



June 22, 2020 · Agenda

MEMBERS

Steve Hurd, Chairman
Emily Walter, Vice-Chairman
Shelby Fiegel, Secretary
David Carolina
Liz Hamilton
Taylor Martin
Margaret West

Call to Order.

Roll Call.

Approval of Minutes. February 24, 2020

I. Public Hearings - Old Conway Design Overlay District

Old Business

- A. 841 Donaghey Avenue - Sign exceeding 16 sf in area
- B. 717 Chestnut Street - New single-family residence

New Business

- C. 1830 Mill Street - Exterior modifications
- D. 1830 Scott Street - New single-family residence
- E. 1832 Scott Street - New single-family residence
- F. 2055 Harkrider Street - Exterior modifications to 4-bay service garage
- G. 1629 South Boulevard - New safe-room

II. Previously Approved Requests

- A. 1811 Harkrider Street - Breezeway enclosure

III. Discussion

- A. Items as decided by the Commission

Adjourn

Sign Exception Review

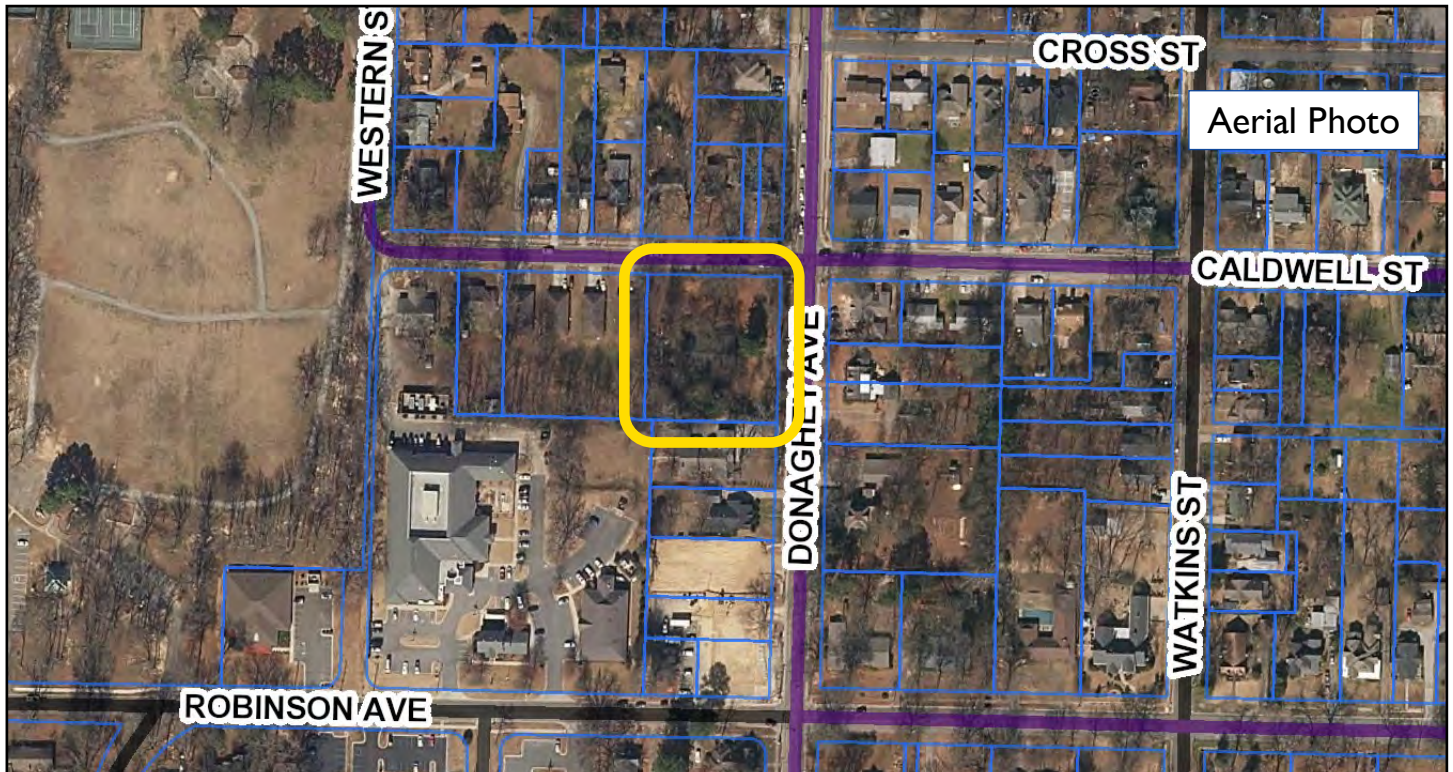
841 Donaghey Avenue - Old Conway Design Overlay District

APPLICANT/ARCHITECT

Brandon Ruhl, AIA/Taggart Architects
600 Main St, Ste 300
North Little Rock, AR 72114

OWNER

Leigh Circle, LLC/Randy Lenderman, DDS
2033 Foster Dr
Conway, AR 72034



LOCATION

Address. 841 Donaghey Ave.

Present Zoning. O-2 (Quiet Office), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the southwest corner of Donaghey Ave and Caldwell St. Area structures consist of a mix of contemporary and minimal traditional single-family homes and duplexes.

STREETSCAPE

General Description of Property Proposed Development. The applicant is proposing to construct a new free-standing monument sign in front of the recently constructed office building. The proposed sign is 35 square feet in size, with 24 square feet devoted to sign surface, and will be externally illuminated.

Most signs in the area appear smaller or comparable in size. A larger and taller sign is warranted for this location given its proximity to a major intersection and the larger size of the structure. The structure will house two tenants.

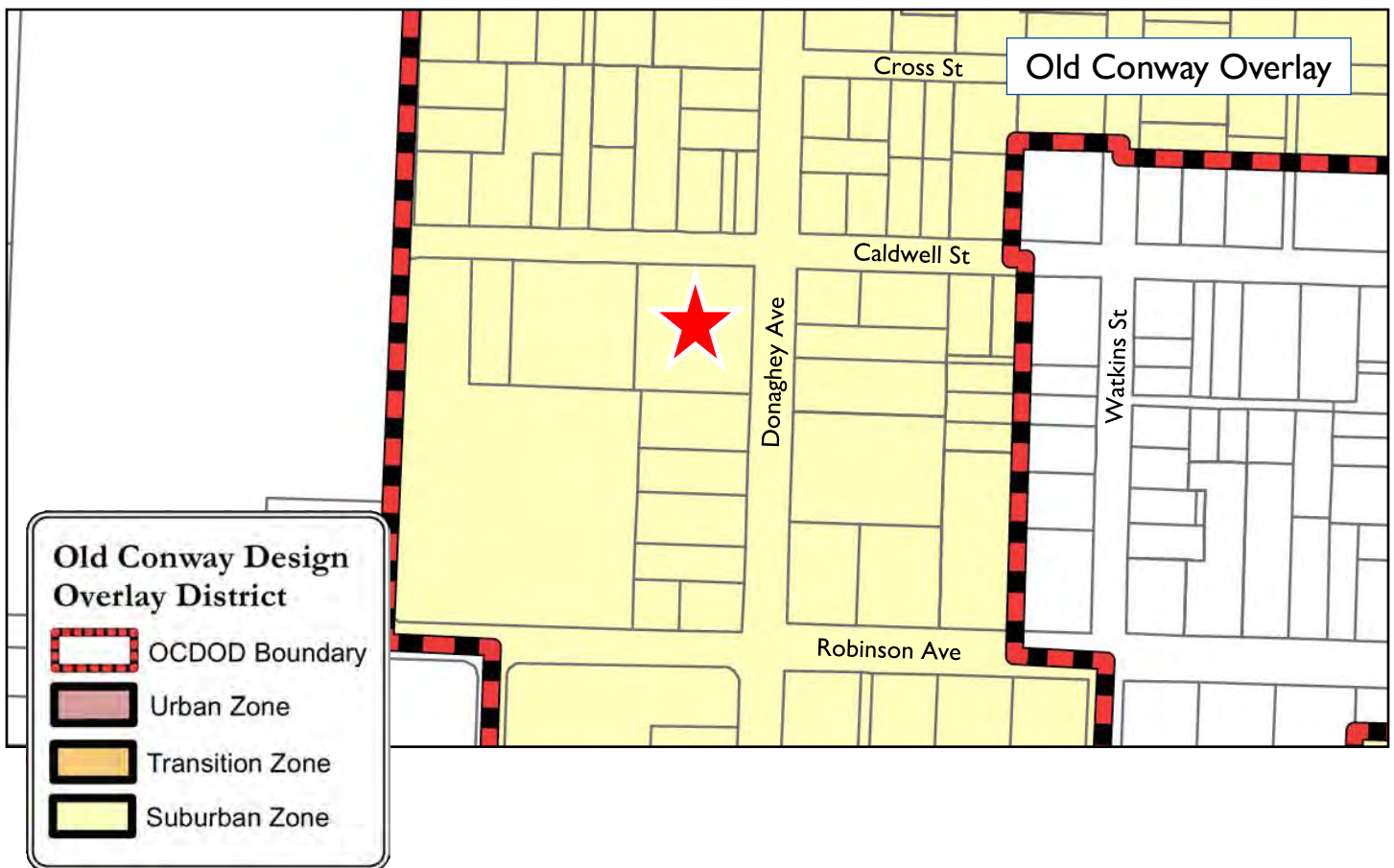
*Nearby signs: Happy Place Daycare - 32 sf Conway Regional Office - 12 sf
Farmers Insurance - 30 sf Soby's - larger than 32 sf (existing grandfathered sign) unable to measure*

RECOMMENDATION

Staff recommends approval of the sign.

Sign Exception Review

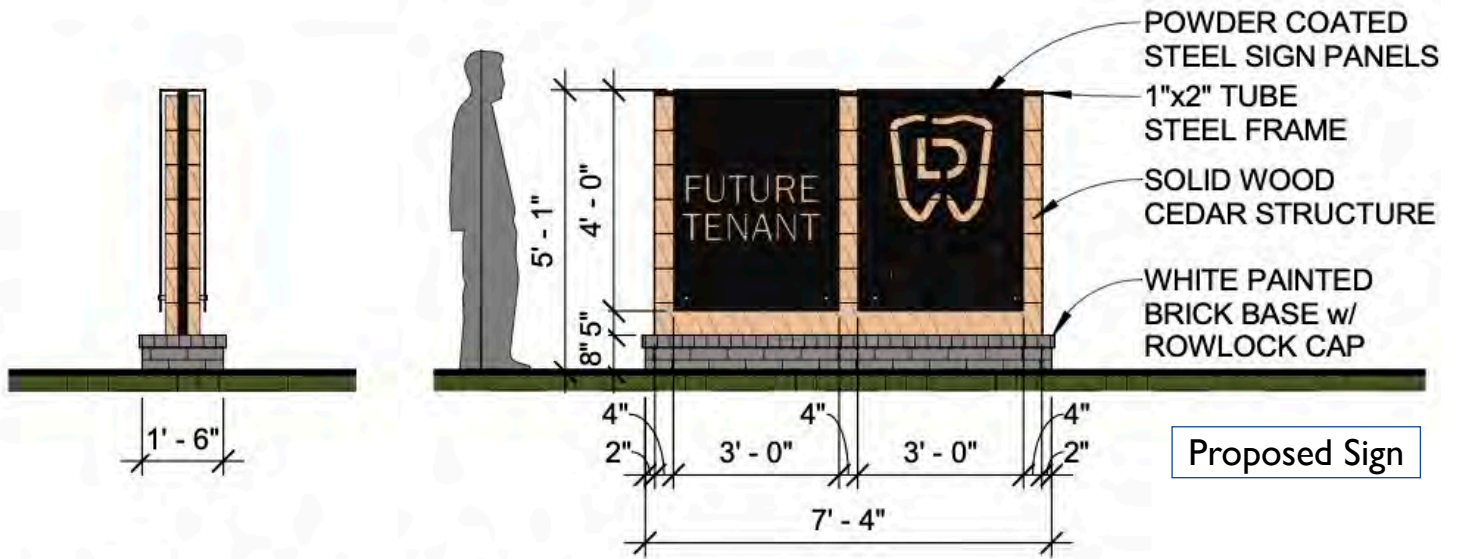
841 Donaghey Avenue - Old Conway Design Overlay District



Sign Exception Review

I.A

841 Donaghey Avenue - Old Conway Design Overlay District



Site Photos



Adjacent Properties

New Single-Family Residence

I.B

717 Chestnut Street - Old Conway Design Overlay District

APPLICANT/OWNER

Blake Allison
PO Box 672
Conway, AR 72032

ARCHITECT

Steve Hurd, AIA



LOCATION

Address/Lot Area. 717 Chestnut Street; 0.16 acres+/-.

Present Zoning. C-1 (Central Business District), Old Conway Design Overlay District - Urban Zone.

Abutting Zoning. C-1 (Central Business District), Old Conway Design Overlay District - Urban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay District - Urban Zone on the west side of Chestnut St. Area structures consist of 20th Century Commercial styled buildings.

SITE and SERVICE

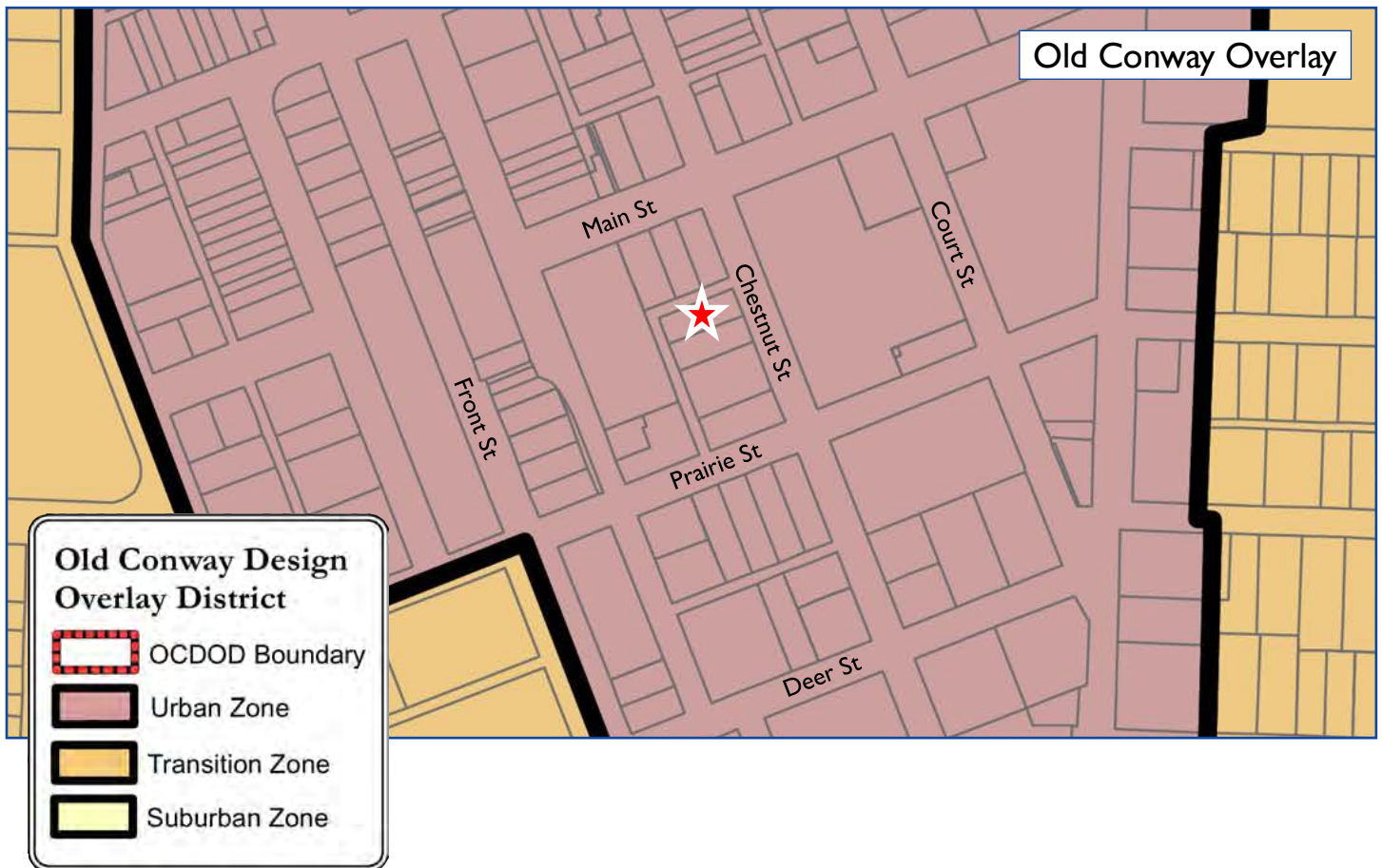
General Description of Property and Proposed Development. The applicant is proposing to construct a new single-family residence behind the existing one-story commercial structure. The proposed structure will be built as a conventional 20th Century Commercial structure.

