



July 27, 2020 · 5:30 pm
Conway Municipal Building

Due to restrictions imposed because of the COVID-19 pandemic, the Historic District Commission meeting will be broadcast on the City of Conway [Facebook](#) and [YouTube](#) pages. Please submit questions/comments [via email to Planning Staff](#) by 3:00pm the day the meeting.

MEMBERS

Steve Hurd, Chairman
Emily Walter, Vice-Chairman
Shelby Fiegel, Secretary
David Carolina
Liz Hamilton
Taylor Martin
Margaret West

Call to Order.

Roll Call.

Approval of Minutes. June 22, 2020

I. Public Hearings - Old Business

Old Conway Design Overlay District

- A. 1830 Scott Street - New single-family residence
- B. 1832 Scott Street - New single-family residence

II. Public Hearings - New Business

Robinson Historic District

- A. 820 Center Street - Fence variance

Old Conway Design Overlay District

- ~~B. 1405 College Avenue - Carport remodel~~ *(review postponed pending additional information from applicant)*
- C. 2056 Scott Street - Carport enclosure
- ~~D. 2009 Caldwell Street - Residential remodel & addition~~ *(review postponed pending additional information from applicant)*
- E. 303 Oliver Street - Residential remodel & addition

III. Discussion

- A. Items as decided by the Commission

Adjourn

New Single-Family Residence (East House)

I.A

1830 Scott Street - Old Conway Design Overlay District

APPLICANT/OWNER

Tracy Crow/Crow Contracting, Inc.
1865 Cox Cove
Conway, AR 72034

DESIGNER

Monte Moix
Moix Designs



LOCATION

Address/Lot Area. 1830 Scott Street; 0.24 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

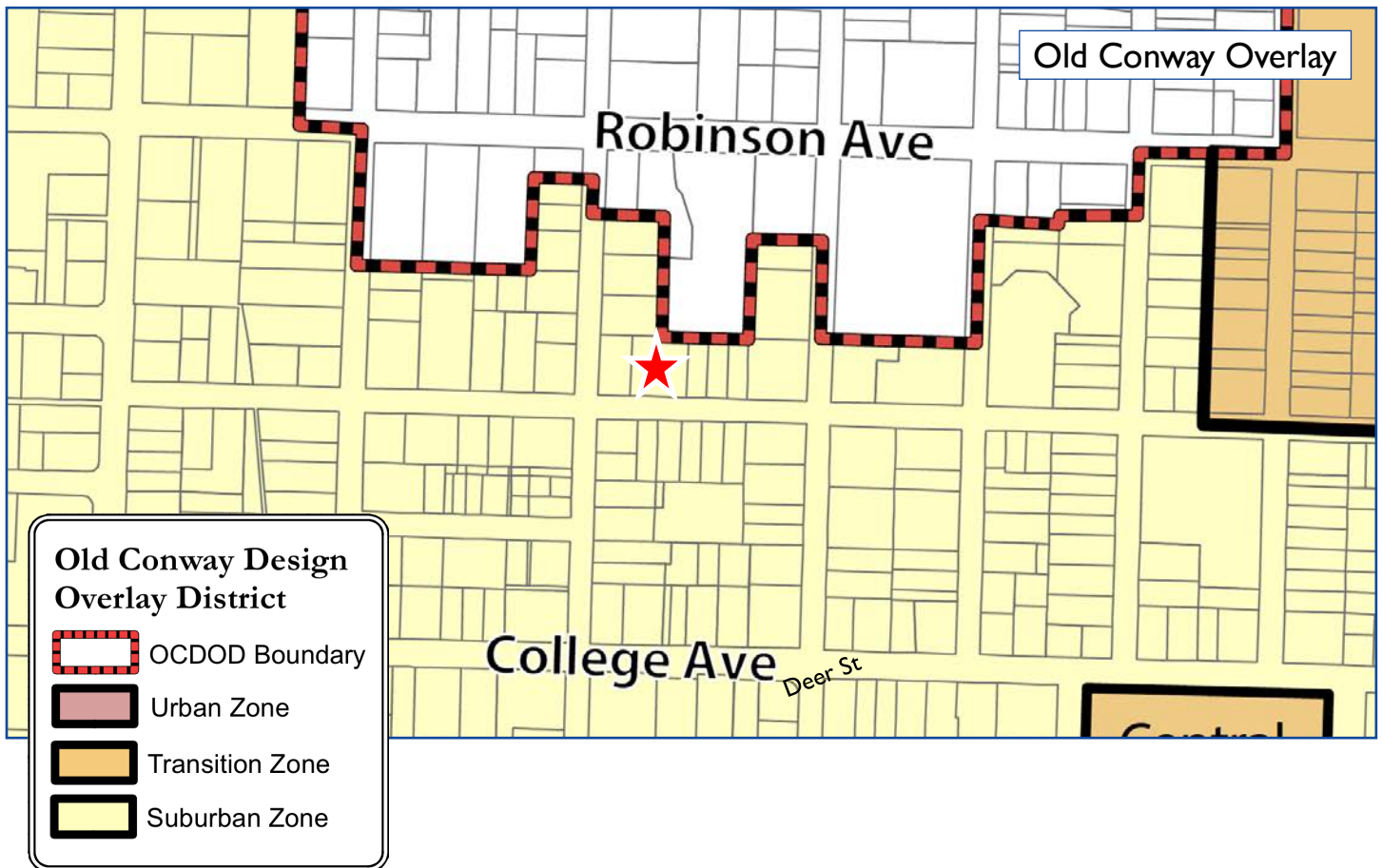
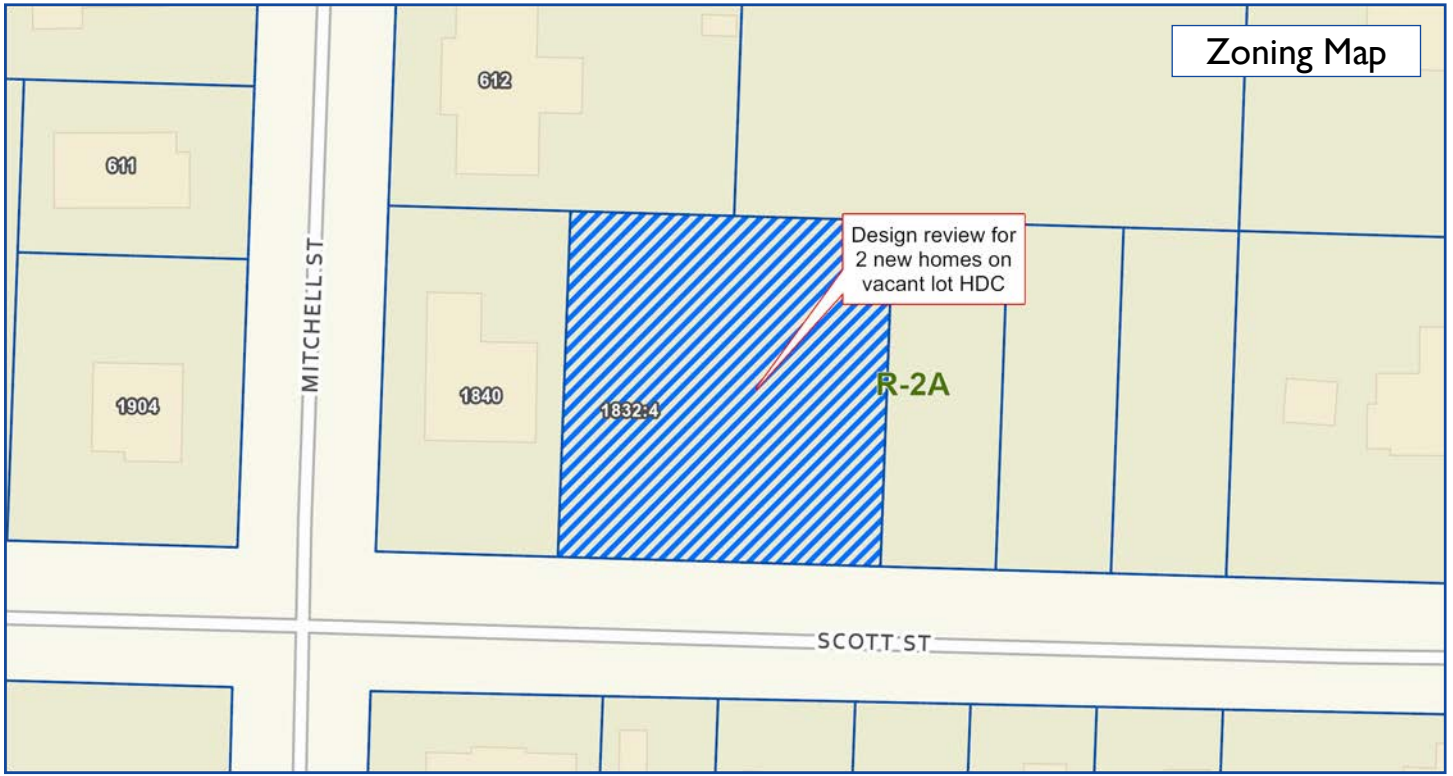
Abutting Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Scott St. Area structures consist of single-family residences in American Four Square, Contemporary, Ranch, and Minimal Traditional styles.

