Height. A maximum of 3.5 stories is permitted.

The building height of 1 story is appropriate. The structure is proposed at 22' tall at the top of its parapet wall.

Lot Coverage. Lot coverage shall be less 80% impervious.

The site is proposed to conform to these requirements.

Orientation. The front door of the home must face the street.

The front door of the structure will face the street, meeting this requirement.

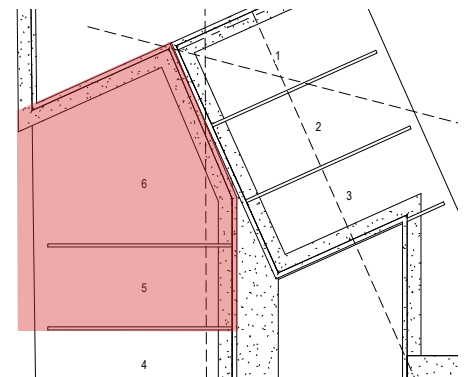
Alley. There is no alley access to this lot.

Driveway/Parking. The driveway should be located at the side and parking should be placed at the rear or side of the structure.

The driveway to the site is pre-existing.

Sidewalks. Sidewalk construction is required due to the scope of the proposed project.

The plans show partial sidewalks on the site. Plans should be revised prior to Development Review application to show sidewalks along both the Scott St and Grove St frontages along the extents of the property to the centerline of the former Oliver St ROW. The applicant may place the sidewalk on private property to accommodate a suitable ADA crossing over the former Oliver St. The sidewalk will need to be placed in a pedestrian easement. This will require removal of two parking spaces along Grove St, as indicated in the image to the right.



Fences/Walls. No fencing is proposed.

Landscaping. Canopy trees planted between the sidewalk and the street at required for each 30' of street frontage.

Plans do not include any proposed landscaping. Plans should be revised prior to Development Review application to include all required landscaping in accordance with the OCDOD Guidelines and Development Review standards. Additional landscaping of shrubs, to soften the appearance of the existing dumpster enclosure, as well as a continuous row of evergreen shrubs with a mature height of a 1.5' - 4' tall is required to screen the former southern extent of Oliver St and the proposed truck well.

Tree preservation. There are no significant trees affected by the project.

MASSING

Scale. The building should related in height, width, and size to nearby structures.

The size of the proposed structure (2,280 sf) is compatible to the over scale of structures in the surrounding area.

Directional expression. Direction expression should complement surrounding structures.

This structure will be relatively compatible to the surrounding area.

Footprint. The footprint of the structure should relate well to surrounding structures.

The footprint of the structure will be relatively consistent with surrounding structures, being 2,280 sf.

Complexity of form. The surrounding structures have relatively simple complexity of form with the structure to the west containing more detailing than many of the others.

The structure will contain a level of detailing and form that is consistent with the adjacent BMAA structure.

Façade, wall area, rhythm. The building's façade should relate to the rhythm of surrounding structures.

The openings on the front façade, while not totally consistent with all structures in the surrounding area, are consistent with the style and type of structure being built. Voids constitute 12.5% of the Grove St façade and 10% of the Scott St facade.

Style. New construction should respect the historical context of the area's architecture while expressing the contemporary nature of the new construction.

The style of the structure while not consistent with the surrounding structures, expresses a design consistent with the intent of the regulations and the adjacent BMAA building.

DESIGN ELEMENTS

Entries, Porches, and Porticos, Doors and Windows, Awnings. The porch should have a depth of at least 6' and contain a roof of materials similar to the main roof.

The front entry will be appropriate. Window designs are appropriate. Recommend requiring two additional windows on the façades of the Grove St and Scott St frontages.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on submitted plans.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Siding and exterior cladding should be stone, stucco, wood, brick, etc.

The cladding for structure will be consistent with the adjacent BMAA building.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roof forms should respect the character of the surrounding area in slope and style.

The roof is consistent with the intent of the design and will be compatible to the intent for the area.