Building Setbacks. At least 80% of any building façade, excluding the rear (facing an alley), shall be within 3 feet of a property line. The included drawings indicate a 0' setback on the north and a 4' setback on the south. The east façade faces the back of an existing structure. The west façade faces an alley.

While not meeting the requirements along the south façade, the proposed setbacks are appropriate.

New Single-Family Residence

717 Chestnut Street - Old Conway Design Overlay District



Building Heights. Structures shall have a front façade no less than two stories tall. First floor height of any building shall be a minimum of 15' high.

Meets requirement.

Landscaping and Paving. Landscaping and paving shall complement the building and general character of the Old Conway Urban Zone. No landscaping or paving improvements have been provided.

Recommend requiring three understory trees and six shrubs as indicated on the plan.

Fences, Railings, and Walls. There are no fences, railings, or walls proposed as part of this application. If any are to be constructed at a later time, the applicant shall be required to seek a separate COA.

Vehicular Access Points. Alleys should be used as the primary point of vehicular access.

The new proposed structure will be accessed from the rear alley.

Off-street Parking. Parking should be placed at the rear or interior to the lot.

The proposed parking will be adjacent to the rear alley.

Dumpsters. Dumpsters should be placed out of sight from the street or sidewalk.

While a dumpster is not necessary for the current uses on site, room should be reserved for future placement of a dumpster on-site.

Utilities and Equipment. Mechanical and utility equipment should be screened from the view of the street and sidewalk.

Recommend requiring any major utility equipment be placed or screened in a manner to ensure it is not visible from the street or sidewalk.

ARCHITECTURE

Façade Articulation. Façades should be broken into bays with articulation that prevents the appearance of flat, unbroken walls.

The design incorporates the appropriate use of coursing, corbelling, and the recessing of brick to create an appropriate level of façade articulation, particularly along those façades facing the public.

Ground-Level Façade Detail. A minimum of 2/3 of the first floor façades should be windows and all first story windows should be no higher than 3' above the ground.

Staff interprets this provision to primarily toward façades facing a street or sidewalk. The north façade shall have 25% windows (visible from Chestnut St), east façade - 16%, west façade - 32% (facing alley), south façade - 11%. All these windows are placed between 4-6 feet above the ground.

Recommend requiring windows on the east and north façades be lowered to at or near 4 feet above the ground and increased in size. Opaque glazing may be used on all windows (CURRENTLY INDICATED ON PLANS)

Building Materials. Building materials shall include brick, stone, concrete, architectural metals, stucco/plaster, and wood trim.

All proposed materials are appropriate.

RECOMMENDATIONS

Staff recommends approval of the new residence with the following conditions:

1. Require 3 understory trees and 6 shrubs as indicated on the applicant's site plan.
2. Require any major utility equipment be placed or screened in a manner to ensure it is not viewable from the street or sidewalk.
3. Require windows on the east and north façades be lowered to at or near 4 feet above the ground. Opaque glazing may be used on all windows.
4. The applicant will provide revised and corrected plans to the Planning Director for review and approval prior to issuance of building permits, if necessary.

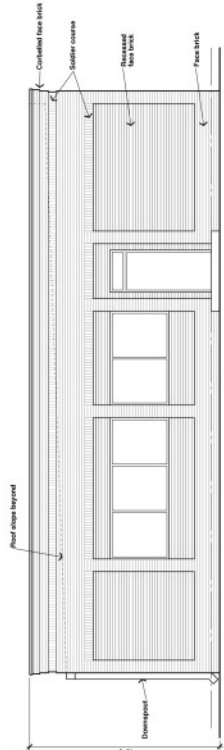


New Single-Family Residence

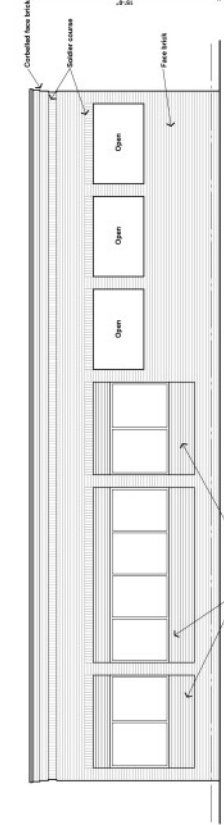
717 Chestnut Street - Old Conway Design Overlay District

I.B

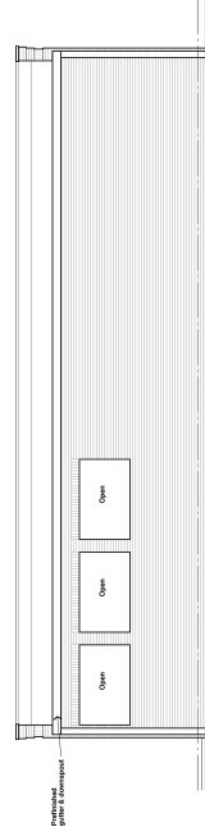
ELEVATIONS	ALLISON HOME CONWAY, ARKANSAS	HURD LONG Architects & Design Consultants, P.A. <small>101 Fox Mobile Street • Little Rock, Arkansas 72019 • 501.726.4477</small>
		PROJECT NO. _____ DATE _____ SHEET NO. A-3



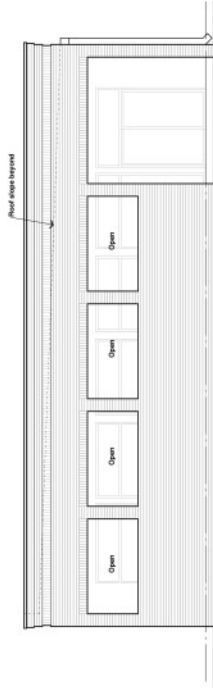
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



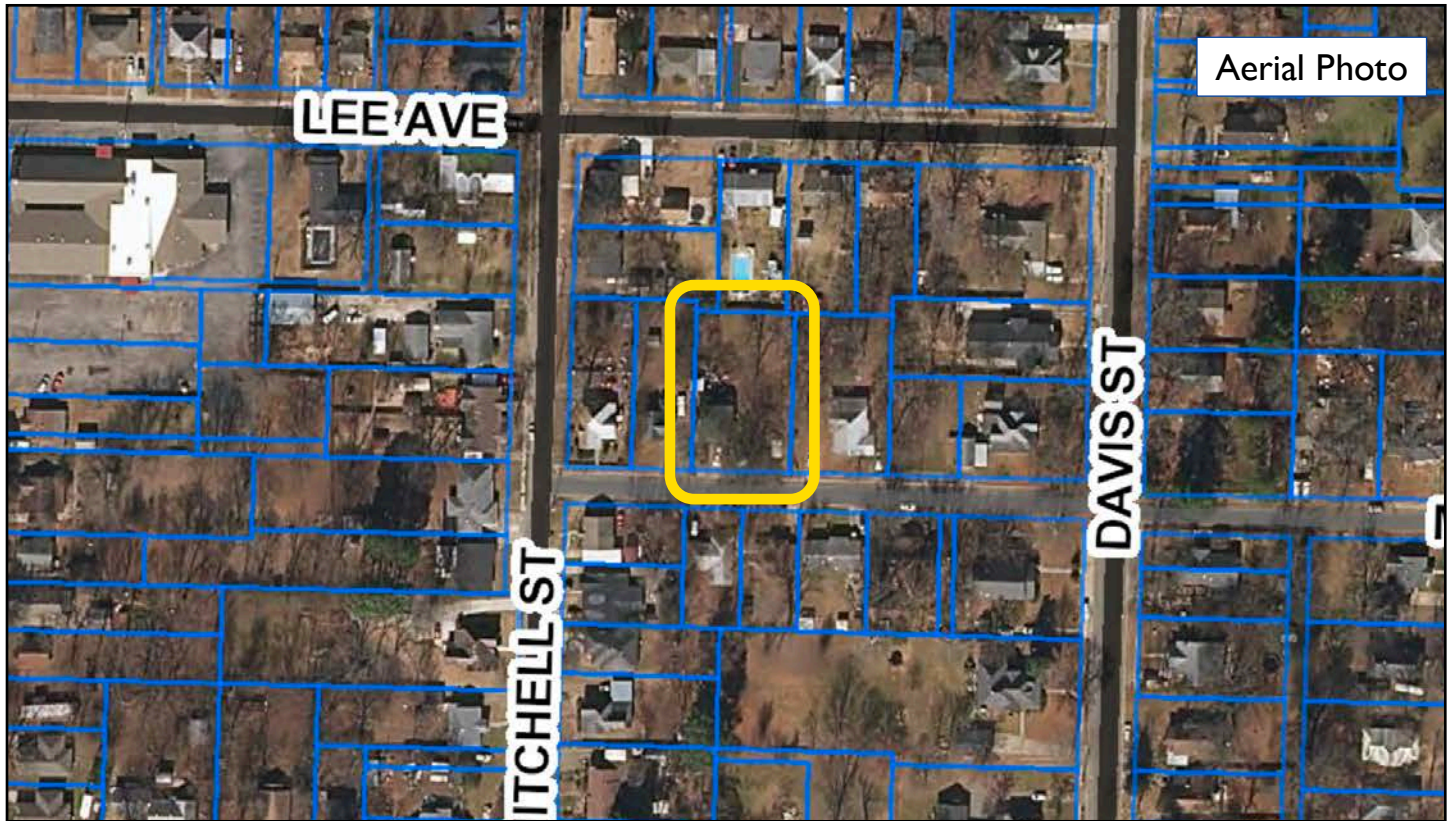
WEST ELEVATION

Exterior Remodel

1830 Mill Street - Old Conway Design Overlay District

APPLICANT/OWNER

IHN Properties, LLC/Zac Hendricks
1103 Watkins St
Conway, AR 72034



LOCATION

Address/Lot Area. 1830 Mill Street; 0.37 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Abutting Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the northside of Mill St between Mitchell and Davis Streets. Area structures consist of single-family residences in the Minimal Traditional style.

General Description of Property and Proposed Development. The applicant is seeking to renovate this existing duplex into a single-family home by modifying the interior layout. Exterior modifications will include removing both of the existing front doors to accommodate the new interior layout. A new doorway will be added to the right of the westernmost existing doorway. The applicant is proposing to replace the existing wood siding in kind and repair the existing damaged railings.

STRUCTURAL DESIGN ELEMENTS

Doors and Windows. Traditionally designed homes have distinctive window designs. Modifications should maintain these designs. The total area devoted to windows and doors for a façade should be between 25-40%. *The new doorway is proposed with wide trim and a traditional orientation. As proposed, approximately 13% of the front façade would be composed of doors and windows. It is recommended an additional window be required to the west (left) of the new doorway. This window should employ wide trim and match the 1 over 1 style of the existing windows, but may be made of different materials.*

Entries, Porches, Porticos. Entrances and porches should be the primary focal point of the structure. Roofs on porches should match the main structure. *Moving the front entry will make the front porch and steps appear off kilter. Recommend requiring an additional column and new railings to the west (left) of the proposed doorway to help reframe the porch.*

MATERIALS & DETAILING

Siding and Brick. Stone, wood, and brick are typical appropriate types of siding for structures. *The structure has existing narrow wood siding, and the applicant is proposing to replace the existing wood siding, as needed. Hardie siding is also appropriate, if matching the existing siding.*

RECOMMENDATIONS

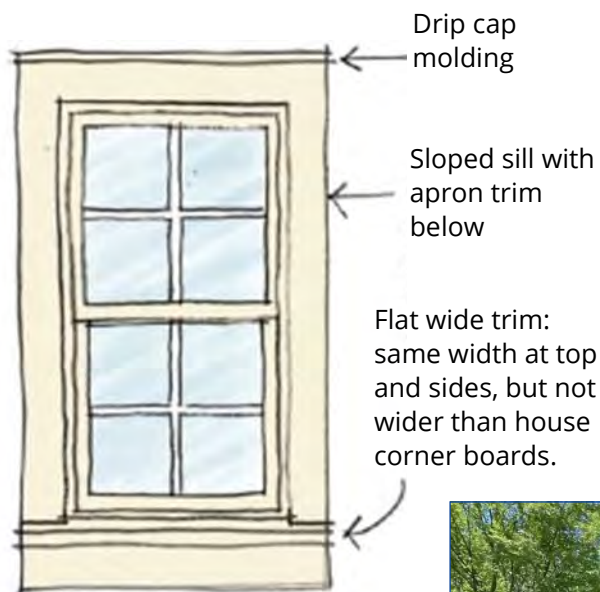
- Staff recommends approval of the application with the following conditions:
1. Require an additional window on front façade matching the size and style of the existing window.
 2. Require flat, wide trim be used for all new windows and doorways on the front façade.
 3. Require an additional column and railing to the west (left) of the proposed doorway.
 4. All mechanical equipment such as HVAC units shall be placed in manner or screened to prevent view from the street.
 5. Applicant shall provide revised drawings based on these conditions for approval by the Planning Director prior to issuance of a certificate of appropriateness or building permits.