General Description of Property and Proposed Development. The applicant is proposing to construct a new 2,240 square foot single-family home in a contemporary style with Craftsman influences.

New Single-Family Residence (East House)

1830 Scott Street - Old Conway Design Overlay District



SITE

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The typical front setbacks for the north side of the block vary from 50' to 55'. The included drawing indicate a setback of 45'. The other proposed setbacks conform to the zoning requirements. Spacing between structures should be within 15% of the block average.

The proposed front setback of 45' is appropriate. Given the limited number of structures, matching the setback of the property directly to the west is preferable. Only two structures exist on the north side of the block due to a recent demolition. Therefore, spacing relationships can't be established.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for the site is approximately 41%.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The proposed garage is placed on the side of the structure toward the rear in an appropriate location.

Alley. There is no alley access to this lot.

Driveway / Parking. Parking in the front yard is not permitted. Driveways should be concrete, pavers, or permeable paving.

The applicant is proposing a 10' driveway and it is appropriate.

Sidewalks. Sidewalks are required for new construction projects.

There is an existing sidewalk along Scott St. Recommend requiring a walkway be built from the front door to the sidewalk as is the pattern of the neighborhood.

Fences/Walls. No fencing is proposed.

Tree preservation. Trees over 8" in diameter should be retained and protected to the greatest extent possible. Canopy trees are required for each 30' of street frontage.

There is an existing 19" diameter tree in the front yard. The proposed driveway location has been moved to prevent damage and construction activities should stay out of the drip line of the tree. One additional canopy tree is required and improvements on the site should be moved in a manner to prevent harm to the existing tree.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure (2,240 sf + 506 sf) is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The height of the structure at 21' and the width at 33' (at front) will not be out of scale of the pattern of the neighborhood. The structure will be one story. There is a mix of one and two story structures in the immediate vicinity. The area features a mix of vertically and horizontally oriented structures.

Footprint. The structure should respect the ratio of building footprint to lot area of homes within the general vicinity.

The building footprint will cover less than 30% of the site, similar to other structures in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structure will contain a level of detailing and form that is compatible with the pattern of the neighborhood, as there is a mix of complex and simple structures.

Façade, Wall Area, Rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The front façade will be composed of 27% windows/openings.

DESIGN ELEMENTS

Style. New designs should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, and contemporary elements. The design appears largely compatible with the surrounding area.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep and made a primary focal point, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted.

An open front porch with a varying depth of 7.5' is proposed and is appropriate. Limited details are provided on the type of windows intended. If vinyl windows are intended, faux muntins are not permitted.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie board/LP SmartSide type siding.

The applicant is proposing the use of brick (foundation) and wood/Hardie board (horizontal siding and flat panel to mimic stucco). These materials are appropriate. Consider removal of the shutters on the upper story window.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Roof materials are appropriate. The applicant is proposing 8:12 roof pitching, which is appropriate to the area.

New Single-Family Residence (East House)

1830 Scott Street - Old Conway Design Overlay District

I.A

RECOMMENDATIONS

Staff recommends approval of the application with the following conditions:

1. Planting of one canopy tree is required in the front yard.
2. All HVAC and mechanical shall be placed in a manner to prevent from being seen from the street or screened from view.

The following design considerations are recommended for discussion:

1. Consider removal of the shutters on the upper story window.
2. Use of Hardie panel to mimic stucco.

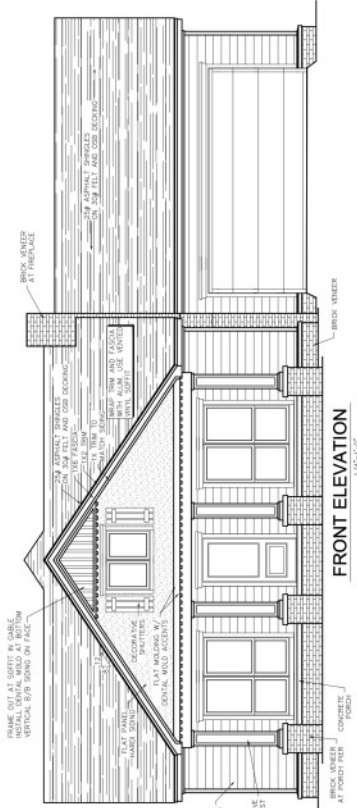
New Single-Family Residence (East House)

1830 Scott Street - Old Conway Design Overlay District

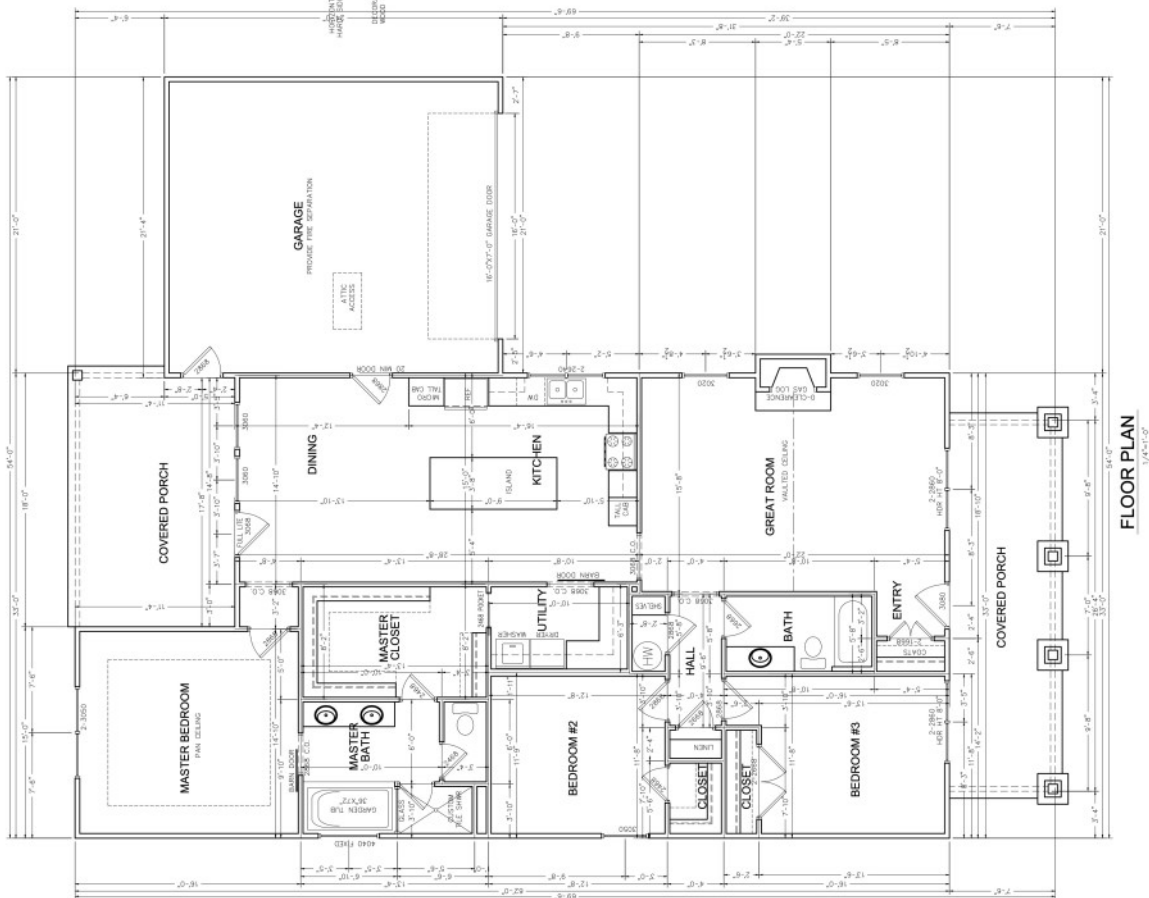
I.A



Revised Design



FRONT ELEVATION
1/4"=1'-0"



FLOOR PLAN
1/4"=1'-0"

General Notes:

- All measurements are to be verified by the contractor/builder on the job site. All dimensions take precedence over scaled dimensions.
- Contractor to verify layout of closet space with owner prior to construction to accommodate best use of shelves, rods, and drawers.
- All exterior finishes to be installed on exterior walls from garage to residence.
- Exterior landings at exterior doors to be minimum 3'-0" x 5'-0" with a minimum 2:12 pitch to exterior.
- Provide weep holes and flashing at brick and rock veneer.
- Minimum attic ventilation at 1/750' of the area of the attic with minimum 2" clearances above and below.
- Mechanical/Electrical layouts are included.
- Layouts included with this plan shall only be interpreted/used as suggested mechanical and electrical layouts.
- Professional mechanical and electrical contractor before construction.