RECOMMENDATION

Staff recommends that the application be approved with conditions and modifications to the design as indicated below:

1. Provide sidewalks along both the Scott St and Grove St frontages along the extents of the property to the centerline of the former Oliver St ROW. The applicant may place the sidewalk on private property to accommodate a suitable ADA crossing over the former Oliver St. The sidewalk will need to be placed in a pedestrian easement. This will require removal of two parking spaces along Grove St as indicated in the staff report.
2. The property shall be platted prior to issuance of building permits.
3. In addition to all landscaping required for development review approval, additional landscaping of shrubs to soften the appearance of the existing dumpster enclosure as well as a continuous row of evergreen shrubs with a mature height of a 1.5' - 4' tall is required to screen the former southern extent of Oliver St and the proposed truck well.
4. Require two additional windows on the façades of the Grove St and Scott St frontages.
5. All mechanical equipment shall be placed in a manner to minimize view from the street, and may be placed rooftop or along a side or rear façade.
6. The applicant will address required revisions as part of the development review process. Issuance of a COA shall be held until confirmation of these required revisions being addressed with approval of the development review application.

1406 Scott Street - New Office/Storage Building

Old Conway Design Overlay District

I.B



View of site looking NE



View of site looking NE



Property adjacent to the W



View of the site looking E



Property adjacent to the SW

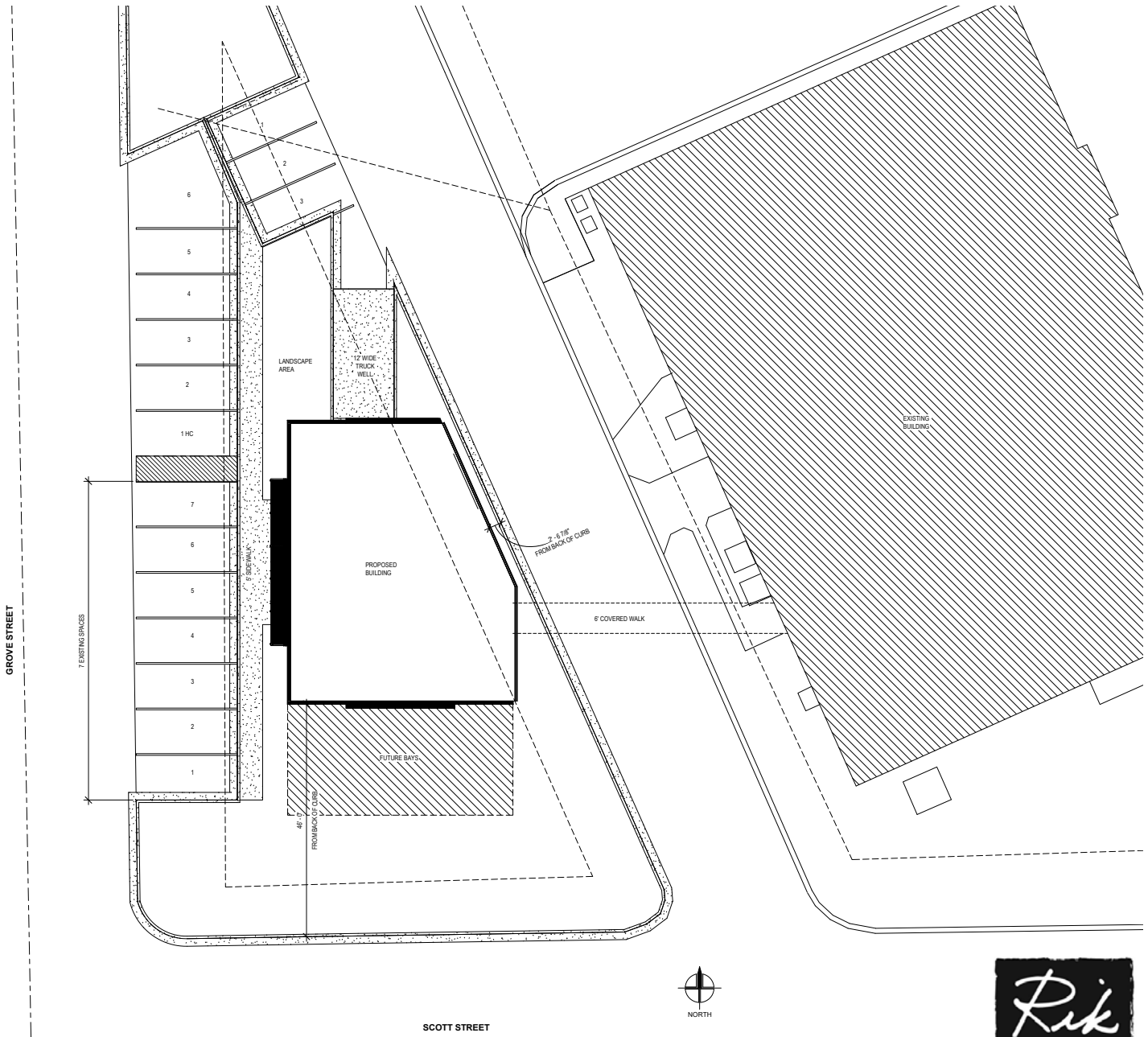


Property adjacent to the S

1406 Scott Street - New Office/Storage Building

Old Conway Design Overlay District

I.B



1 Site Plan
1" = 10'-0"

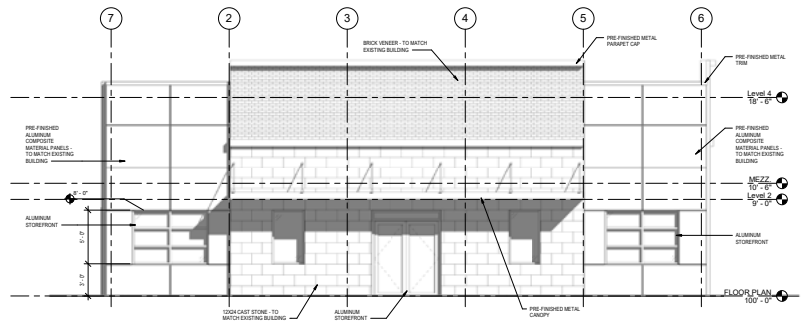


1315 North Street
Suite 100
Conway, AR 72034

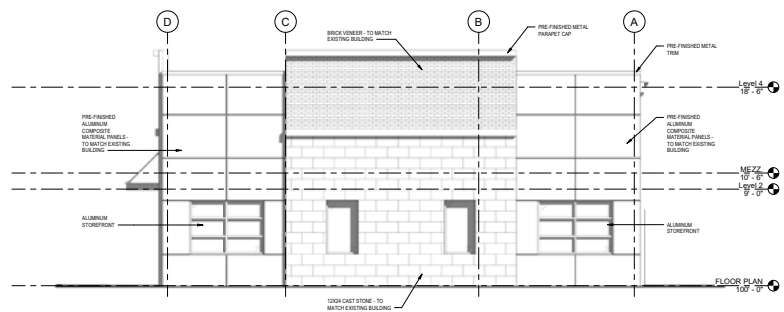
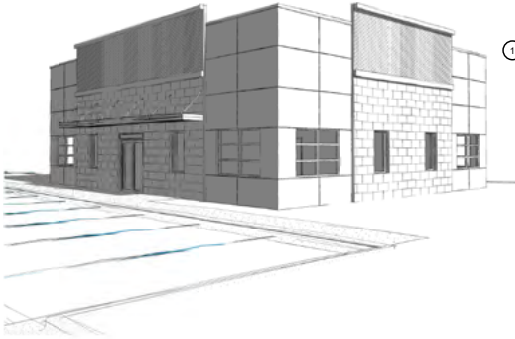
501.450.9633
info@sowellarchitects.com

1406 Scott Street - New Office/Storage Building

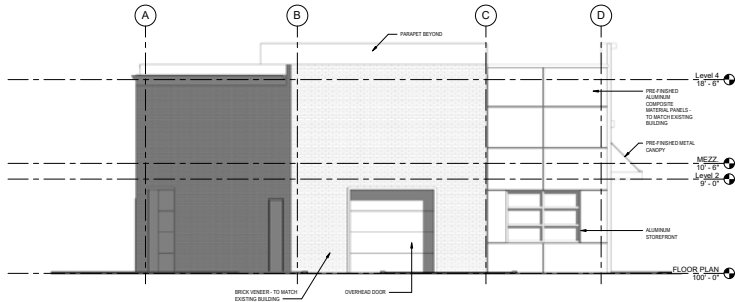
Old Conway Design Overlay District



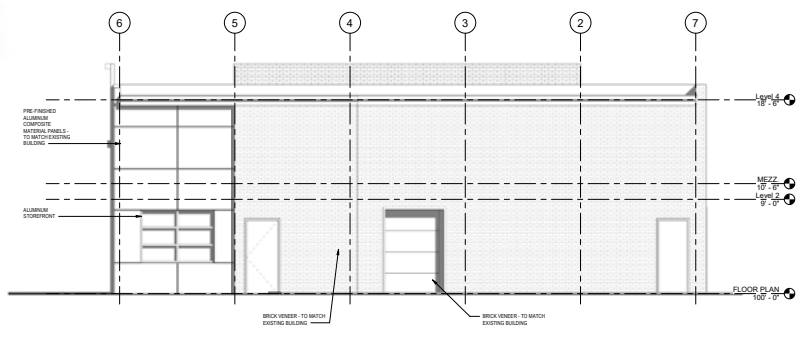
1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