Exterior Remodel

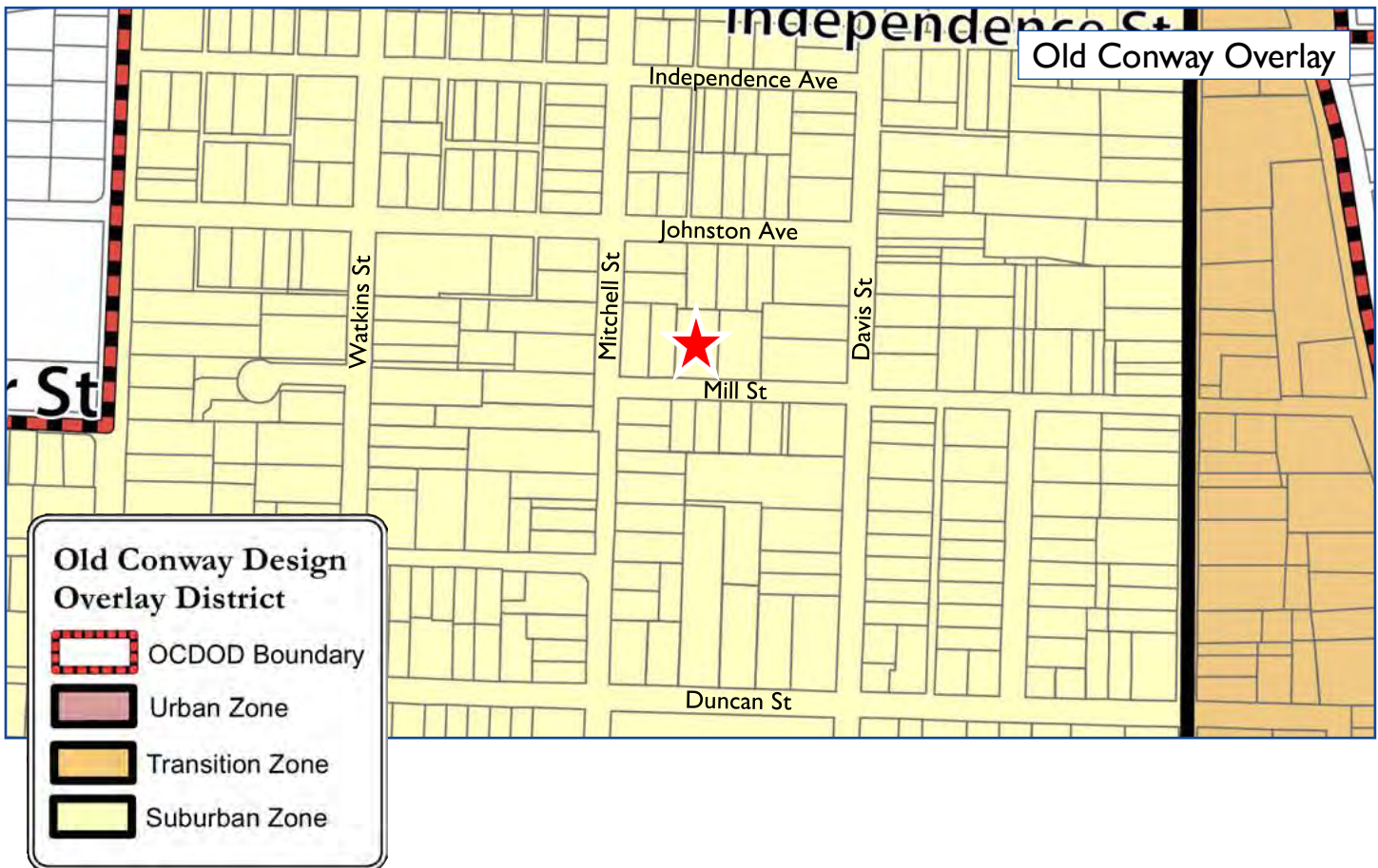
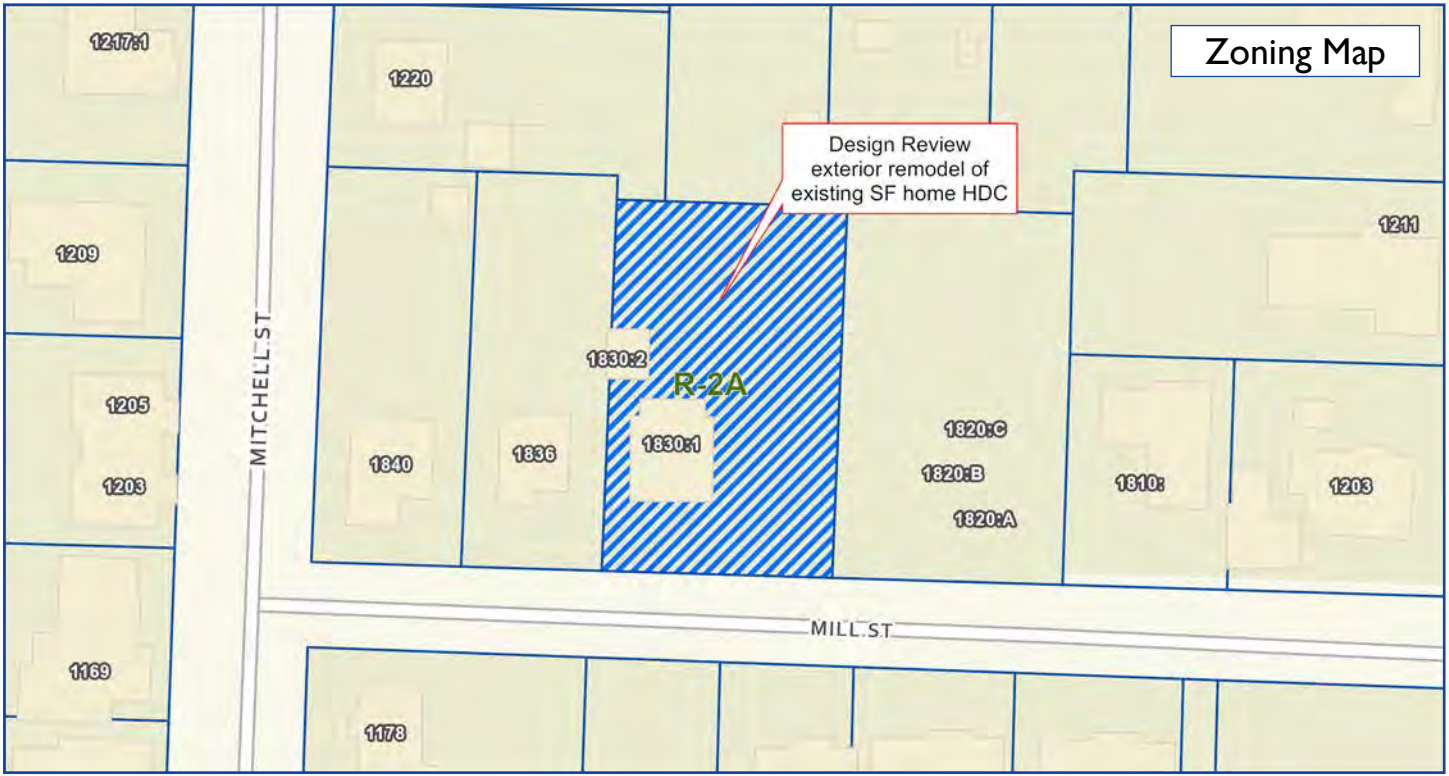
1830 Mill Street - Old Conway Design Overlay District

I.C



Exterior Remodel

1830 Mill Street - Old Conway Design Overlay District



Commercial Building Façade Change

2055 Harkrider Street - Old Conway Design Overlay District

APPLICANT/ARCHITECT

Cody Ferris, AIA/Sowell Architects
1315 North St, Ste 100
Conway, AR 72034

OWNER

Kareem Kattom
1820 Warwick Hills Ln
Conway, AR 72034



LOCATION

Address/Lot Area. 2055 Harkrider St; 1.2 acres+/-.

Present Zoning. C-3 (Highway Commercial), Old Conway Design Overlay District - Suburban Zone.

Abutting Zoning. C-3 (Highway Commercial), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the southwest corner of Fleming St and Harkrider St. Area structures to the west consist of multi-family residences and commercial structures to the south.

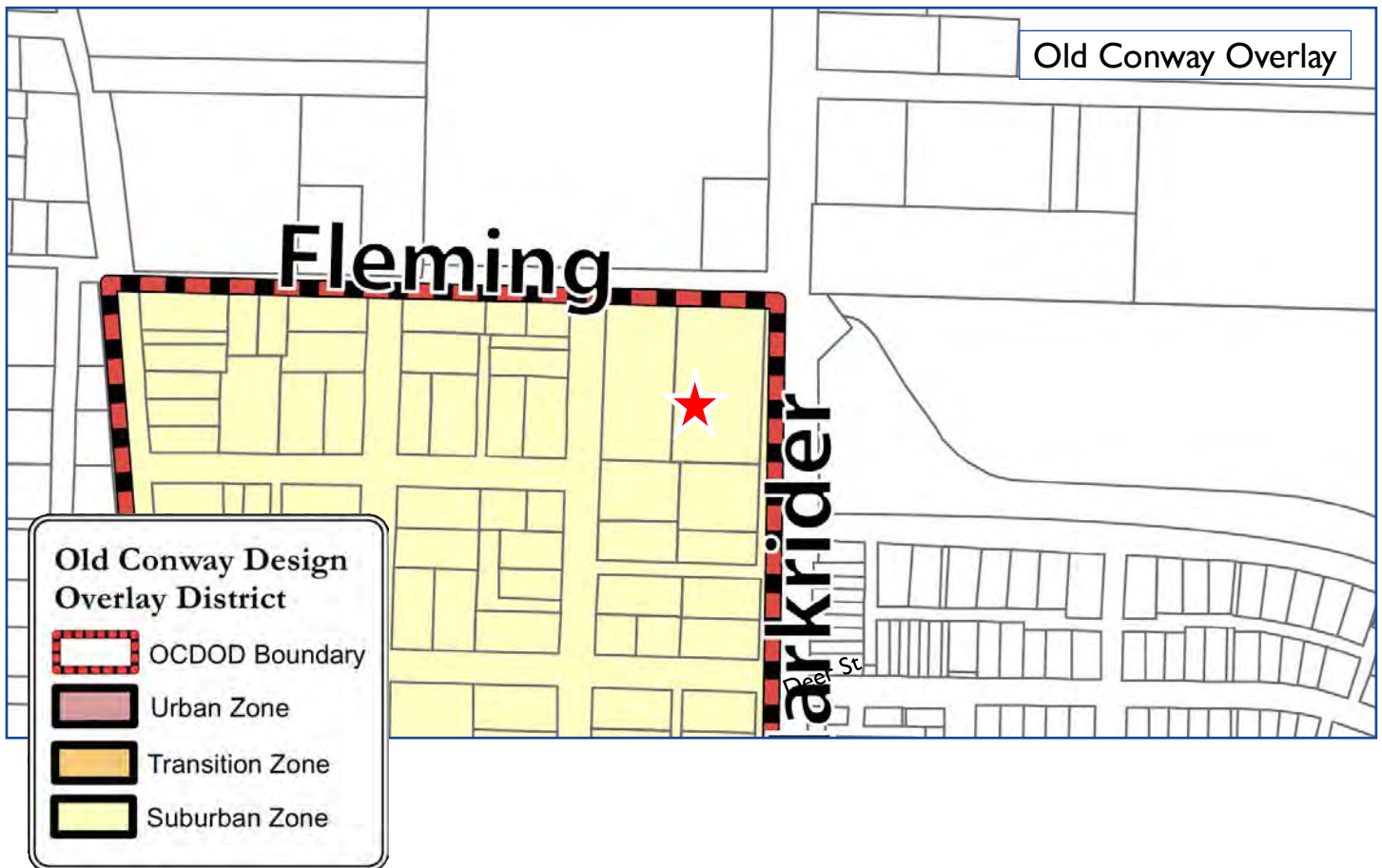
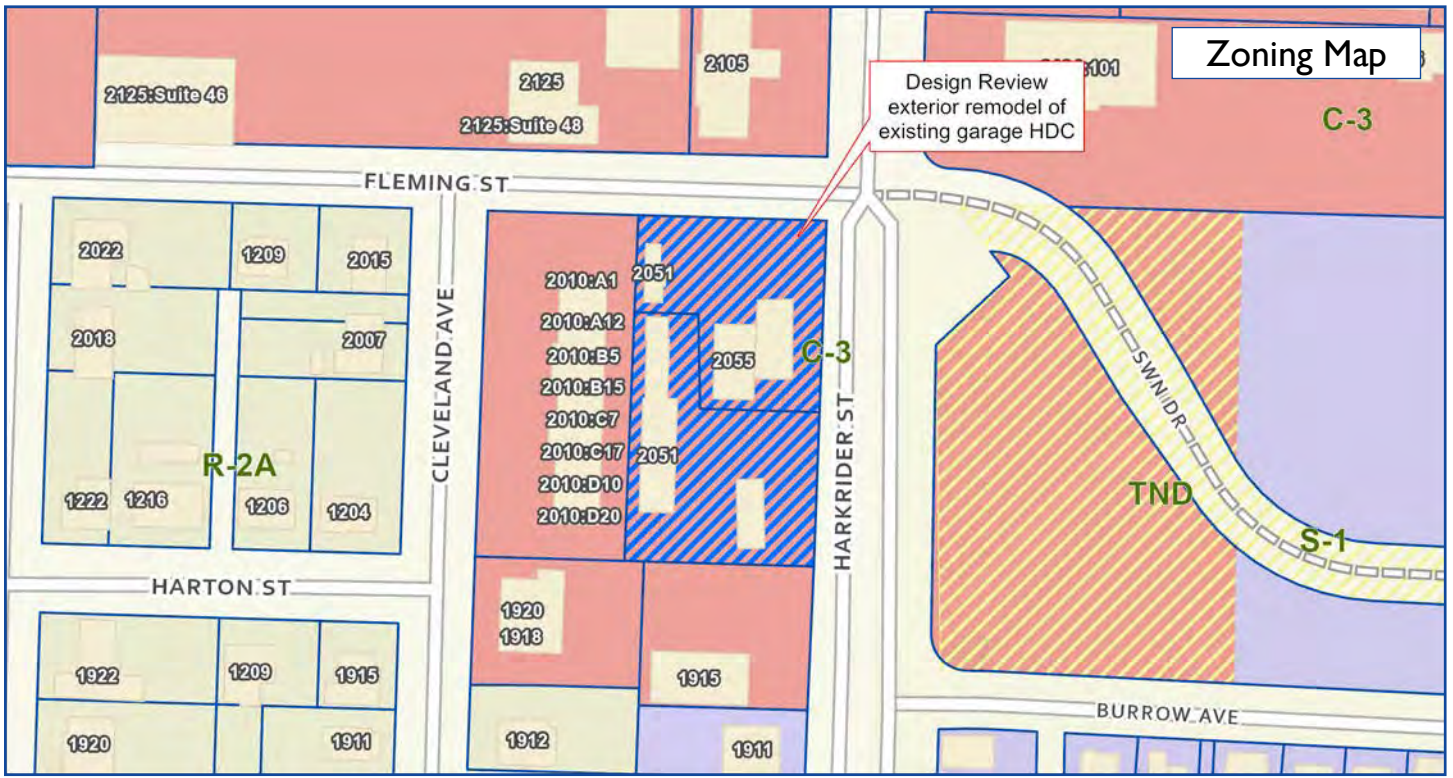
General Description of Property and Proposed Development. The applicant is proposing to rehabilitate an existing four-bay garage into a multi-tenant building which will be attached to the proposed (already approved) new Horton’s Travel Center.

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The average setback from the property line for the area is 65’, based on the properties to the south along Harkrider. The included drawings indicate a setback of 102’ for the primary structure and an approximately 33’ setback for the fueling canopy. The other proposed setbacks conform to the zoning requirements.

The proposed front setbacks are outside of the range of recommended distances, however, the structure is already existing.

Commercial Building Façade Change

2055 Harkrider Street - Old Conway Design Overlay District



Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

The existing lot coverage for the site is approximately 90%. With increased landscaping requirements, it is likely the redevelopment of site would result in reduced lot coverage.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The primary entry faces the street in a similar fashion to other structures on the street.

Alley. There is no alley access to this lot.

Driveway/Parking. Parking in the front yard is not permitted. Driveways should be concrete, pavers, or permeable paving.

The standards set forth for the Suburban Zone of the OCDOD primarily contemplate residential development. The applicant is proposing a commercial use on a commercially zoned property, therefore some of the guidance pertaining to this element of design may not be applicable. The applicant is not proposing parking improvements. While there is existing asphalt at the location, it appears to have previously housed a carwash and has been used for storage/open yard instead of parking, having no parking striping. To make use of a retail center, parking will need to be established. It is recommended the improvements be subjected to development review to ensure proper establishment of the parking lot.

Sidewalks. There are existing sidewalks along the Harkrider St frontage which shall remain as is.

Fences/Walls. No fencing is proposed, however the Urban Zone standards, which provide more standards for non-residential development, encourage the use of low street walls to screen surface parking areas.

Vehicular Access Points. The OCDOD encourages minimal curb cuts and thoughtful access.

The applicant is not proposing to alter access from that which has been approved with Horton's Travel Center. Recommend no additional access be granted from Harkrider St.

Tree Preservation. There are no significant trees affected by the project. Canopy trees shall be required for each 30' of street frontage.

Recommend requiring a landscape plan be submitted for review and approval by the Planning Director.

Height. The structure should respect the historical norms within the neighborhood.

The structure shall be 1 story keeping with the pattern of development of surrounding buildings.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Windows and door openings should relate to the size and proportions contained in the surrounding area.

The proposed façades are compatible with the surrounding area. 23% of the front façade's area is devoted to windows and openings.

DESIGN ELEMENTS

Style. New structures should respect the context of the area while expressing the contemporary nature of the structure.