STRUCTURAL AND FRAMING MEMBERS

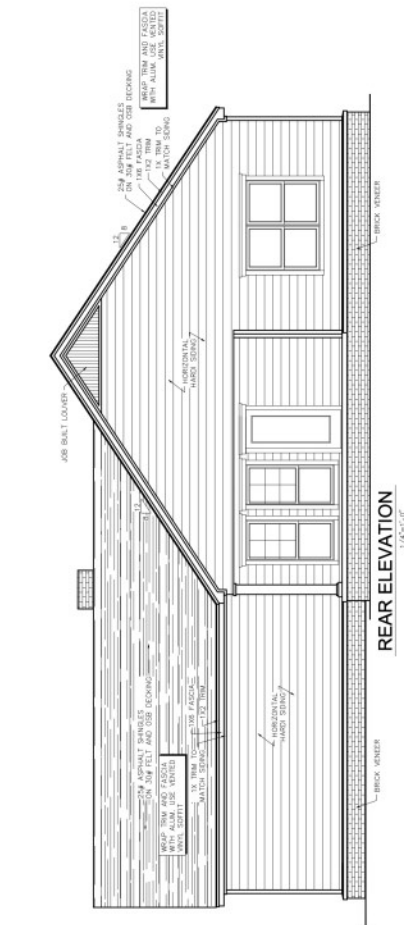
- It is the responsibility of the contractor/builder to verify the structural and framing members on the job site.
- It is the responsibility of the contractor/builder to verify the location of all windows and doors. On exterior walls, windows and doors to be centered on gable or shown on elevations.
- It is the responsibility of the contractor/builder to verify the location of all exterior doors.
- It is the responsibility of the contractor/builder to verify the location of all exterior doors.
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New Single-Family Residence (East House)

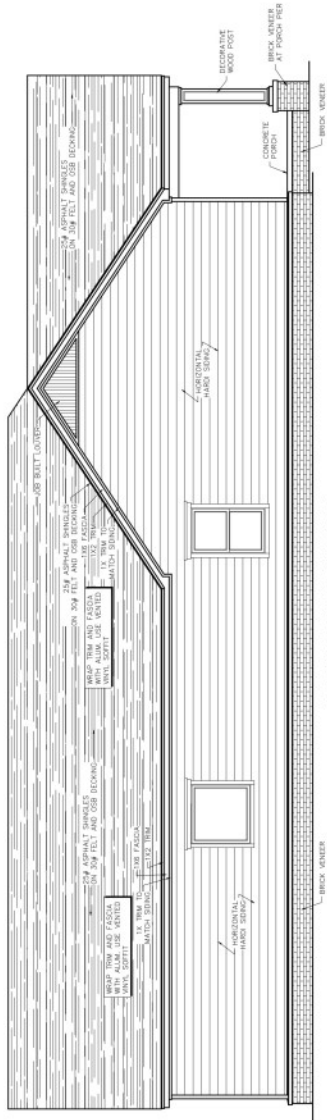
1830 Scott Street - Old Conway Design Overlay District



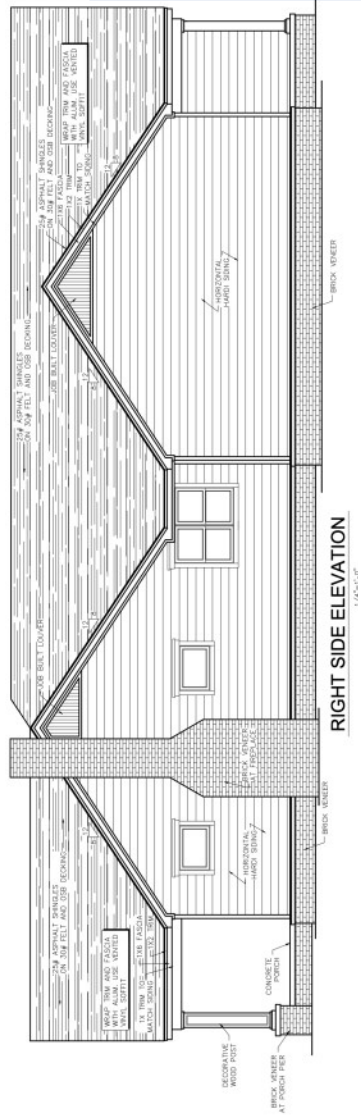
Revised Design



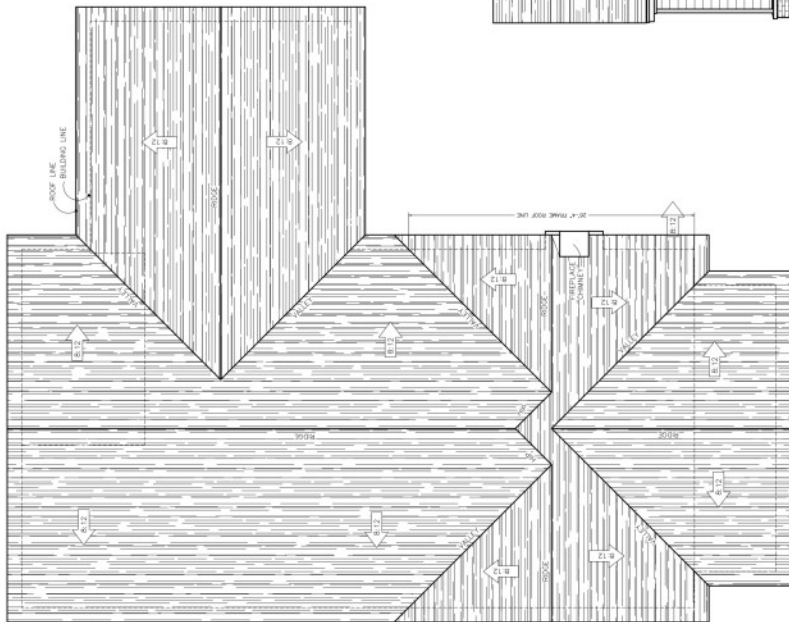
REAR ELEVATION
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"



RIGHT SIDE ELEVATION
1/4"=1'-0"



ROOF PLAN
3/8"=1'-0"



EXTERIOR FINISH SCHEDULE

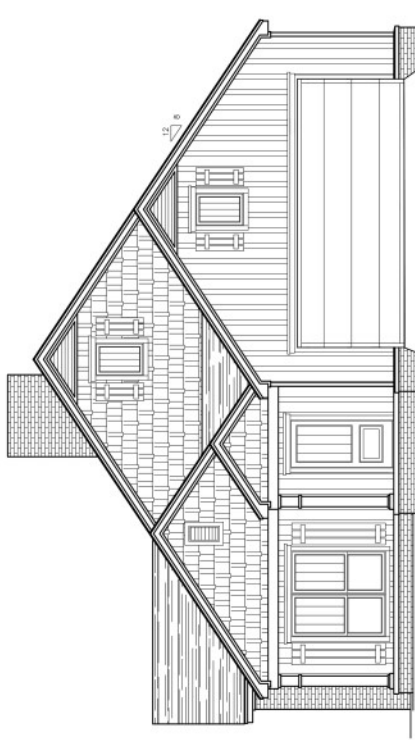
	STONE VENEER
	BRICK VENEER
	SCREEN PANEL
	HORIZONTAL HARDI SIDING
	VERTICAL HARDI SIDING
	SHAKE HARDI SIDING
	ARCHITECTURAL SHINGLE ROOF
	ARCHITECTURAL METAL ROOF

New Single-Family Residence (East House)