2 EAST ELEVATION
1/4" = 1'-0"

911 Oak Street - Fence Variance

Old Conway Design Overlay District



APPLICANT

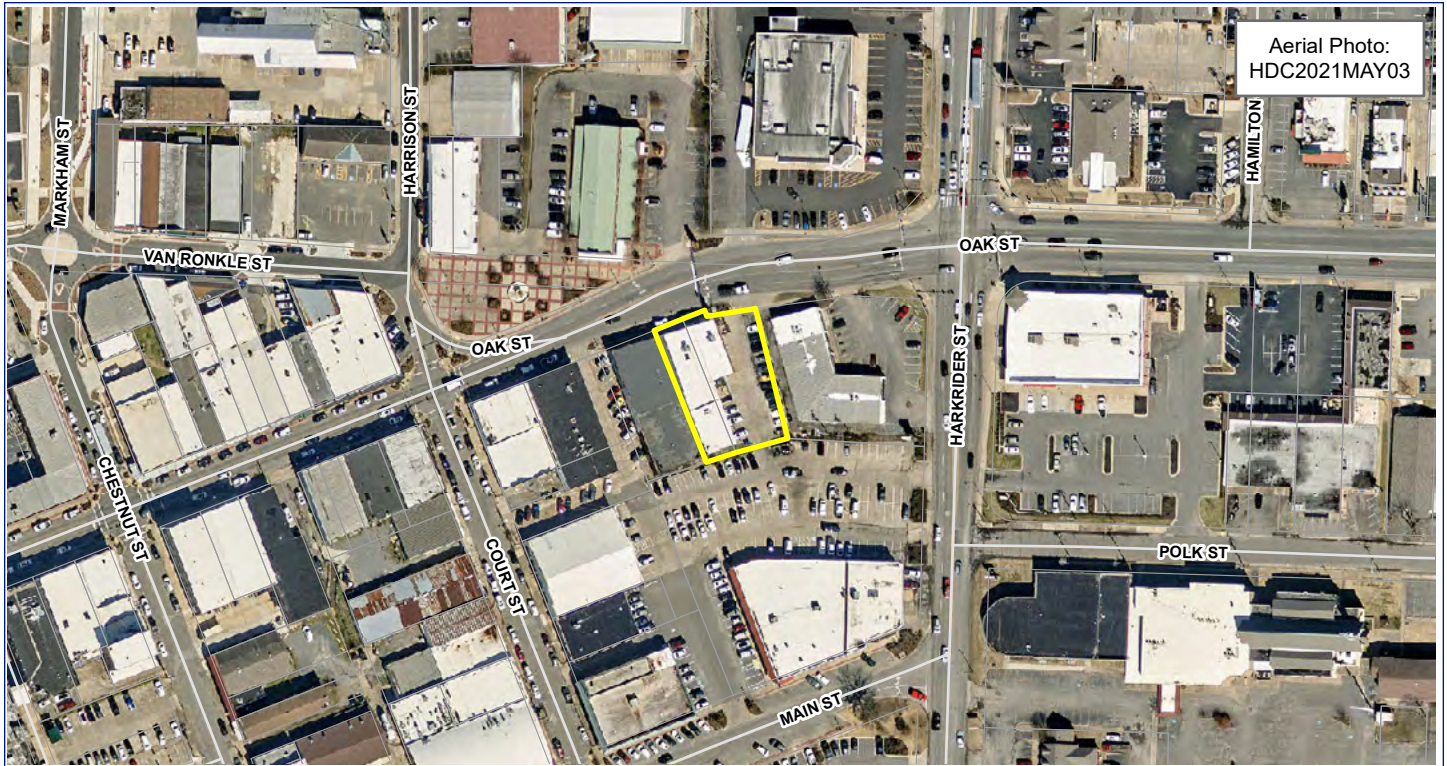
Morgan Shaw / Share The Love KidsClub
911 Oak St
Conway, AR 72032

PROPERTY OWNER

Daniel & Cynthia Newberry, Trustees
418 Polk St
Conway, AR 72032

FENCE CONTRACTOR

Legacy Fencing
1100 McNutt Rd
Conway, AR 72034



SITE

Address. 911 Oak St.

Present Zoning. C-1 (Central Business District), Old Conway Design Overlay Urban District.