The standards set forth for the Suburban Zone of the OCDOD primarily contemplate residential development. The applicant is proposing to construct a new automobile fueling station which will not be styled in any specific historic architecture style. The contemporary design is appropriate in concept for the proposed use in this location.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans, however all lighting will be subject to Section 1101 of the Zoning Code.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie board/LP SmartSide type siding.

The proposed materials are existing concrete panels and brick. The proposed materials are appropriate

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Roof forms and materials are appropriate. The applicant is proposing a flat roof design.

RECOMMENDATIONS

Staff recommends approval of the commercial building façade change with the following conditions:

1. The property shall be replatted to eliminate any setback encroachments.
2. The site shall be subject to the Development Review process.
3. The sidewalks along Harkrider St shall remain in place and shall be replatted/repared if damaged during construction.
4. A landscaping plan, demonstrating compliance with the landscaping requirements of Section 1101 of the Zoning Code shall be submitted and approved by the Director of Planning. This shall include one canopy tree planted every 30 feet of street frontage with additional shrubs and other plantings throughout. Additionally, one landscape island shall be required at the end of all parking rows.
5. No additional access to Harkrider St shall be granted.
6. HVAC equipment be placed in a manner to minimize its visibility from the street.
7. The applicant will provide revised plans to the Planning Director for review and approval prior to issuance of building permits.



Commercial Building Façade Change

2055 Harkrider Street - Old Conway Design Overlay District

Rik SOWELL
ARCHITECTS, INC.

1710 North Street
Conway, AR 72024
501.452.9633
Rik@sowellarchitects.com

REVISION SCHEDULE

No.	Description	Date

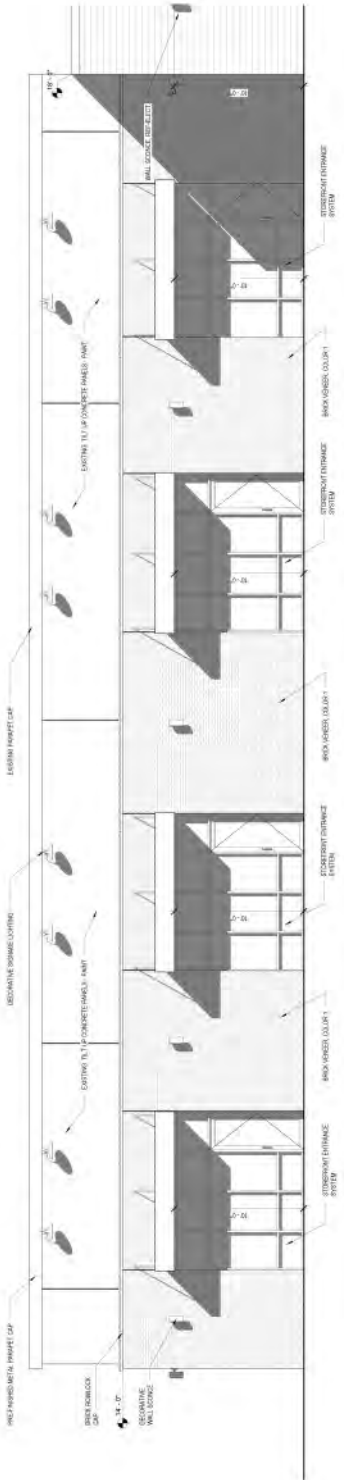
HORTON'S EXPRESS
2055 HARKRIDDER ST. CONWAY, ARKANSAS



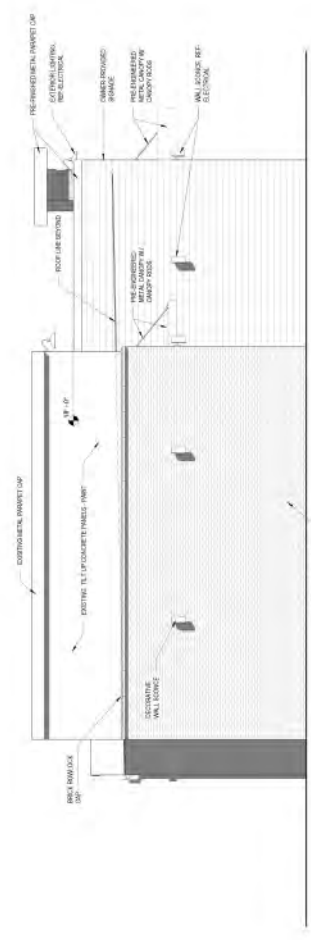
04-22-2020
10888

RETAIL CENTER
ELEVATIONS
A3.3

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1 RETAIL EAST ELEVATION
1/4" = 1'-0"



2 RETAIL SOUTH ELEVATION
1/4" = 1'-0"

NOTE: EXISTING BUILDINGS PRECAST CONCRETE IS TO REMAIN TO RETAIN THE BEST EXISTENTIAL FORMWORK AND TO PROVIDE A SHIP LANE EXTENDING WALL LANE.

New Single-Family Residence (East House)

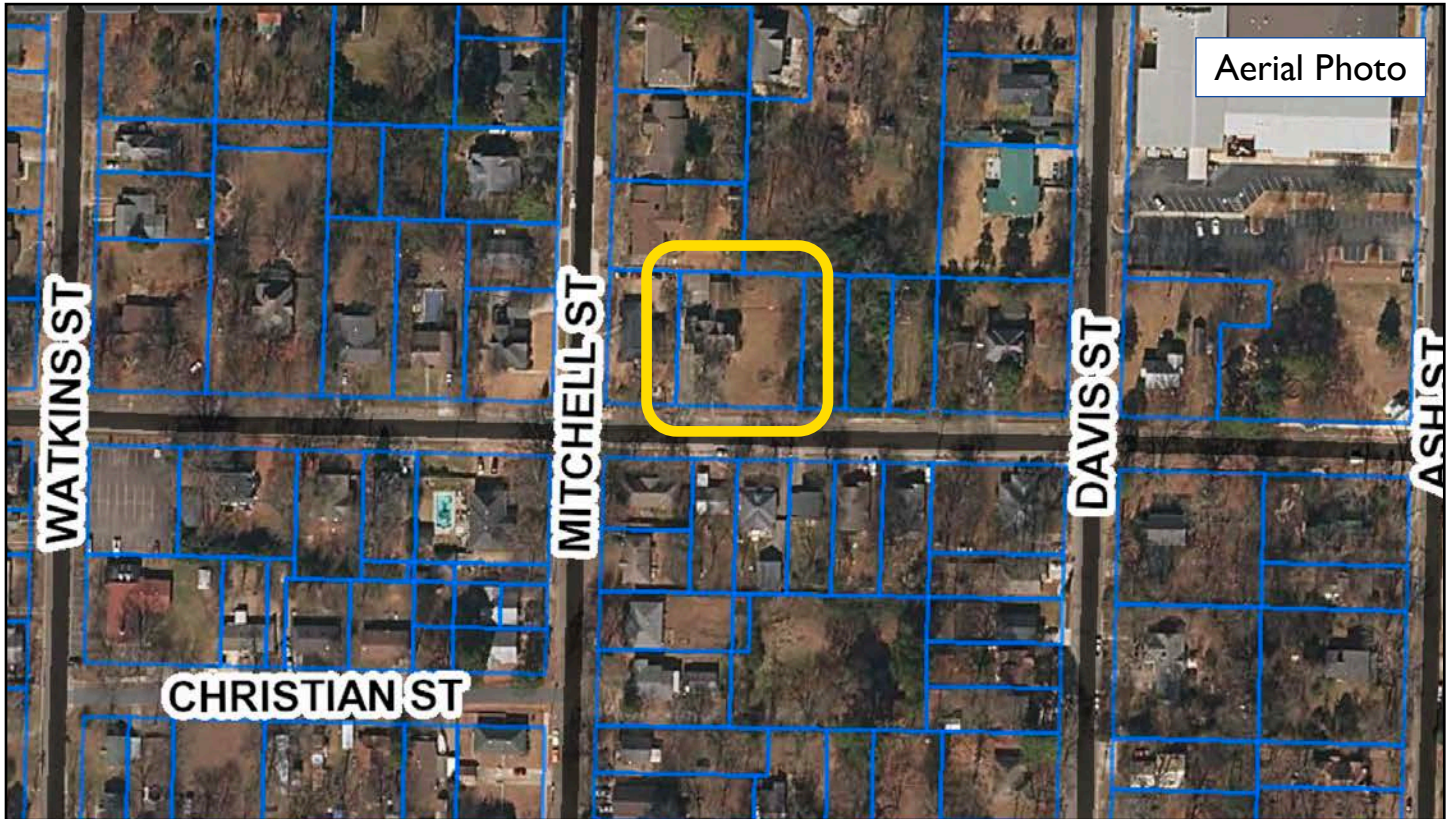
1830 Scott Street - Old Conway Design Overlay District

APPLICANT/OWNER

Tracy Crow/Crow Contracting, Inc.
1865 Cox Cove
Conway, AR 72034

DESIGNER

Monte Moix
Moix Designs



LOCATION

Address/Lot Area. 1830 Scott Street; 0.24 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Abutting Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Scott St. Area structures consist of single-family residences in American Four Square, Contemporary, Ranch, and Minimal Traditional styles.

General Description of Property and Proposed Development. The applicant is proposing to construct a new 1,846 square foot single-family home in a contemporary style with Craftsman influences.

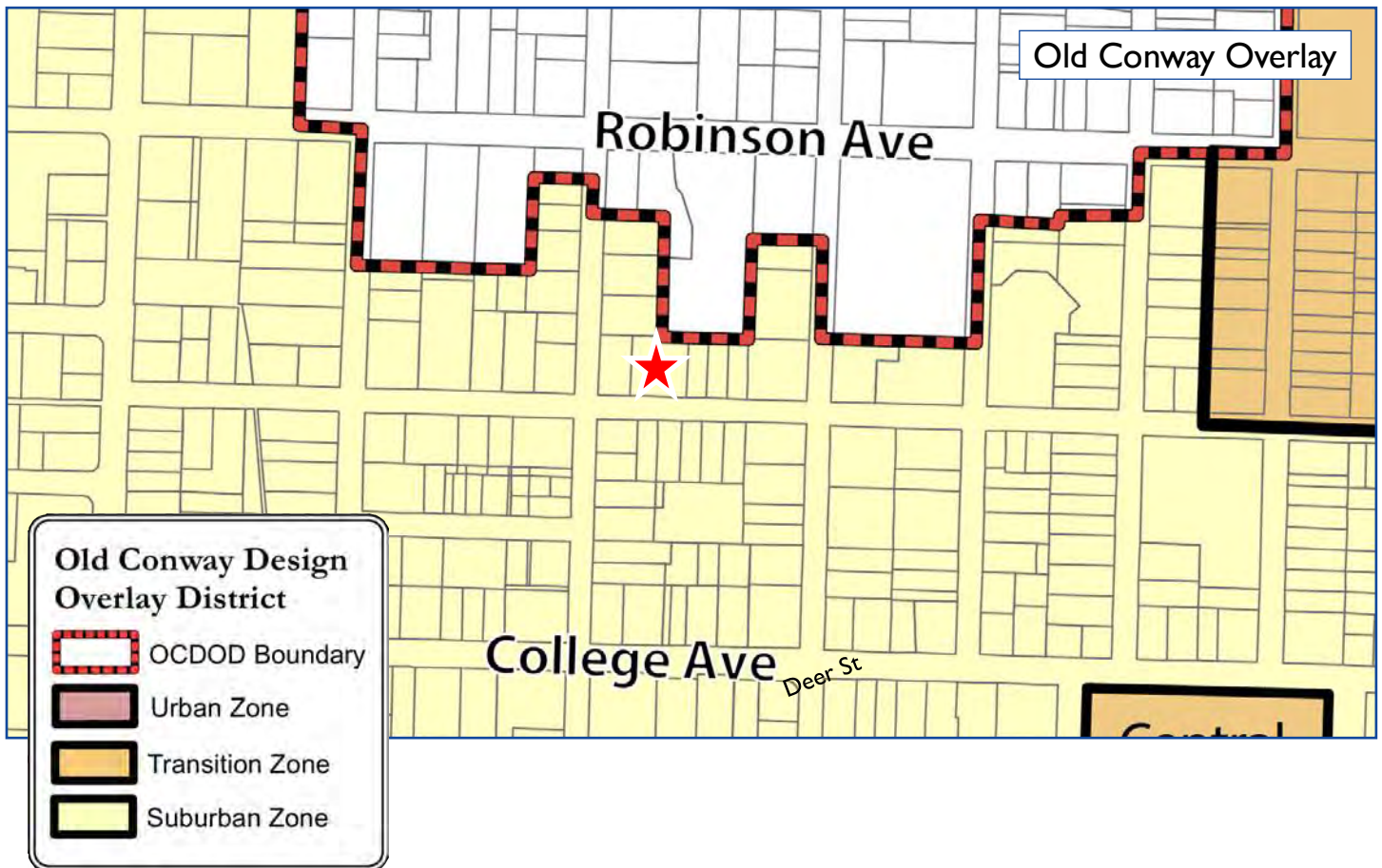
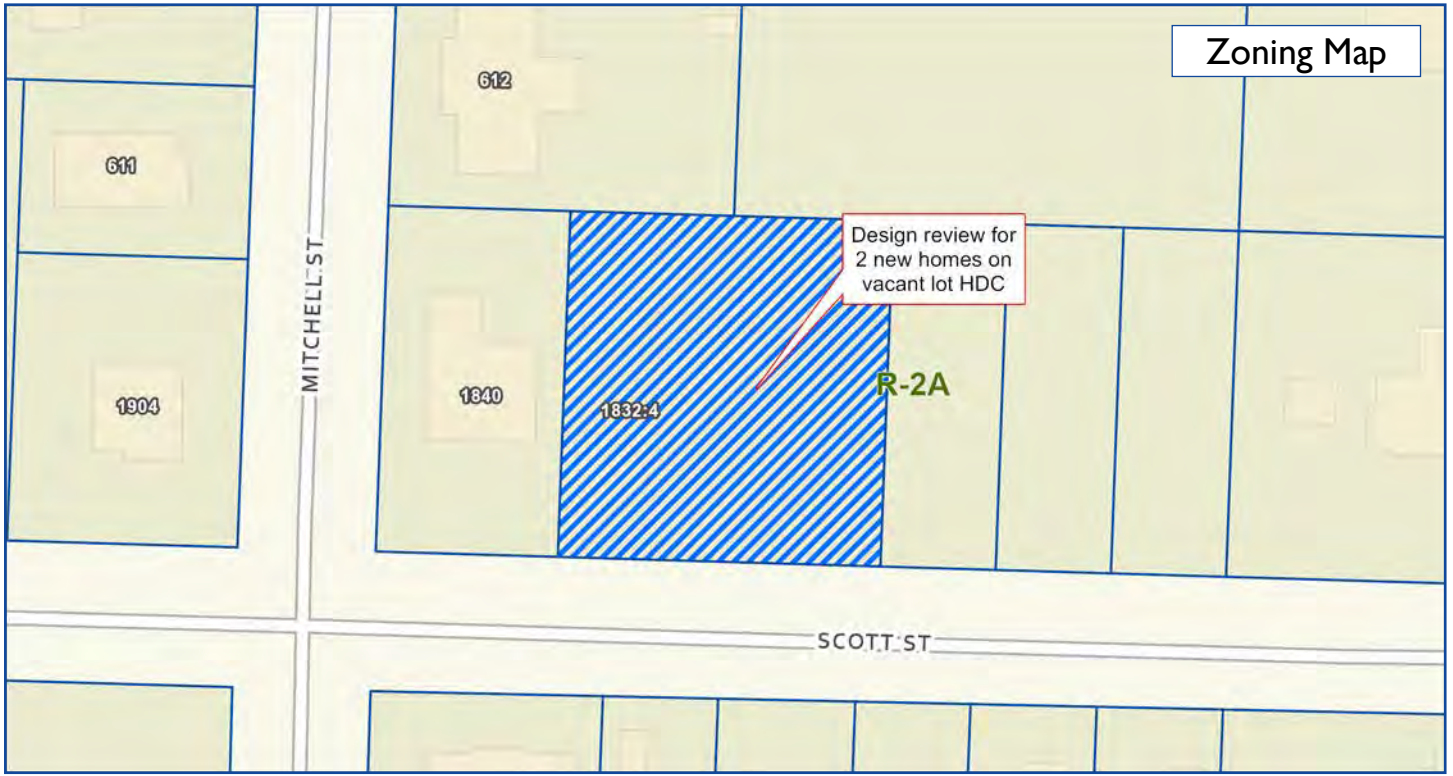
Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The typical font setbacks for the north side of the block varies from 50' to 55'. The included drawings indicate a setback of 36'. The other proposed setbacks conform to the zoning requirements. Spacing between structures should be within 15% of the block average.