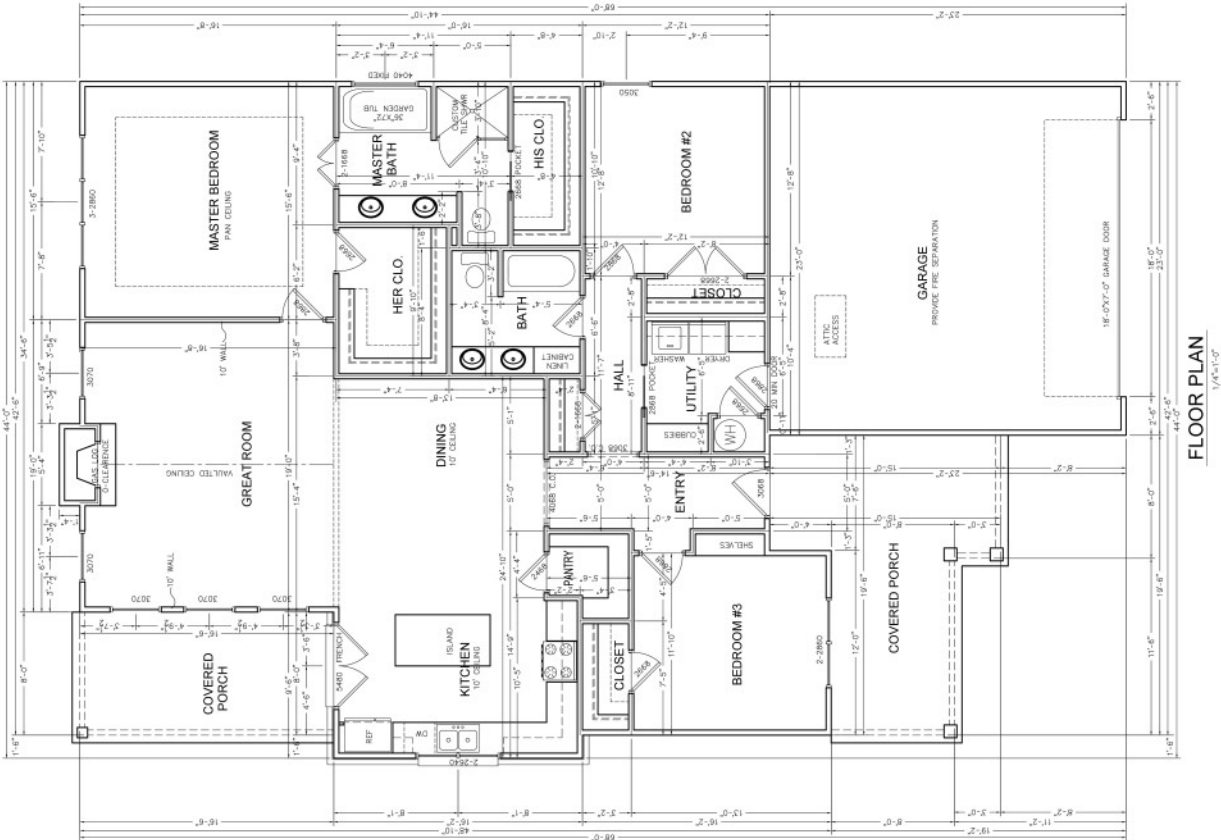
1830 Scott Street - Old Conway Design Overlay District



Original Design



FRONT ELEVATION
1/4"=1'-0"



FLOOR PLAN
1/4"=1'-0"

General Notes:

BUILDER/VERIFICATION NOTES:

- All measurements are to be verified by the contractor/builder on the job site.
- Calculated dimensions take precedence over scaled dimensions.
- Contractor to verify layout of closet space with owner prior to construction to accommodate best use of shelves, rods, and drawers.
- Verify fire rated access openings in garage and/or fire rated partition extending to roof deck in attic. 20 min fire rated door from garage to residence.
- Minimum height of ceiling above floor to be minimum 7'-3 1/2' with a minimum clearance above door to be minimum 7'-0" with a minimum height of 7'-3/4" and legs not exceeding 1/4" x 1/2"
- Provide weep holes and flashing at brick and rock veneer.
- Attic Ventilation openings: Minimum attic ventilation at 1/300 of the area of the attic with 1/2" mesh wire mesh.
- Mechanical/Electrical Layouts: Layouts included with this plan shall only be interpreted/used as suggested mechanical and electrical layouts.
- For the precise specifications, locations and sizes, consult mechanical and electrical contractor before construction.

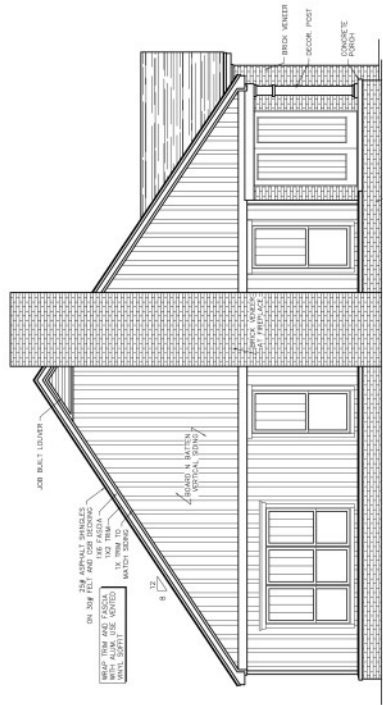
STRUCTURAL AND FRAMING MEMBERS:

- It is the responsibility of the contractor/builder and framing members on the job site to confirm the following aspects of the structural members:
 - a. species
 - b. size
 - c. spacing
- It is the responsibility of the contractor/builder to ensure that all structural members are installed and braced before construction.
- Foundation and framing members before construction.
- It is the responsibility of the contractor/builder to verify that all members are installed as shown on elevations. Members to be detailed on plans as shown on elevations.
- It is the responsibility of the contractor/builder to verify all anchor bolts at perimeter and interior load bearing walls.

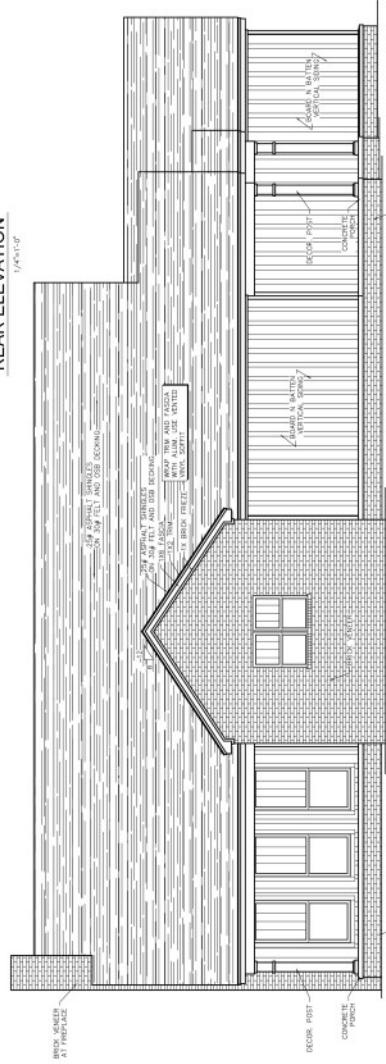
New Single-Family Residence (East House)

1830 Scott Street - Old Conway Design Overlay District

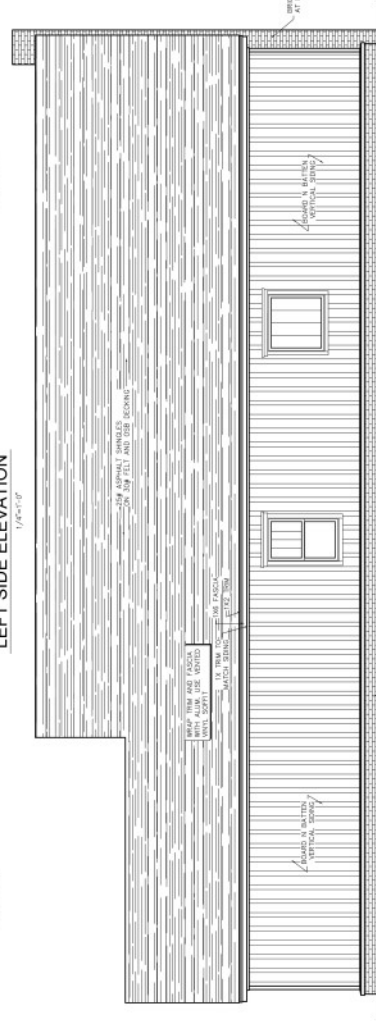
Original Design



REAR ELEVATION
1/4"=1'-0"



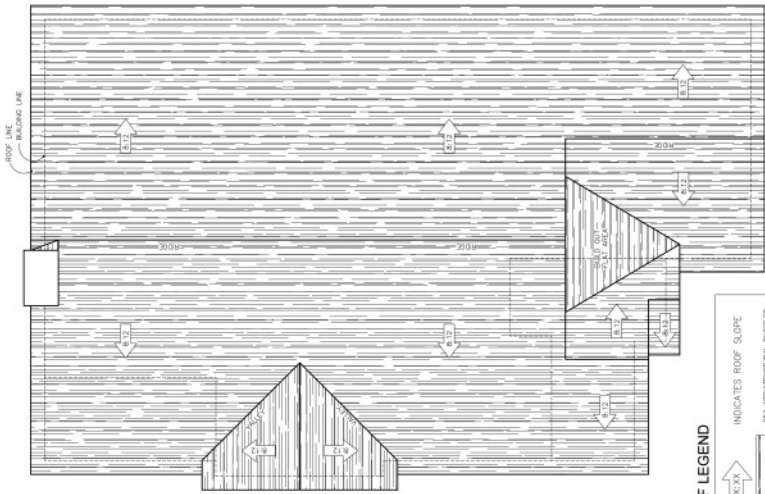
LEFT SIDE ELEVATION
1/4"=1'-0"



RIGHT SIDE ELEVATION
1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

	STONE VENEER
	BRICK VENEER
	SCREEN PANEL
	HORIZONTAL HARDI SIDING
	VERTICAL HARDI SIDING
	SHAKE HARDI SIDING
	ARCHITECTURAL SHINGLE ROOF
	ARCHITECTURAL METAL ROOF



ROOF PLAN
3/8"=1'-0"

ROOF LEGEND

	INDICATES ROOF SLOPE
	25\"/>

New Single-Family Residence (West House)