Abutting Zoning. C-1 (Central Business District), Old Conway Design Overlay Urban District and Markham Street Commercial Mixed Use.

Lot Area. 0.23 acres ±.

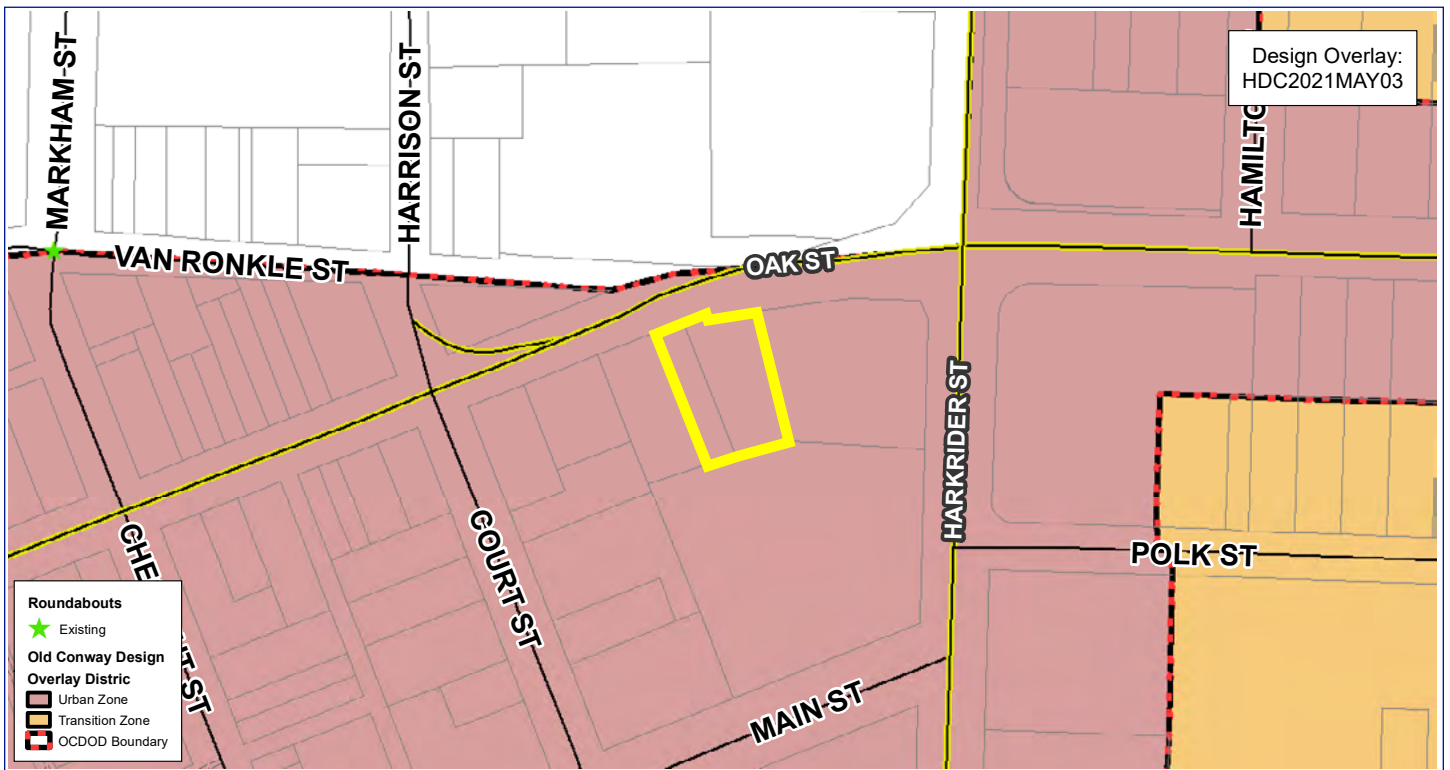
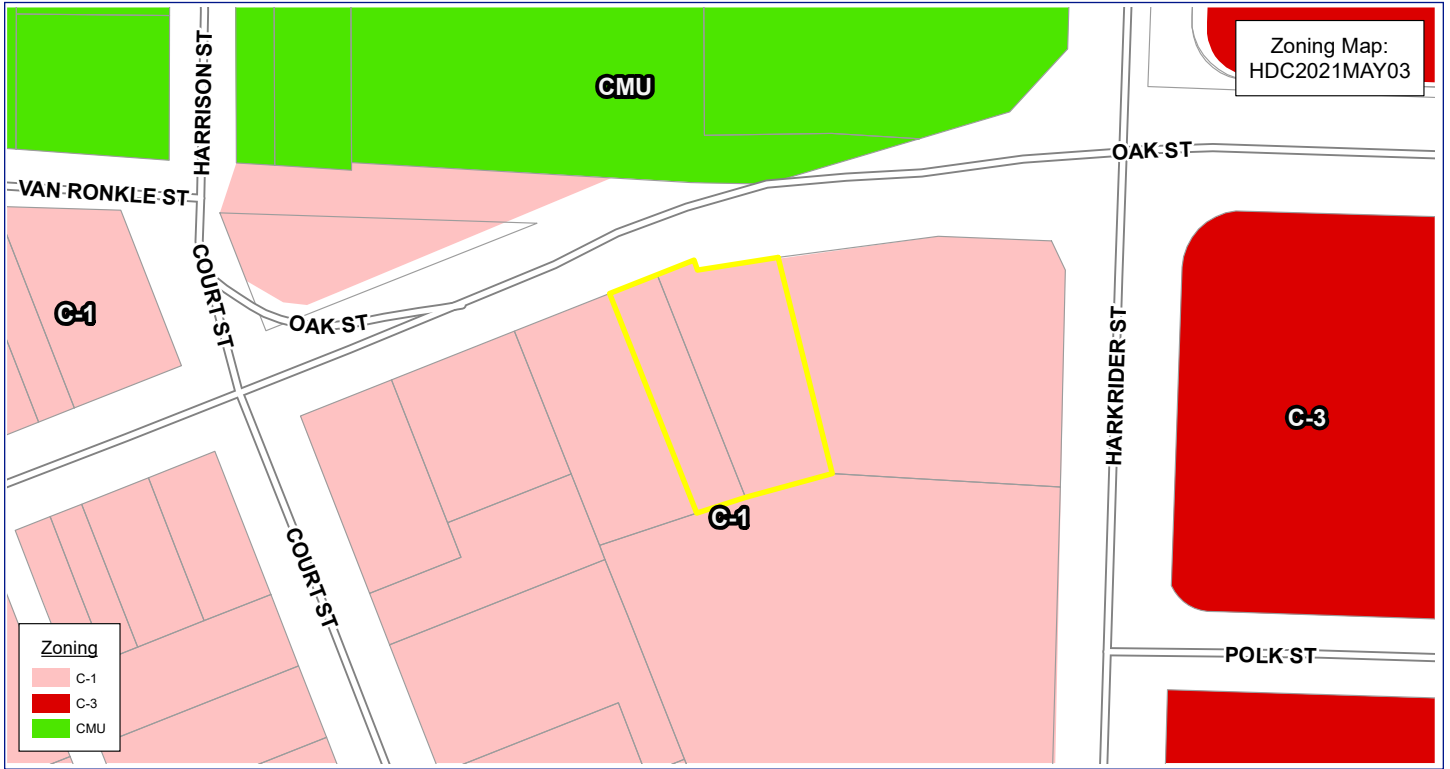
Surrounding Area Structures. The property is located in the Old Conway Design Overlay Urban District on the south side of Oak St between Court St and Harkrider St. Adjacent structures consist of commercial buildings of 20th and 19th century vernacular design in a downtown setting.

General Description of Property and Proposed Development. The applicant is proposing to obtain approval, following construction, of a vinyl fence to enclose a play area behind the building at the site. As understood by staff, the applicant was not informed by the contractor that approval is needed.

911 Oak Street - Fence Variance

Old Conway Design Overlay District

I.C



FENCES, RAILINGS & WALLS

Fences, Railings, Walls. Fences, railings, and walls shall be constructed of metal, brick, or stone. Plastic, chain link, and wood are prohibited.

The Old Conway Overlay District provisions expressly prohibit plastic fencing of which vinyl is a plastic. While many of the regulations provisions are flexible, this material is not permitted by the ordinance. The work was conducted without a permit and must be removed.

RECOMMENDATION

Staff recommends denial of the application.

Approval would violate the provisions of the ordinance. The applicant and/or property owner should remove the fencing to abate the violation.

911 Oak Street - Fence Variance

Old Conway Design Overlay District

I.C



View of fence from parking area looking NW



View of fence from parking area looking W



View of fence from parking area looking N



Property adjacent to the E



Property adjacent to the S



Property adjacent to the N

911 Oak Street - Fence Variance

Old Conway Design Overlay District

I.C