The proposed front setback is not appropriate. An appropriate front setback would range between 44' and 60'. Given the limited number of structures, matching the setback of the property directly to the west is preferable. Only two structures exist on the north side of the block due to a recent demolition. Therefore, spacing relationships can't be established.

New Single-Family Residence (East House)

I.E

1830 Scott Street - Old Conway Design Overlay District



Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for the site is approximately 36%.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The proposed garage is placed at the front of the structure and does not meet the requirements of the regulations.

Alley. There is no alley access to this lot.

Driveway / Parking. Parking in the front yard is not permitted. Driveways should be concrete, pavers, or permeable paving.

The applicant is proposing a 21' driveway with available parking in front of the house. This does not meet the intent of the regulations and would result in the parking not meeting the requirements of the regulations.

Sidewalks. Sidewalks are required for new construction projects.

There is an existing sidewalk along Scott St. Recommend requiring a walkway be built from the front door to the sidewalk as is the pattern of the neighborhood.

Fences/Walls. No fencing is proposed.

Tree preservation. Trees over 8" in diameter should be retained and protected to the greatest extent possible. Canopy trees are required for each 30' of street frontage.

There is an existing 19" diameter tree in the front yard. The proposed driveway location would likely cause damage to the tree due to encroachment within the drip line. One additional canopy trees is required and improvements on the site should be moved in a manner to prevent harm to the existing tree.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure (1,846 sf) is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The height of the structure at 25' and the width, at 44', will not be out of scale of the pattern of the neighborhood. The structure will be two stories. There is a mix of one and two story structures in the immediate vicinity. The area features a mix of vertically and horizontally oriented structures.

Footprint. The structure should respect the ratio of building footprint to lot area of homes within the general vicinity.

The building footprint will cover less than 30% of the site, similar to other structures in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structure will contain a level of detailing and form that is compatible with the pattern of the neighborhood, as there is a mix of complex and simple structures.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The front façade will be composed of 13% windows/openings. The presence of a front garage helps create a large blank area that is not compatible with the intent of the regulations.

DESIGN ELEMENTS

Style. New designs should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, and contemporary elements. However, the presentation of the elements on the house is not compatible with the overall area, namely the recessing of the front porch behind the garage.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep and made a primary focal point, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted.

An open front porch with a varying depth of 8'-15' depth is proposed. However, this porch is recessed such that it is not the primary focal point. Additionally, the front is deeply recessed within the porch. Limited details are provided on the type of windows intended. If vinyl windows are intended, faux muntins are not permitted.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie board/LP SmartSide type siding.

The applicant is proposing the use of brick (foundation) and wood/Hardie board (Board and Batten siding). These materials are appropriate.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Roof materials are appropriate. The applicant is proposing 8:12 roof pitching, which is appropriate to the area.

RECOMMENDATIONS

Staff recommends the application be tabled for revisions by the applicant. The application cannot meet the requirements of the regulations as currently, designed.

1. Front setback does not meet requirements.
2. Garage location is not appropriate.
3. Driveway is too wide and front parking is not permitted.
4. Recommend requiring front walkway.
5. Indicate proposed fencing locations.
6. Driveway should be located in a manner to prevent harm to the existing 19" tree.
7. The front façade should be redesigned to make the front porch and front door the focal point and contain additional windows in a manner more similar to the surrounding area (particularly remove the front garage).

New Single-Family Residence (East House)

I.E

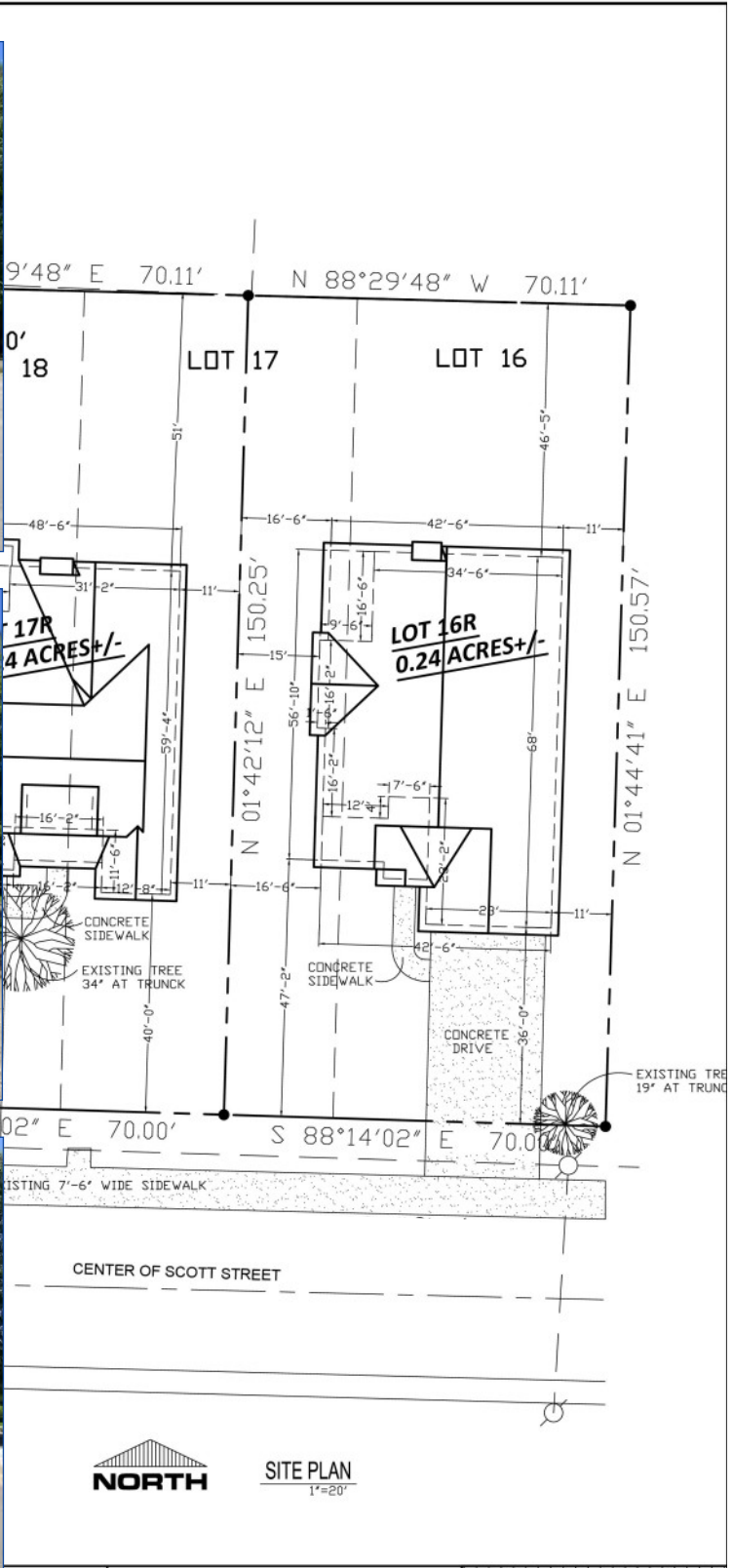
1830 Scott Street - Old Conway Design Overlay District



Site Photos



Adjacent Properties



SITE PLAN
1"=20'

SITE PLAN FOR: 6-3-2020

1830 & 1832 Scott Street
Conway, Arkansas

Tracy Crow — crowcontracting@yahoo.com — 501-733-1858

MOIX
DESIGN'S
MINOR WORK - 501-733-4925 | www.moixdesigns.com
CUSTOM HOME PLANS • AUTOCAD DRAFTING SERVICE

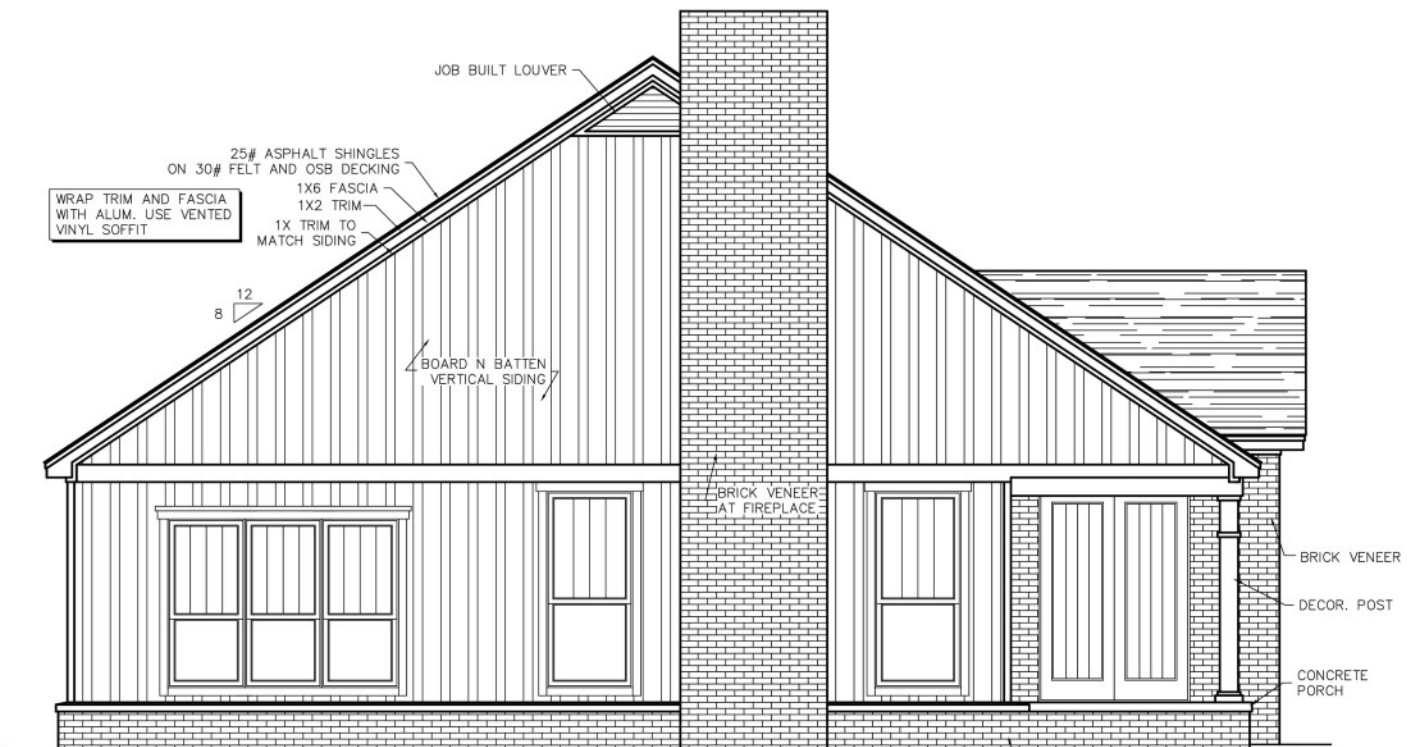
New Single-Family Residence (East House)

1830 Scott Street - Old Conway Design Overlay District

I.E



FRONT ELEVATION



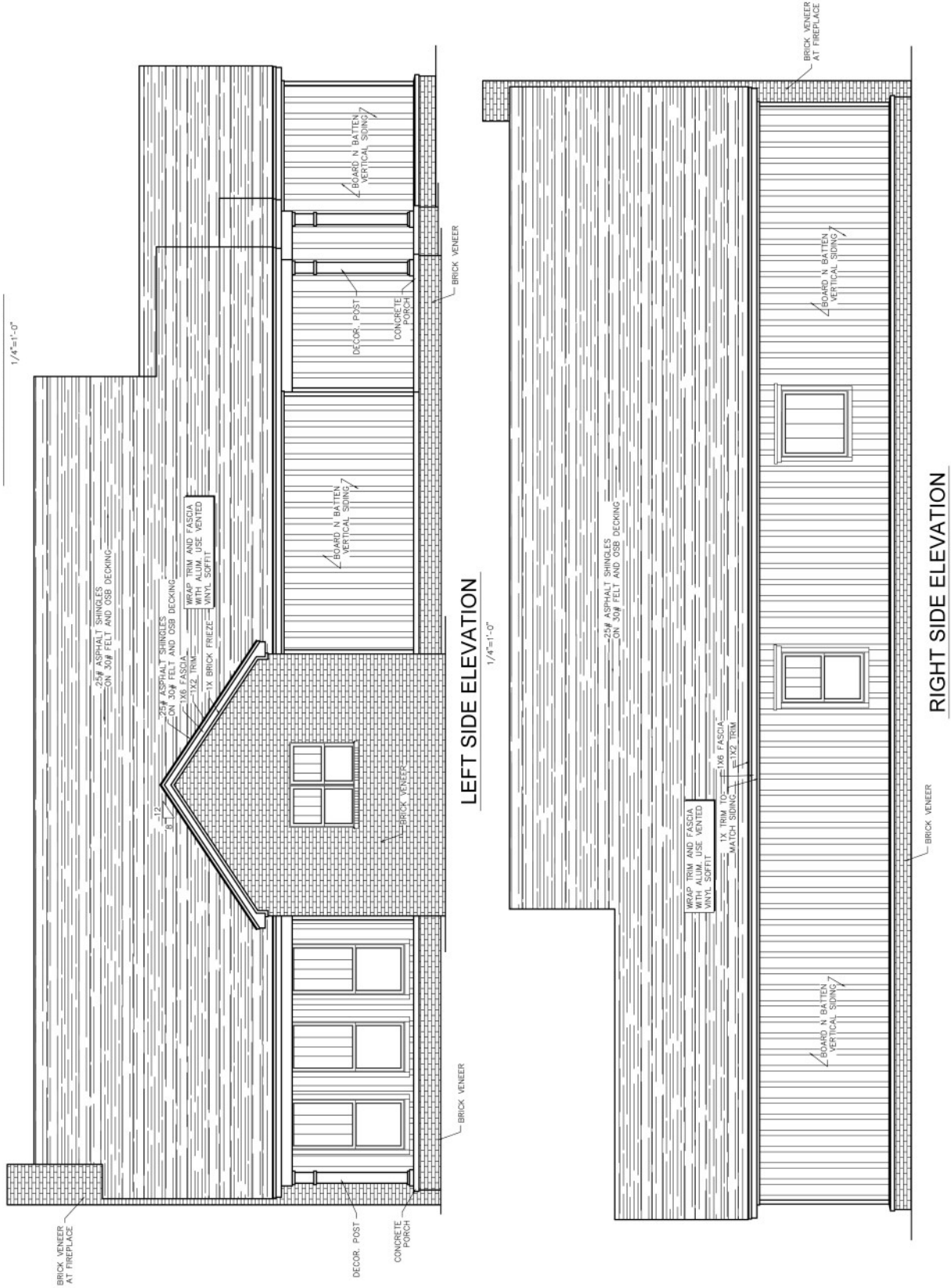
REAR ELEVATION

New Single-Family Residence (East House)

1830 Scott Street - Old Conway Design Overlay District



DT1



LEFT SIDE ELEVATION

RIGHT SIDE ELEVATION

New Single-Family Residence (West House)