I.B

1832 Scott Street - Old Conway Design Overlay District

APPLICANT/OWNER

Tracy Crow/Crow Contracting, Inc.
1865 Cox Cove
Conway, AR 72034

DESIGNER

Monte Moix
Moix Designs



LOCATION

Address/Lot Area. 1832 Scott Street; 0.24 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

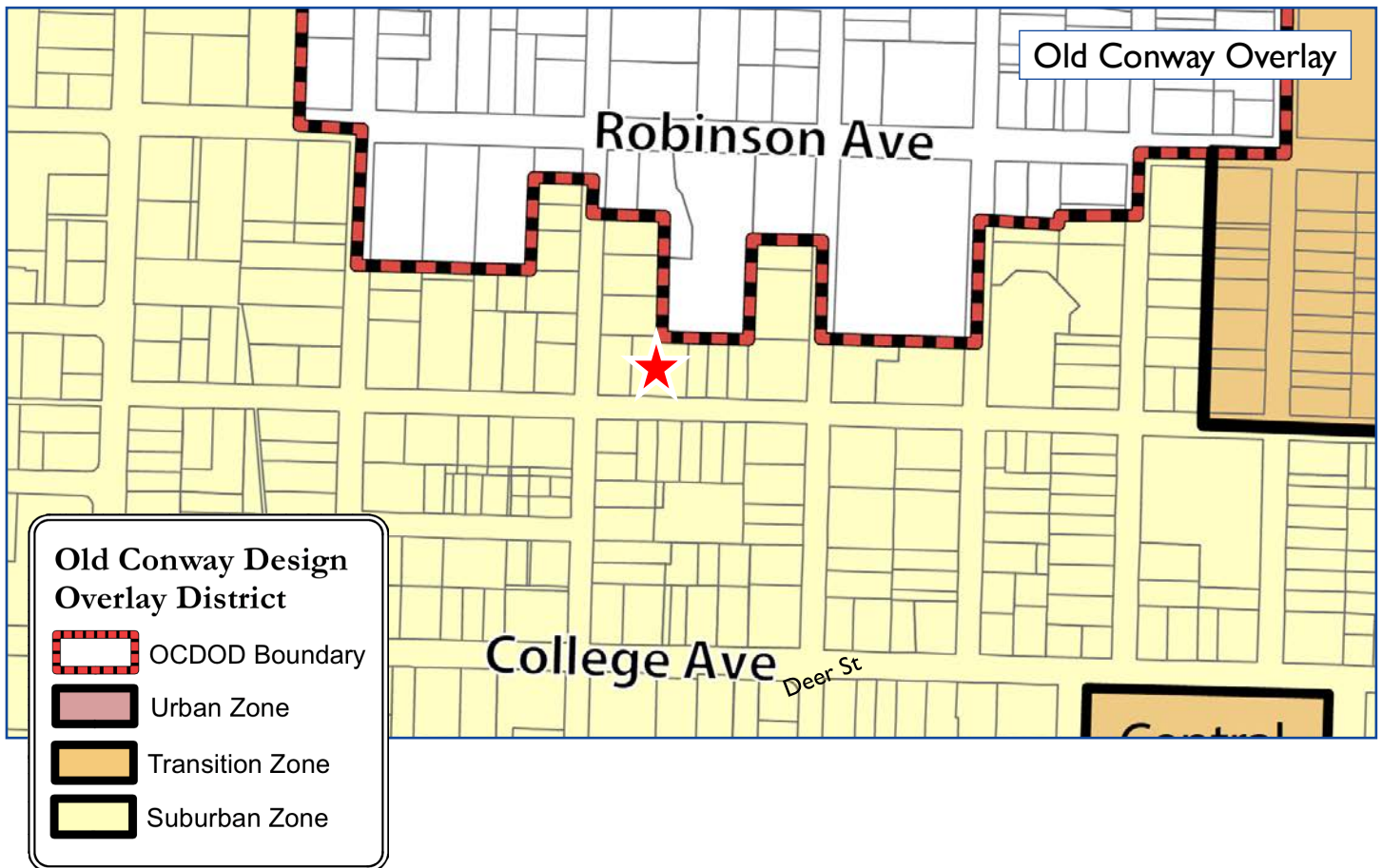
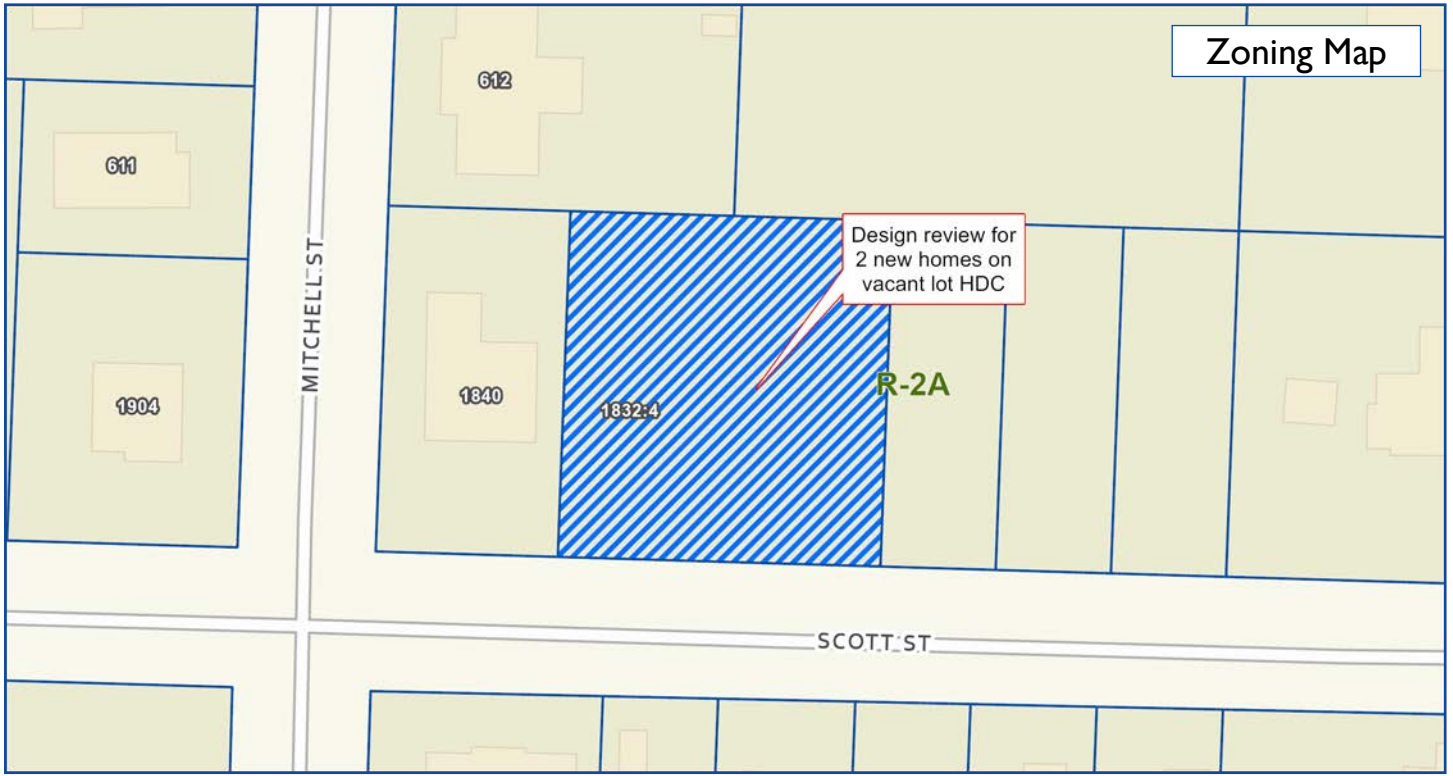
Abutting Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Scott Street. Area structures consist of single-family residences in American Four Square, Contemporary, Ranch, and Minimal Traditional styles.

General Description of Property and Proposed Development. The applicant is proposing to construct a new 2,136 square foot single-family home in a contemporary style with Craftsman influences.

New Single-Family Residence

1832 Scott Street - Old Conway Design Overlay District



New Single-Family Residence (West House)

1832 Scott Street - Old Conway Design Overlay District

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. The typical front setbacks for the north side of the block vary from 50' to 55'. The included drawings indicate a setback of 40'. The other proposed setbacks conform to the zoning requirements. Spacing between structures should be within 15% of the block average.

The proposed front setback of 45' is appropriate. Given the limited number of structures, matching the setback of the property directly to the west is preferable. Only two structures exist on the north side of the block due to a recent demolition. Therefore, spacing relationships can't be established.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for the site is approximately 41%.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The proposed garage is placed at the rear portion of the structure and is appropriate.

Alley. There is no alley access to this lot.

Driveway/Parking. Parking in the front yard is not permitted. Driveways should be concrete, pavers, or permeable paving.

The applicant is proposing a 10' driveway in an appropriate manner.

Sidewalks. Sidewalks are required for new construction projects.