I.F

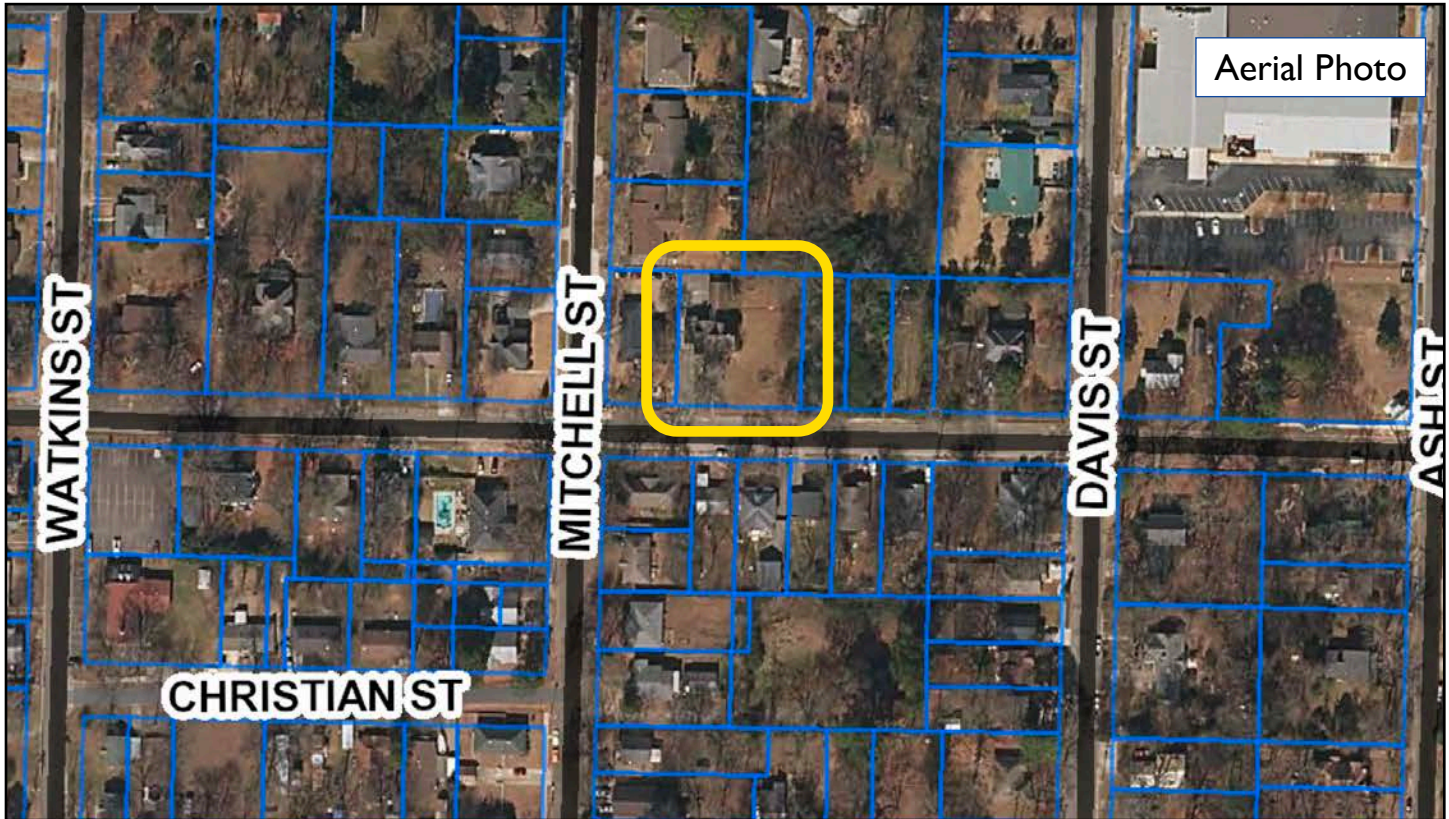
1832 Scott Street - Old Conway Design Overlay District

APPLICANT/OWNER

Tracy Crow/Crow Contracting, Inc.
1865 Cox Cove
Conway, AR 72034

DESIGNER

Monte Moix
Moix Designs



LOCATION

Address/Lot Area. 1832 Scott Street; 0.24 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Abutting Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Scott Street. Area structures consist of single-family residences in American Four Square, Contemporary, Ranch, and Minimal Traditional styles.

General Description of Property and Proposed Development. The applicant is proposing to construct a new 1,874 square foot single-family home in a contemporary style with Craftsman influences.

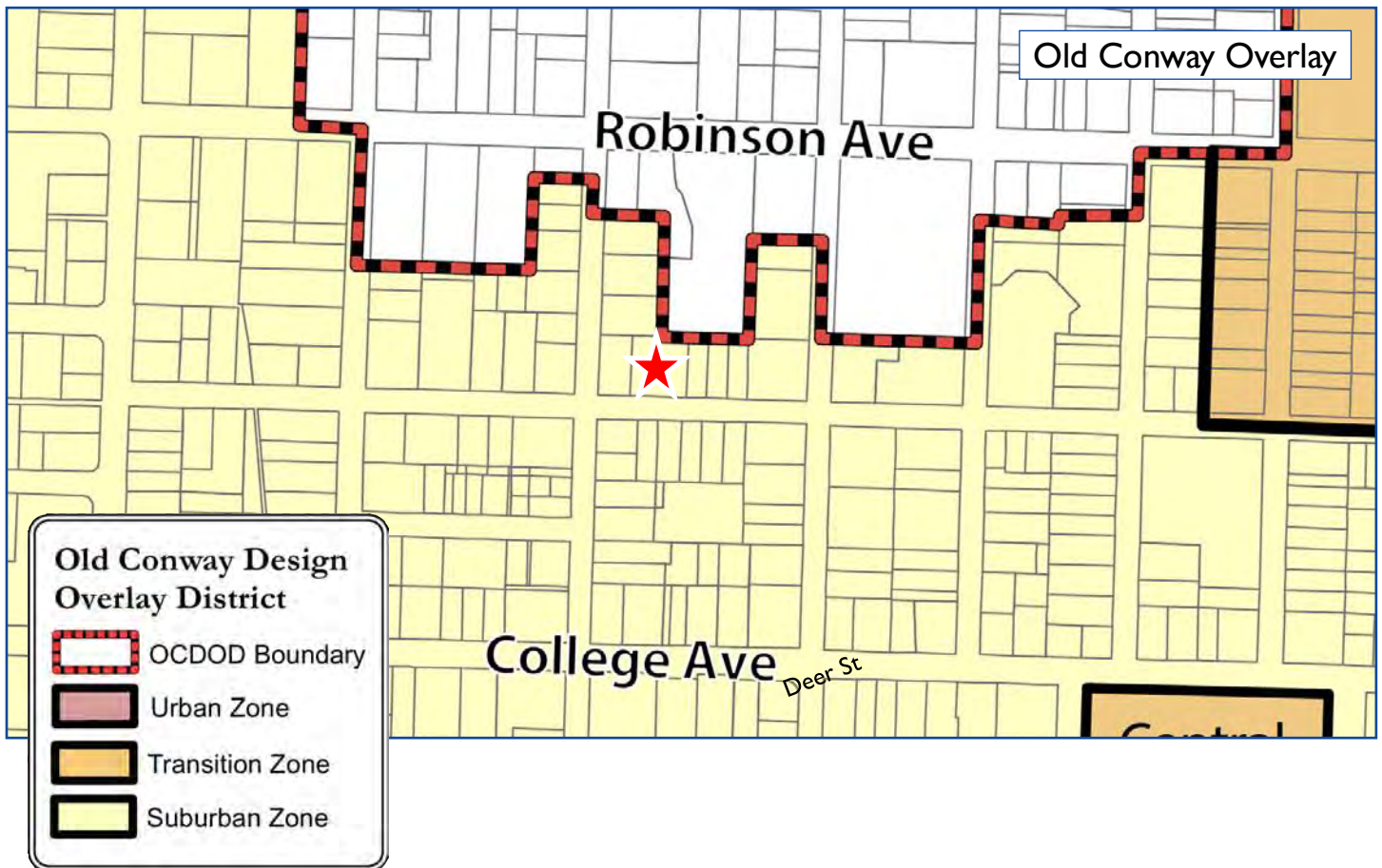
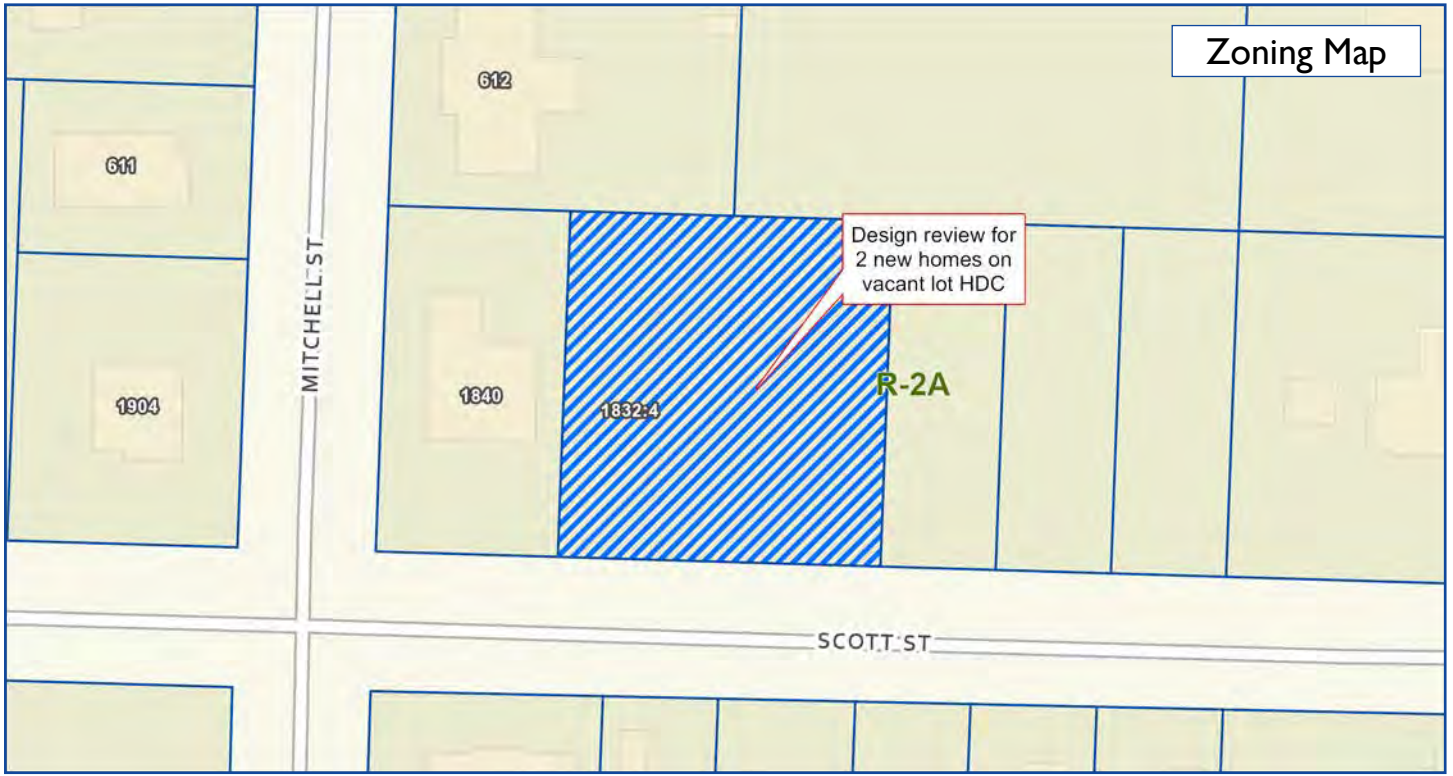
Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The typical front setbacks for the north side of the block varies from 50' to 55'. The included drawings indicate a setback of 40'. The other proposed setbacks conform to the zoning requirements. Spacing between structures should be within 15% of the block average.

The proposed front setback is not appropriate. An appropriate front setback would range between 44' and 60'. Given the limited number of structures, matching the setback of the property directly to the west is preferable. Only two structures exist on the north side of the block due to a recent demolition. Therefore, spacing relationships can't be established.

New Single-Family Residence

I.F

1832 Scott Street - Old Conway Design Overlay District



Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for the site is approximately 39%.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The proposed garage is placed at the front of the structure and does not meet the requirements of the regulations.

Alley. There is no alley access to this lot.

Driveway/Parking. Parking in the front yard is not permitted. Driveways should be concrete, pavers, or permeable paving.

The applicant is proposing a 23' driveway with available parking in front of the house. This does not meet the intent of the regulations and would result in the parking not meeting the requirements of the regulations.

Sidewalks. Sidewalks are required for new construction projects.

There is an existing sidewalk along Scott St. Recommend requiring a walkway be built from the front door to the sidewalk as is the pattern of the neighborhood.

Fences/Walls. No fencing is proposed.

Tree preservation. Trees over 8" in diameter should be retained and protected to the greatest extent possible. Canopy trees are required for each 30' of street frontage.

There is an existing 34" diameter tree in the front. Based on the proposed plan, this tree would likely be affected and die soon after construction due to encroachment within the dripline of the tree. Two canopy trees are required and improvements on the site should be moved in a manner to prevent harm to the tree.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure (1,874 sf) is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The height of the structure at 26' and the width at 52' will not be out of scale to the pattern of the neighborhood. The structure will be two stories. There is a mix of one and two story structures in the immediate vicinity. The area features a mix of vertically and horizontally oriented structures.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprint will cover less than 30% of the site, similar to other structures in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structure will contain a level of detailing and form that is compatible with the pattern or the neighborhood, as there is a mix of complex and simple structures.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The front façade will be composed of 16% windows/openings. The presence of a front garage helps create a large blank area that is not compatible with the intent of the regulations.

DESIGN ELEMENTS

Style. New designs should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, and contemporary elements. However, the presentation of the elements on the house is not compatible with the overall area, namely the recessing of the front porch behind the garage and bedroom extensions.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep and made a primary focal point, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted.

An open front porch with a depth of 6' depth is proposed. However, this porch is recessed such that it is not the primary focal point. Limited details are provided on the type of windows intended. If vinyl windows are intended, faux muntins are not permitted.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie board/LP SmartSide type siding.

The applicant is proposing the use of brick (foundation) and wood/Hardie board (Board and Batten siding). These materials are appropriate.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Roof materials are appropriate. The applicant is proposing 10:12 roof pitch, which is appropriate to the area.

RECOMMENDATIONS

Staff recommends the application be tabled for revisions by the applicant. The application cannot meet the requirements of the regulations as currently, designed.

1. Front setback does not meet requirements.
2. Garage location is not appropriate.
3. Driveway is too wide and front parking is not permitted.
4. Recommend requiring front walkway.
5. Indicate proposed fencing locations.
6. Structure should be designed and located in a manner to prevent removal of the existing 34" tree.
7. The front façade should be redesigned to make the front porch the focal point and contain additional windows in a manner more similar to the surrounding area (particularly remove the front garage).