There is an existing sidewalk along Scott St. Recommend requiring a walkway be built from the front door to the sidewalk as is the pattern of the neighborhood.

Fences/Walls. No fencing is proposed.

Tree preservation. Trees over 8" in diameter should be retained and protected to the greatest extent possible. Canopy trees are required for each 30' of street frontage.

There is an existing 34" diameter tree in the front. The proposed construction location has been moved to prevent damage and construction activities should stay out of the drip line of the tree. One additional canopy tree is required and improvements on the site should be moved in a manner to prevent harm to the existing tree.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure (2,136 sf + 517 sf garage) is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The height of the structure at 20' and the width at 31.75' at the front will not be out of scale to the pattern of the neighborhood. The structure will be one story. There is a mix of one and two story structures in the immediate vicinity. The area features a mix of vertically and horizontally oriented structures.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity. *The building footprint will cover less than 30% of the site, similar to other structures in the area.*

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structure will contain a level of detailing and form that is compatible with the pattern or the neighborhood as there is a mix of complex and simple structures.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The front façade will be composed of 25% windows/openings.

DESIGN ELEMENTS

Style. New designs should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, and contemporary elements.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep and made a primary focal point, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted.

An open front porch with a varying depth of 6' depth is proposed. Limited details are provided on the type of windows intended. If vinyl windows are intended, faux muntins are not permitted.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie board/LP SmartSide type siding.

The applicant is proposing the use of brick (foundation) and wood/Hardie board (Board and Batten siding). These materials are appropriate.

The three tier gable front is not appropriate to the area. Recommend requiring extending the middle tier to extend flush with the bedroom extension.

Recommend requiring the upper gables be composed of one style material (either shakes or horizontal siding) to be more compatible with the surrounding area.

Recommend requiring an additional window on the east façade for bedroom three (at the front of the house).

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Roof materials are appropriate. The applicant is proposing 8:12 roof pitch, which is appropriate to the area.

RECOMMENDATIONS

Staff recommends approval with the following conditions:

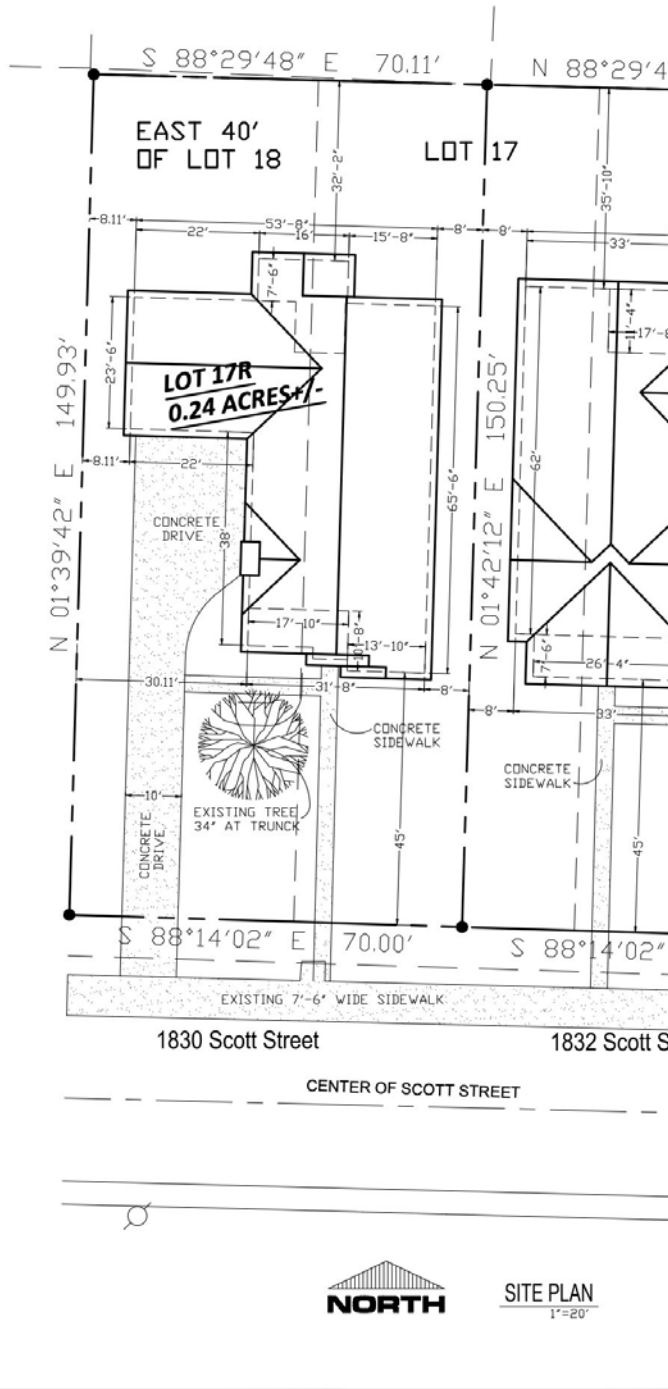
1. Planting of one canopy tree is required in the front yard.
2. All HVAC and mechanical shall be placed in a manner to prevent from being seen from the street or screened from view.
3. Require an additional window on the east façade for bedroom three (front of the house).
4. Require extending the middle tier gable to extend flush with the bedroom extension on the front of the house.
5. Require the upper gables be composed of one style material (either shakes or horizontal siding) to be more compatible with the surrounding area.
6. Require revised drawings for approval by the Planning Director prior to issuance of Certificate of Appropriateness.

New Single-Family Residence (West House)

I.B

1832 Scott Street - Old Conway Design Overlay District

Revised Site Plan



Site Photos



Adjacent Properties

Crow Contracting Inc.
1865 Cox Cove
Conway Arkansas 72034
Tracy Crow — crowcontracting@yahoo.com — 501-733-1858

SITE PLAN FOR: 7-9-20
1830 & 1832 Scott Street
Conway, Arkansas

CONWAY DESIGN DISTRICT
CUSTOM HOME PLANS - AUTOCAD DRAFTING SERVICE

Fence Variance

820 Center Street - Asa P. Robinson Historic District

APPLICANT

John & Julie Howard
119 Frecourte Cv
Maumelle, AR 72113

OWNER

LivProper, LLC
1775 Jasmine Ln
Conway, AR 72034



LOCATION

Address/Lot Area. 820 Center St; 0.25 acres +/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Robinson Historic District on the east side of Center Street. Area structures consist of the following:

- West – 825 Center Street: C.H. Dickerson House 1937 (American Traditional – Contributing)
- North – 828 Center Street: E.R. Keller House 1953 (Ranch – Non-Contributing)
- East – 825 Faulkner Street: 825 Faulkner House 1939 (Minimal Traditional – Non-Contributing)
- South – 816 Center Street: J.M. Dufield House 1923 (Bungalow– Contributing)

General Description of Property Proposed Development. The applicant has constructed a wooden privacy fence where no fencing existed previously. The fence consists of 6’ solid wood planks with a cap rail. The purpose of the fence is to provide separation from neighbors’ dogs.

The J.T. Harter House was constructed in 1928 in the Craftsman Style. The structure was listed as contributing at the time the district was surveyed in early 1998. The property was remodeled following HDC review in October 2019. The railing which has been installed on the side porch was discussed during the Commission’s review of the project, but a definitive design was not proposed or approved at that time.

Fence Variance

820 Center Street - Asa P. Robinson Historic District



SITE

Fences. Fences serve to define public versus private and provide privacy in rear yard. Fences should not exceed 6' tall with the top 2' feet being 50% opaque such as lattices and should be restricted to side and rear yard. Privacy fences should be setback from the front façade at least one-half the distance between the front and rear walls of the structure. The depth of the existing structure is 56'. Any fencing should be setback from the front façade a minimum of 28'.

The fence is a 6' solid wood privacy fence with a cap rail and is setback 13' from the front façade. There are very few fences in the immediate area. The fence constructed is now a prominent feature visible from the street which does not fit the historical character of the neighborhood and is therefore not appropriate in its current form.