New Single-Family Residence (West House)

1832 Scott Street - Old Conway Design Overlay District

I.F



Site Photos



Adjacent Properties

Crow Contracting Inc.
1865 Cox Cove
Conway Arkansas 72034
Tracy Crow — crowcontracting@yahoo.com — 501-733-1858

SITE PLAN FOR: 6-3-2018
1830 & 1832 Scott Street
Conway, Arkansas

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CUSTOM HOME PLANS • AUTOCAD DRAWING SERVICES

New Single-Family Residence (West House)

1832 Scott Street - Old Conway Design Overlay District



FRONT ELEVATION

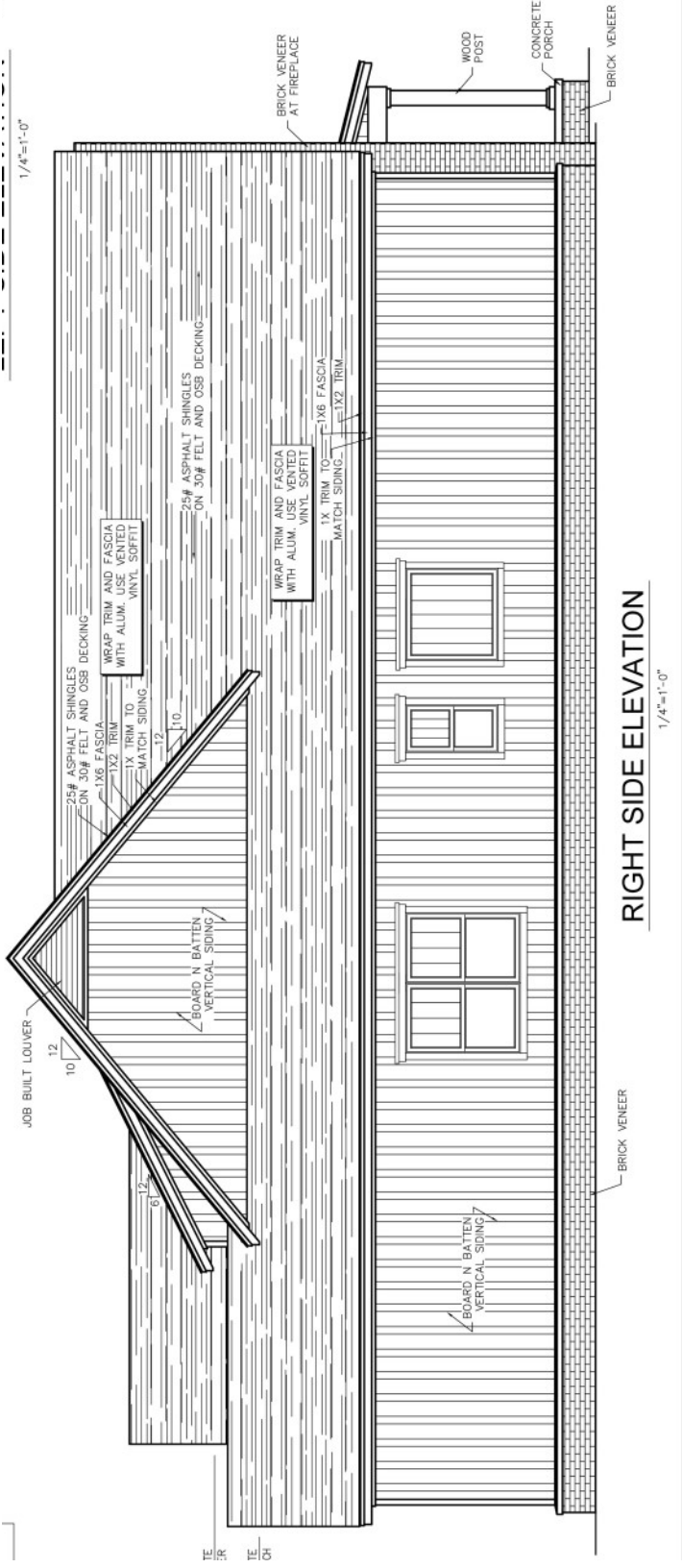
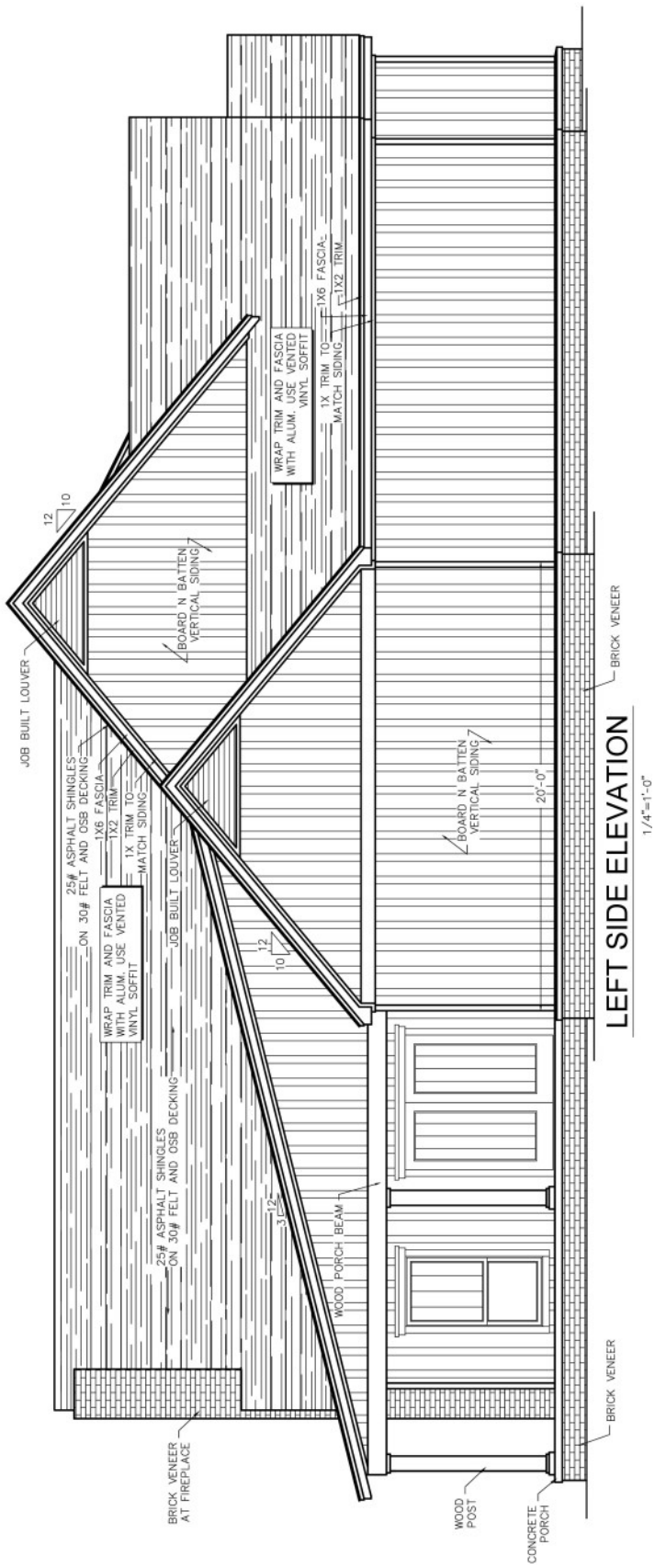
1/4"=1'-0"



REAR ELEVATION

New Single-Family Residence (West House)

1832 Scott Street - Old Conway Design Overlay District



New Institutional Building

1629 South Boulevard (Old Conway Design Overlay District)

APPLICANT/ARCHITECT

Russell Fason, AIA, LEED AP/WER Architects
901 West 3rd St
Little Rock, AR 72201

OWNER

Conway Public Schools
2220 Prince St
Conway, AR 72034



LOCATION

Address/Lot Area. 1629 South Blvd; 7.4 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

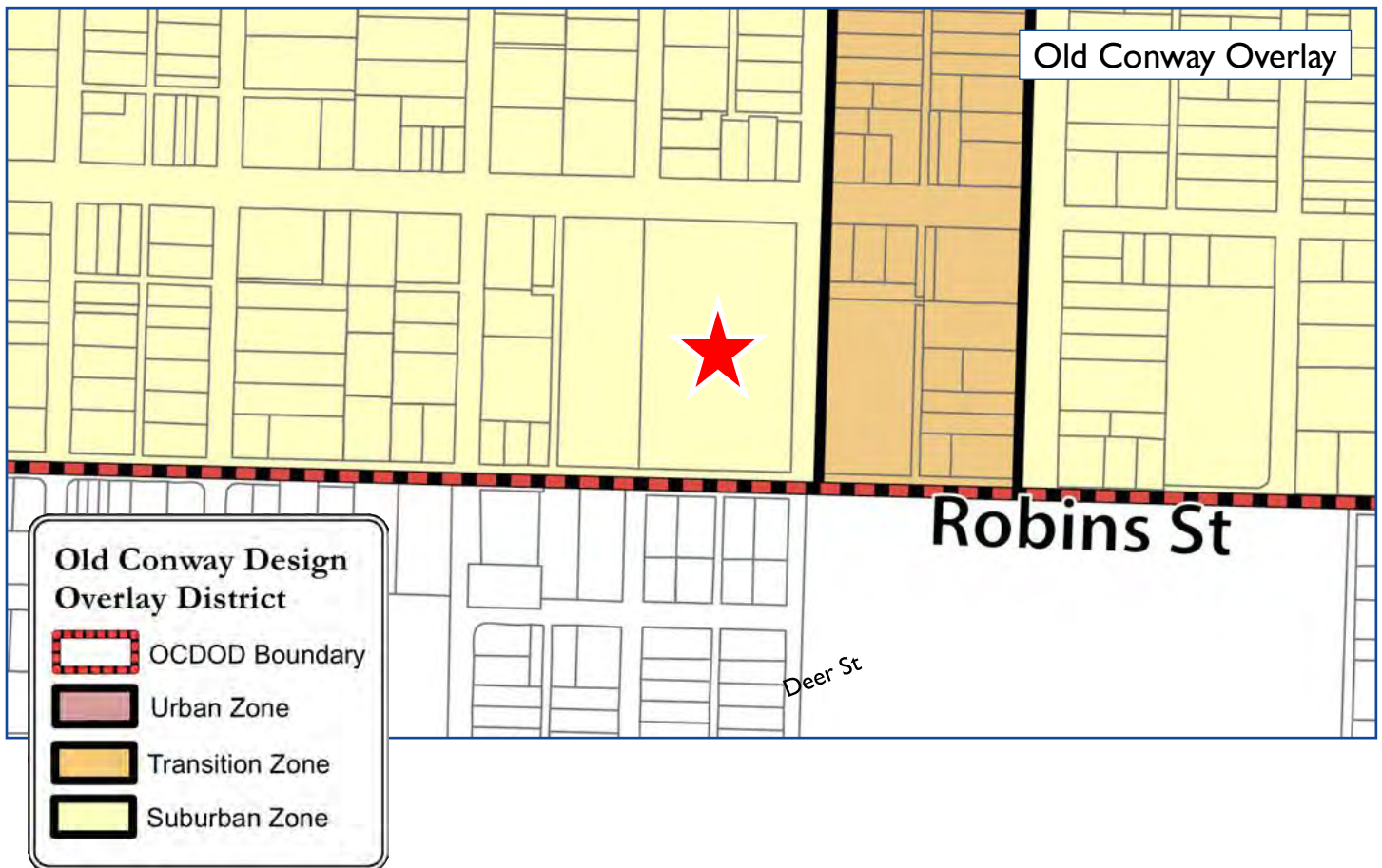
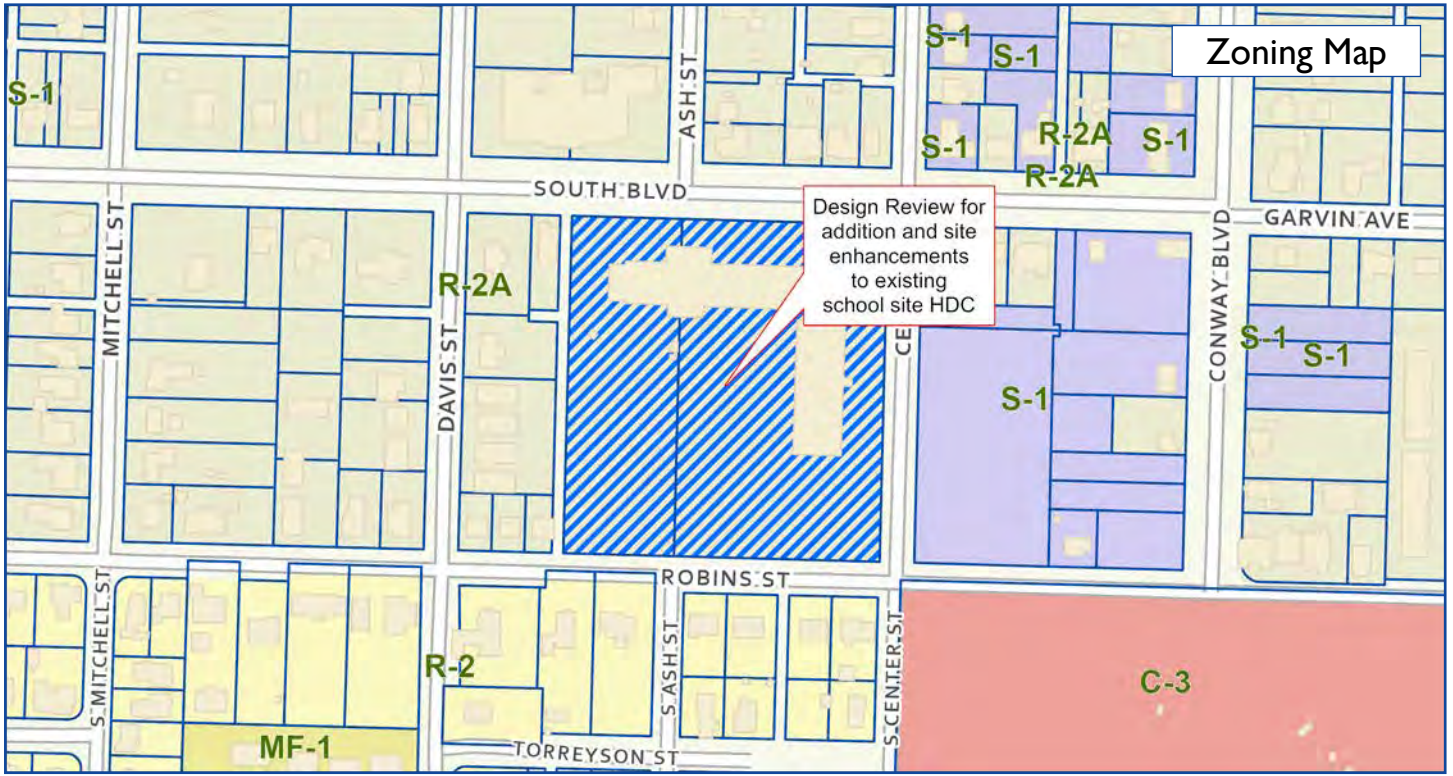
Abutting Zoning. S-1 (Institutional), Old Conway Design Overlay Transition District; R2-A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the southwest corner of South Blvd and Center St. Area structures to the south and west consist of single-family and two-family residences. Area structures to the north and east consist of single-family residences and institutional uses.

General Description of Property and Proposed Development. The applicant is proposing to demolish a portion of the existing classroom building along South Blvd and construct a new safe room/dining structure along Center St. The new addition will be connected to the existing pre-school building by a narrow walkway. Additionally, the applicant is proposing to restore the site of the demolished classroom building into a new green space and play area. A new parking lot will be constructed where the existing play area is located. The exiting fencing is proposed to be repaired and replaced.

New Institutional Building

1629 South Boulevard (Old Conway Design Overlay District)



Setbacks and Spacing. Institutional buildings should either be set back from the street within a campus-like green space on larger sites, or directly “address” the street with a minimal setback if the site is more constrained in size. The included drawings indicate a setback of 92’ from Robins St and 42’ from Center St for the addition. The trash enclosure is setback 11’ from Center St and 61’ from Robins St.

The proposed front setback for the new building meets the OCDOD design guidance for institutional buildings. However, the proposed setback for the trash enclosure fails to conform to the required zoning setbacks as well as the guidance of the Overlay District. Staff has included a condition of approval requiring that the trash and mechanical enclosures be relocated to the interior of the site.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

The existing lot coverage for the site is approximately 46%. The included drawings indicate a proposed lot coverage of approximately 38%.

Orientation. Public entrances should be clearly defined and face the street. Porticoes, awnings and other entryway features that are integral to the building design are encouraged.

No primary public entries are proposed on the addition, however the southern portion of the site is dominated by mechanical equipment and trash enclosures.