RECOMMENDATION

Staff recommends one of the following modifications be made to the fence:

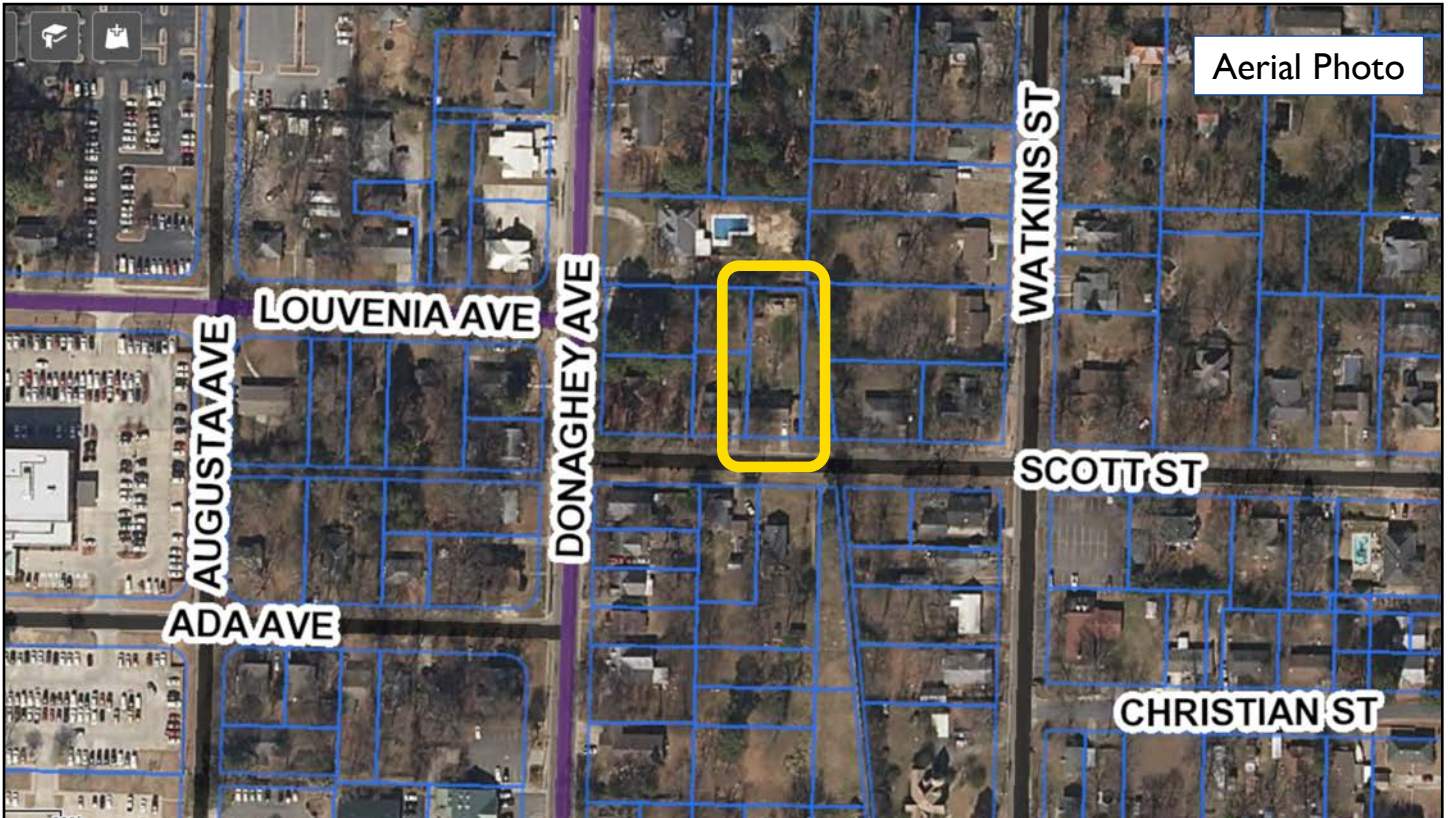
- 1) Modify the front leg of the fence to 4' tall and add a 2' tall, 50% opaque lattice-like extension.
- 2) Require additional landscaping in front of the fence including a minimum of 2 canopy trees and multiple shrubs.



Review of this application has been postponed pending additional information to be provided by the applicant.

APPLICANT/OWNER

Dustin Botsford
2056 Scott St
Conway, AR 72034



LOCATION

Address/Lot Area. 2056 Scott St; 0.31 acres+/-.

Present Zoning. R-1 (One-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Abutting Zoning. R-1, R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Scott St, approximately 180 feet east of Donaghey Avenue. Adjacent structures consist of single-family residences in minimalist traditional and modern Traditional styles.

General Description of Property and Proposed Development. The existing structure is an approximately 1,720 sf modern traditional style home. The applicant is proposing to enclose the existing carport.

SITE

Setbacks and Spacing. The footprint of the structure will remain the same with an eastern side setback of approximately 7 feet. The front wall of the enclosed carport will be in line with the front wall of the existing house setback approximately 18 feet from Scott St.

The existing setback of the house is within the allowable 85-115% range of the adjacent structures on the street. The proposed setback of the enclosure is appropriate.

Lot Coverage. Lot coverage conforms to the 60% impervious maximum.

Orientation. The front door of the home faces the street in an appropriate manner.

Alley. There is no alley access to this lot.

Driveway/Parking. The applicant will not be altering the existing driveway or parking area.

Fences/Walls. No fencing is proposed as part of the request.

Tree Preservation. No significant trees will be impacted by the request.

MASSING

Scale. The size of the structure should not dominate adjacent structures.

The size of the structure is compatible to the overall scale of structures in the surrounding area.

Height. The structure should respect and be consistent with the height of structures in the surrounding area.

The structure's height will not be increased.

Footprint. The footprint of the structure should be consistent with homes in the vicinity.

The footprint of the structure will be generally consistent with the surrounding homes. The structure will not appear significantly larger from the street, and will not visually dominate the area.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.

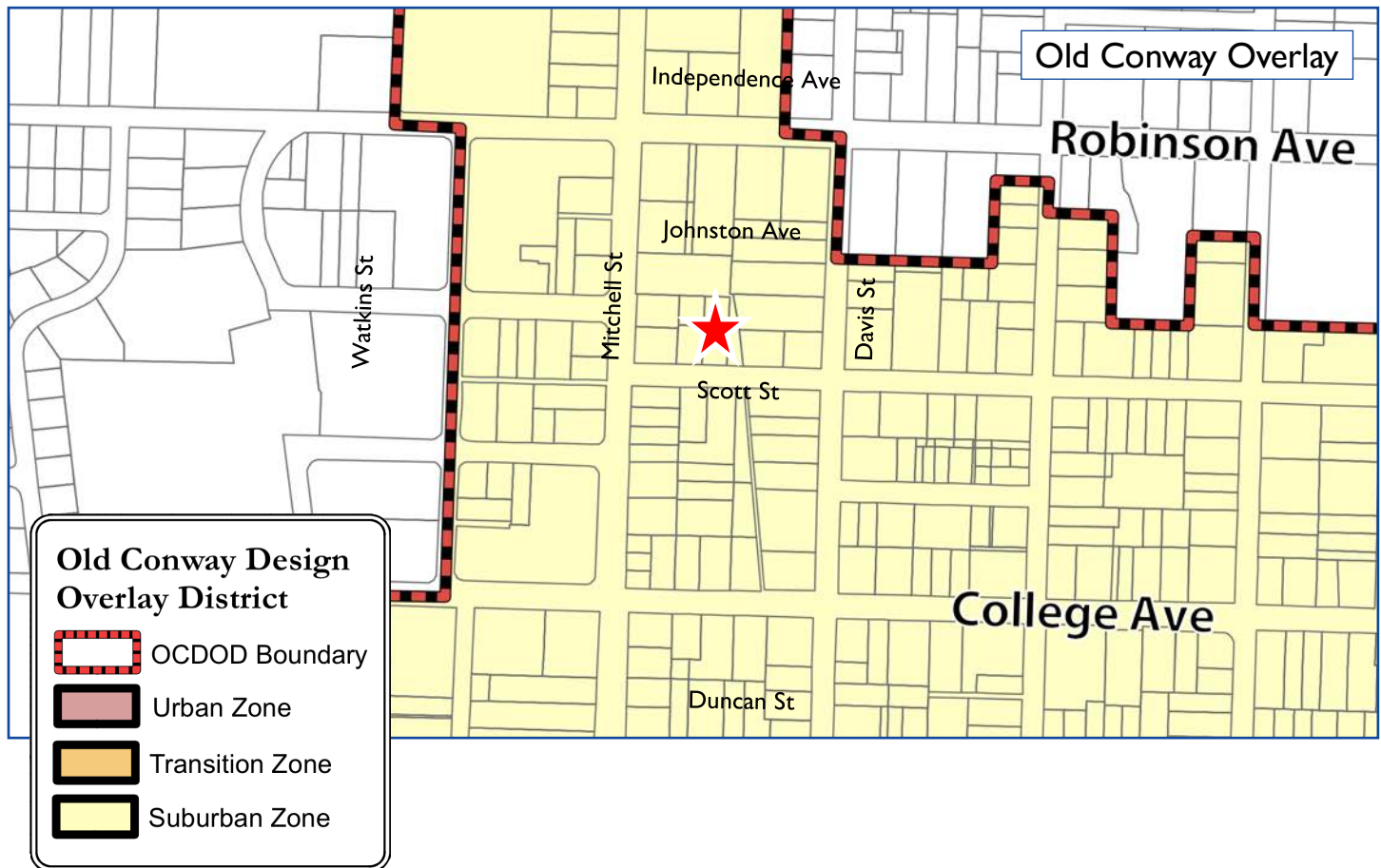
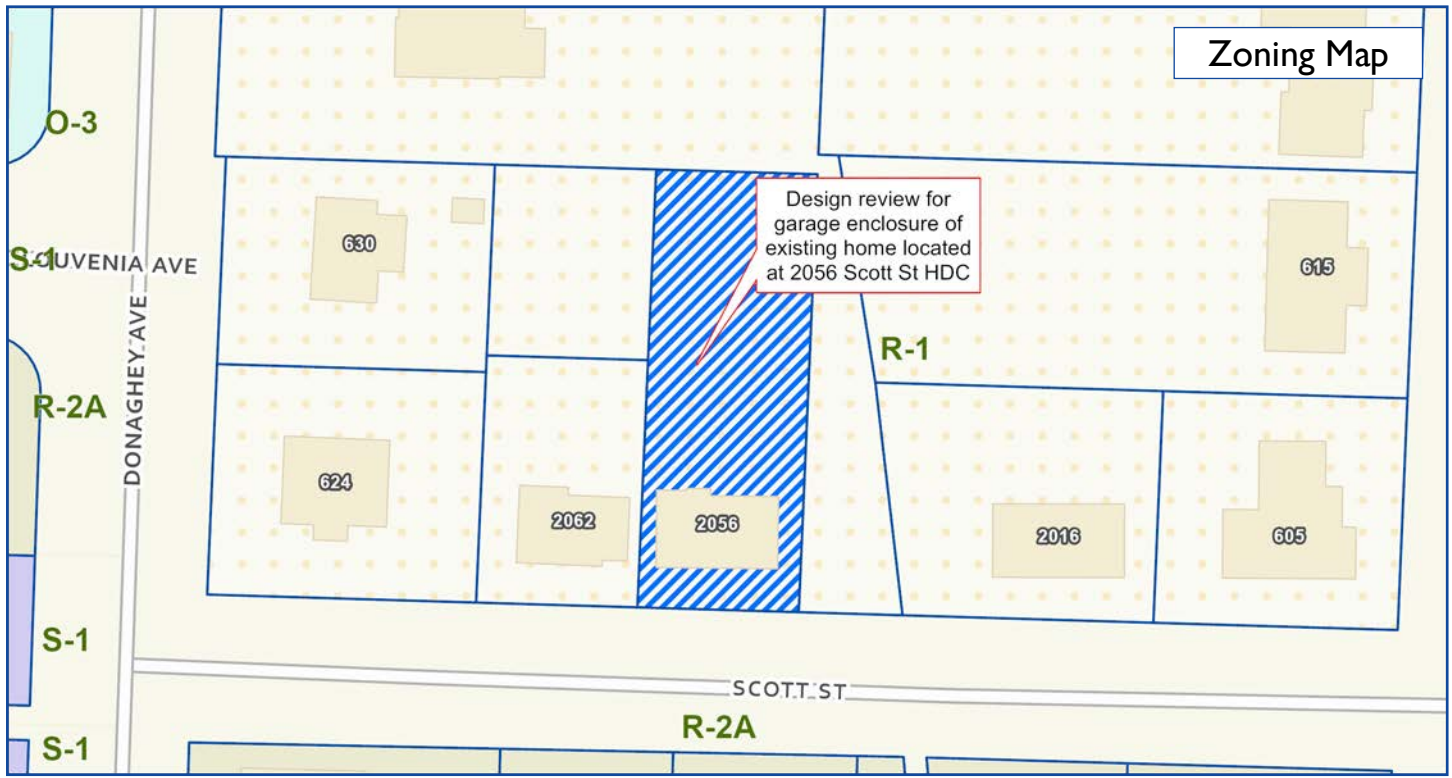
The style of the structure shall remain consistent with the area and maintain its modern traditional style.