Driveway / Parking. Parking areas for civic and institutional facilities with a large campus and green spaces shall follow the design regulations as outlined in the City of Conway Development Review Guidelines, Section 1101 of the Conway Zoning Ordinance.

The development review standards set forth by the Zoning Code will require modifications to the proposed parking design. Interior parking lot landscaping standards require a landscape island and canopy tree at a 1:12 ratio. Additionally, a landscape island with canopy tree is required at the end of each parking aisle.

Sidewalks. There are existing sidewalks along the Robins St and Center St frontages which shall remain as is. Sidewalks exist for a portion of the South Blvd frontage.

The existing sidewalks are proposed to remain. New sidewalks are proposed for the remaining portion of South Blvd.

Fences/Walls. The application indicates that repairs and/or replacement of the existing fencing is proposed. The OCDOD doesn’t provide guidance for fencing when used in conjunction with institutional uses, however the development review standards of the Zoning Code require new fencing to be painted or coated in a non-obtrusive color to diminish the visual impact.

The application indicates that repairs and/or replacement of the existing fencing is proposed. Staff has included a condition of approval that new fencing or replacement fencing in excess of 100 contiguous feet shall be painted or coated in a non-obtrusive color.

Vehicular Access Points. The OCDOD encourages minimal curb cuts and thoughtful access. The plan proposes one additional access point on Robins St and the removal of two curb cuts along South Blvd. Additionally, the applicant is proposing to remove a section of “head-in” parking from the South Blvd frontage.

The proposed modifications to the site’s access meet the standard of the OCDOD.

Tree preservation. Civic institutional facilities with campus like green space on larger sites should incorporate large and monumental landscaping features such as canopy trees, large shrubs, open green spaces, plazas, water features, and large public art pieces. There are significant trees bordering the western edge of the site as well interior to the site that are affected by the project. The applicant shall make efforts to preserve as many mature trees as possible.

A tree preservation plan and landscape plan shall be submitted for review and approval by the Planning Director. Staff has included a condition of approval requiring that the existing trees along the western boundary of the site be preserved.

MASSING

Height. In general, the height of civic buildings should be in keeping with other structures within Old Conway. *The structure is proposed to be 1 story with a maximum height of 22', keeping with the pattern of development of surrounding buildings.*

Façade, wall area, rhythm. New façades shall be compatible with those of the existing structures.

The proposed façades are compatible with the materials of the existing structure. Given the safe room nature of the addition, minimal window and door openings are proposed.

DESIGN ELEMENTS

Style. New structures should respect the context of the area while expressing the contemporary nature of the structure.

The standards set forth for the Suburban Zone of the OCDOD primarily contemplate residential development. The applicant is proposing to construct an addition to an existing institutional building which will match the existing architectural style. The design is appropriate for the proposed use in this location.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans, however all lighting will be subject to Section 1101 of the Zoning Code.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie board/LP SmartSide type siding.

The proposed material is brick which is in keeping with the materials used on the existing structure.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Roof forms and materials are appropriate. The applicant is proposing a flat roof design. However, Staff has included a condition of approval that the mechanical equipment be relocated to a less obtrusive area of the site.



RECOMMENDATIONS

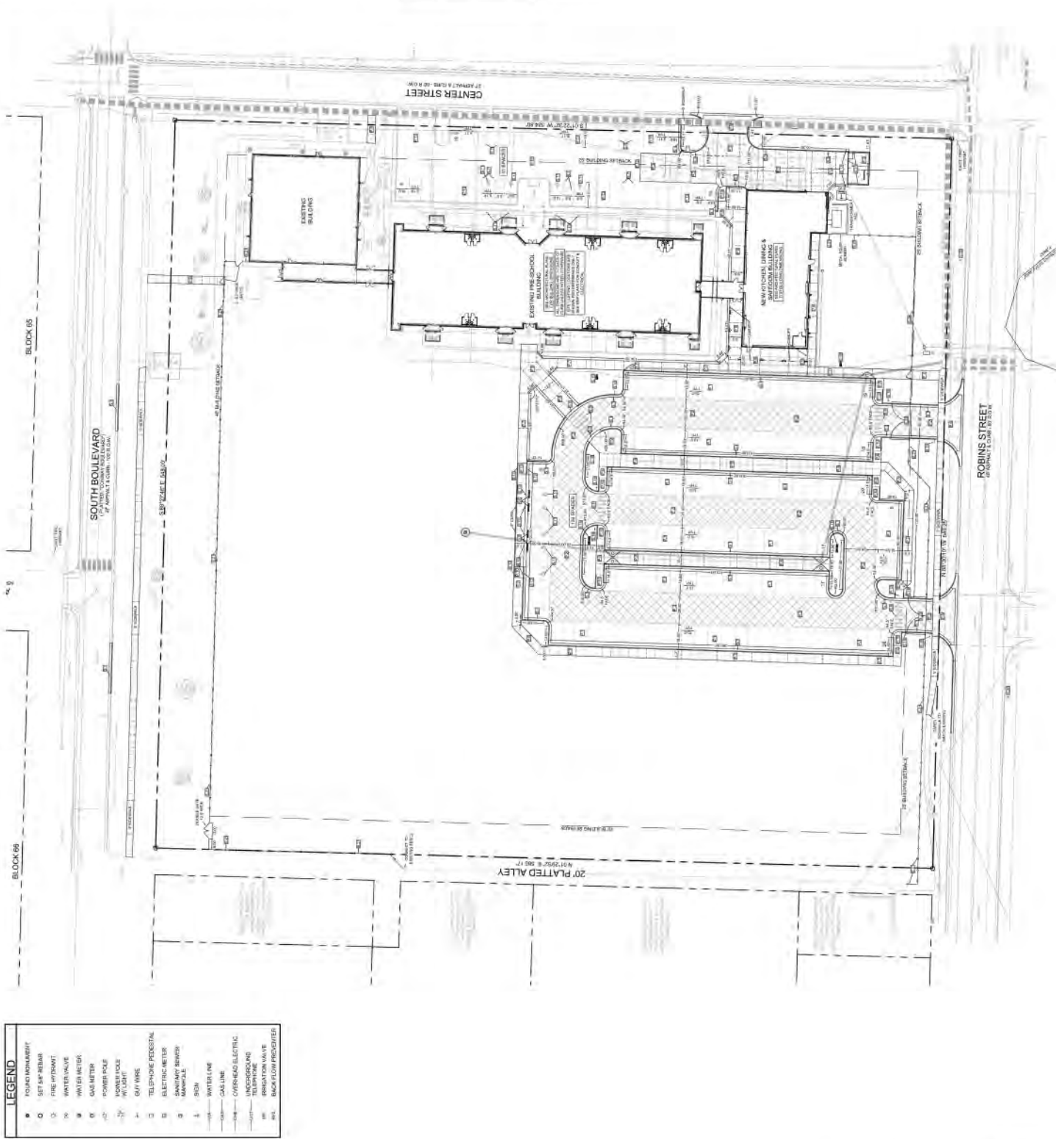
Staff recommends approval of the new commercial building and parking area with the following conditions:

1. The sidewalks along Robins St and Center St shall remain in place and shall be replaced/repared if damaged during construction.
2. A tree preservation plan and landscaping plan, demonstrating compliance with the landscaping requirements of Section 1101 of the Zoning Code shall be submitted and approved by the Director of Planning. This shall include one canopy tree planted every 30 feet of street frontage in areas of new construction. Additionally, one landscape island shall be required at the end of all parking rows. A sincere effort shall be made to preserve mature trees on site.
3. Existing, mature trees along the western property boundary shall be preserved.
4. The new parking area shall meet the landscaping requirements of Section 1101 of the Zoning Code including the installation of landscape islands with canopy trees at a 1:12 ratio. Additionally, a landscape island with a canopy tree is required at the end of each parking aisle.
5. All new fencing or replacement fencing in excess of 100 contiguous feet shall be painted or coated in a non-obtrusive color.
6. HVAC and other mechanical equipment shall be relocated to the interior of the site to minimize its visibility from the street.
7. The trash enclosure shall be relocated to the interior of the site, in an area that conforms to the accessory structure requirements of the Zoning Code.
8. The applicant will provide revised plans to the Planning Director for review and approval prior to issuance of building permits.

New Institutional Building

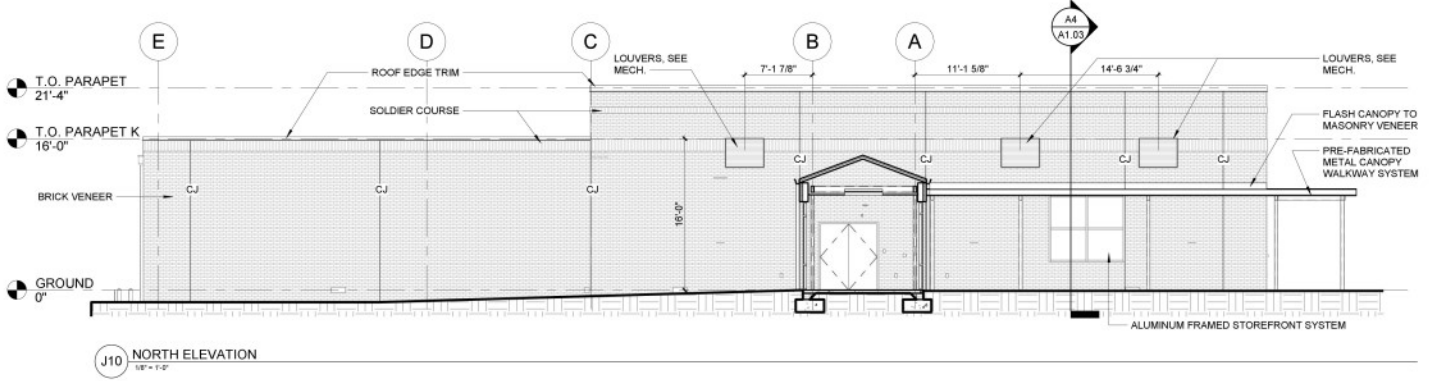
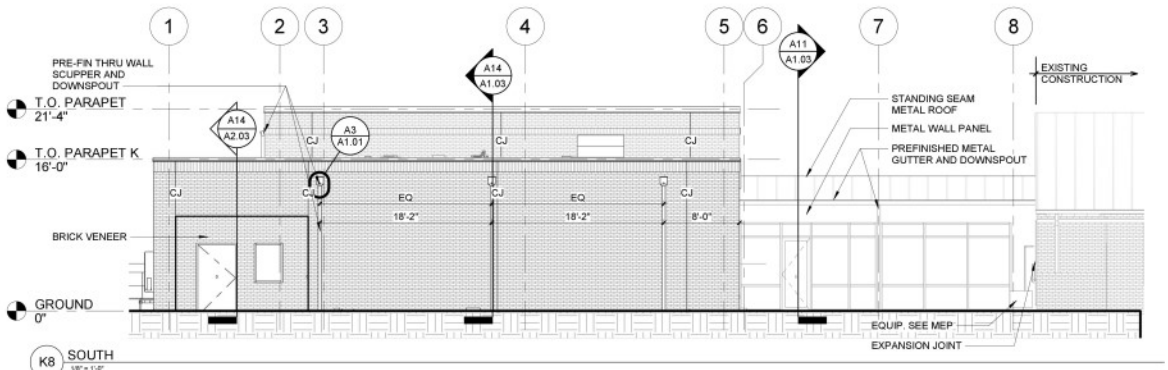
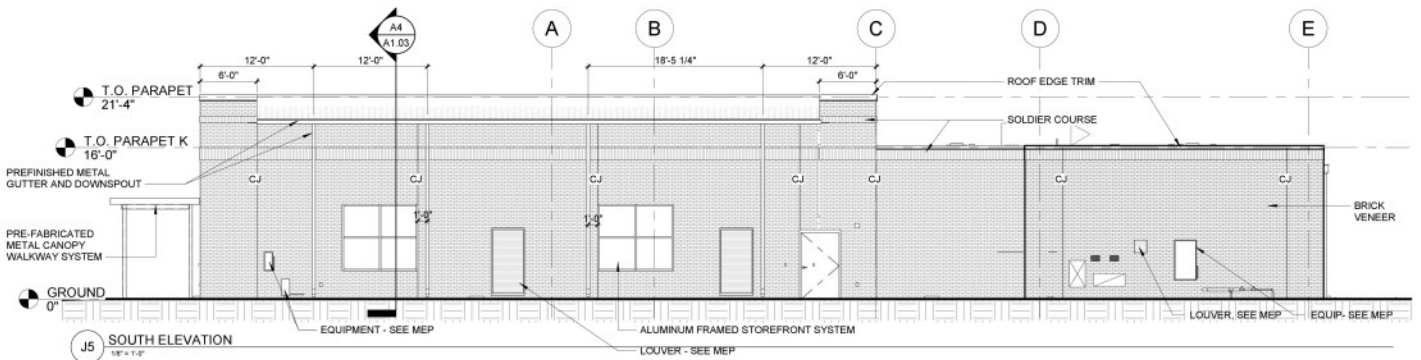
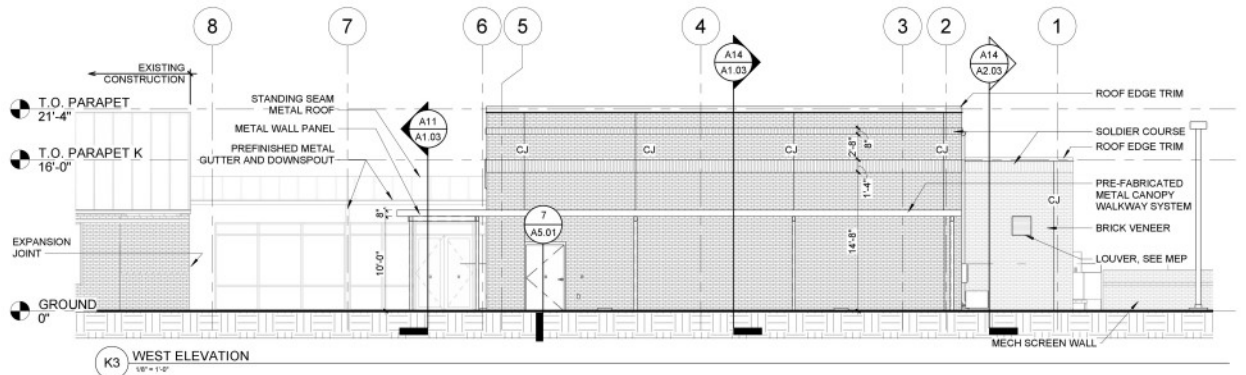
1629 South Boulevard (Old Conway Design Overlay District)

I.G



New Institutional Building

1629 South Boulevard (Old Conway Design Overlay District)





Date of Historic District Commission Meeting: Administrative Review

Owner:
Charlie Deboard
707 Farris Rd.
Conway, AR 72034

Property Address / Location / Description: 1811 Harkrider St.

Zoning: R-2A (Large Lot Duplex), Old Conway Design Overlay Suburban District

Approved Project(s): Garage enclosure, breezeway enclosure, and exterior remodel

Conditions of Approval:

The applicant shall conduct the work as indicated in application subject to the following conditions:

1. The addition shall be constructed with a synthetic wood material such as Hardieboard or LP Smartside.
2. Windows shall match the orientation and style of windows on the remainder of the structure. Windows shall not contain false muntins and be true divided light windows.
3. Windows for the front façade of the garage enclosure shall match the the window pattern on the structure as found below.



4. If windows are replaced on the entirety of the structure, they may be replaced with 1 over 1 windows using materials such as wood or vinyl.
5. HVAC equipment shall be screened or placed in a manner to minimize its visibility from the street.

Termination Date: May 5th, 2022
(If Building Permit is not issued by this date, Certificate is null and void)

NOTE: NO SIDEWALK CONSTRUCTION IS REQUIRED AS PART OF THIS COA.

Signed: 
HDC Staff / Director of Planning and Development

Attachments:

Exhibit A – Applicant Application