Entries, Porches, and Porticos; Doors and Windows; Awnings. The size and proportion, or the ratio of width to height of window and door openings of new buildings' primary facades should be similar and compatible with those on facades of surrounding homes.

The applicant is proposing a horizontally oriented window on the front façade of the proposed enclosure. The proposed window orientation is inconsistent with the existing openings on the front of the house. Staff has included a condition of approval that the proposed window be replaced with one that is consistent in height to width ratio to the other front windows.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting is shown on submitted plans.



MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks. Detailing, materials, and siding should be consistent with and complement the existing structure.

Detailing and materials are uncertain from the application. The applicant has stated that the proposed enclosure will be clad in siding matching the existing house, however the majority of the house is clad in brick. Given the difficulty of matching the existing brick, Staff concurs with the use of siding. However, given the lack of material information provided, Staff recommends minimum requirements be imposed as a condition of approval. This would include requirements for the use of wood or Hardie board as the siding material.

Additions. Additions should remain consistent and compatible with the materials, form, size, and scale of the existing structure.

The enclosure, as conditioned, will remain consistent with the existing structure and shall not alter its appearance in a manner that is inconsistent with its form, materials, etc.

RECOMMENDATIONS

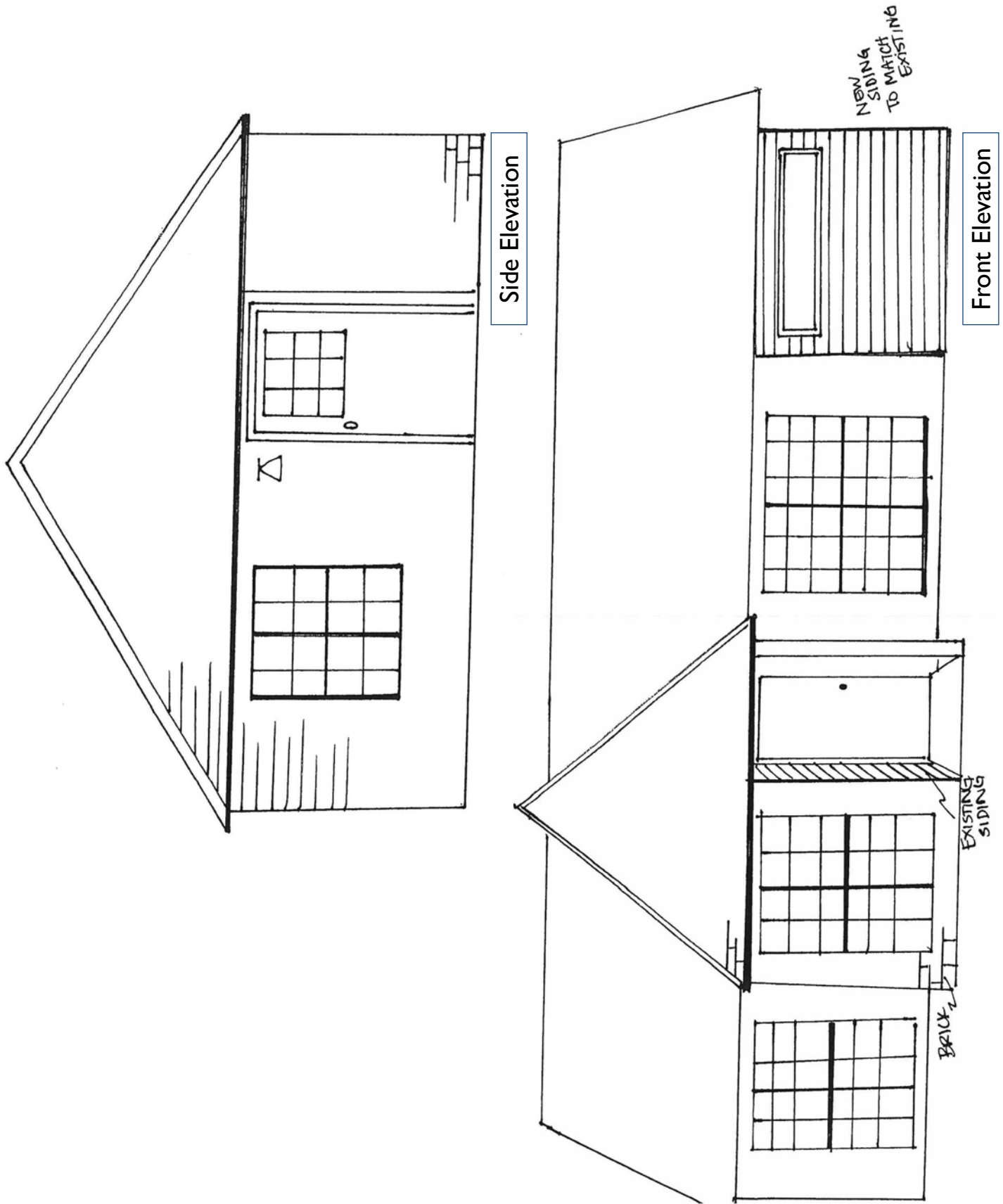
Staff recommends approval of the new residence and driveway with the following conditions:

1. The enclosed carport shall be constructed with wood or Hardie board, as appropriate.
2. HVAC equipment be placed in a manner to minimize its visibility from the street.
3. The proposed window design shall be replaced with a window matching the height to width ratio of the existing windows on the front façade of the house.



Carport Enclosure

2056 Scott Street - Old Conway Design Overlay District



Review of this application has been postponed pending additional information to be provided by the applicant.

Residential Remodel & Addition

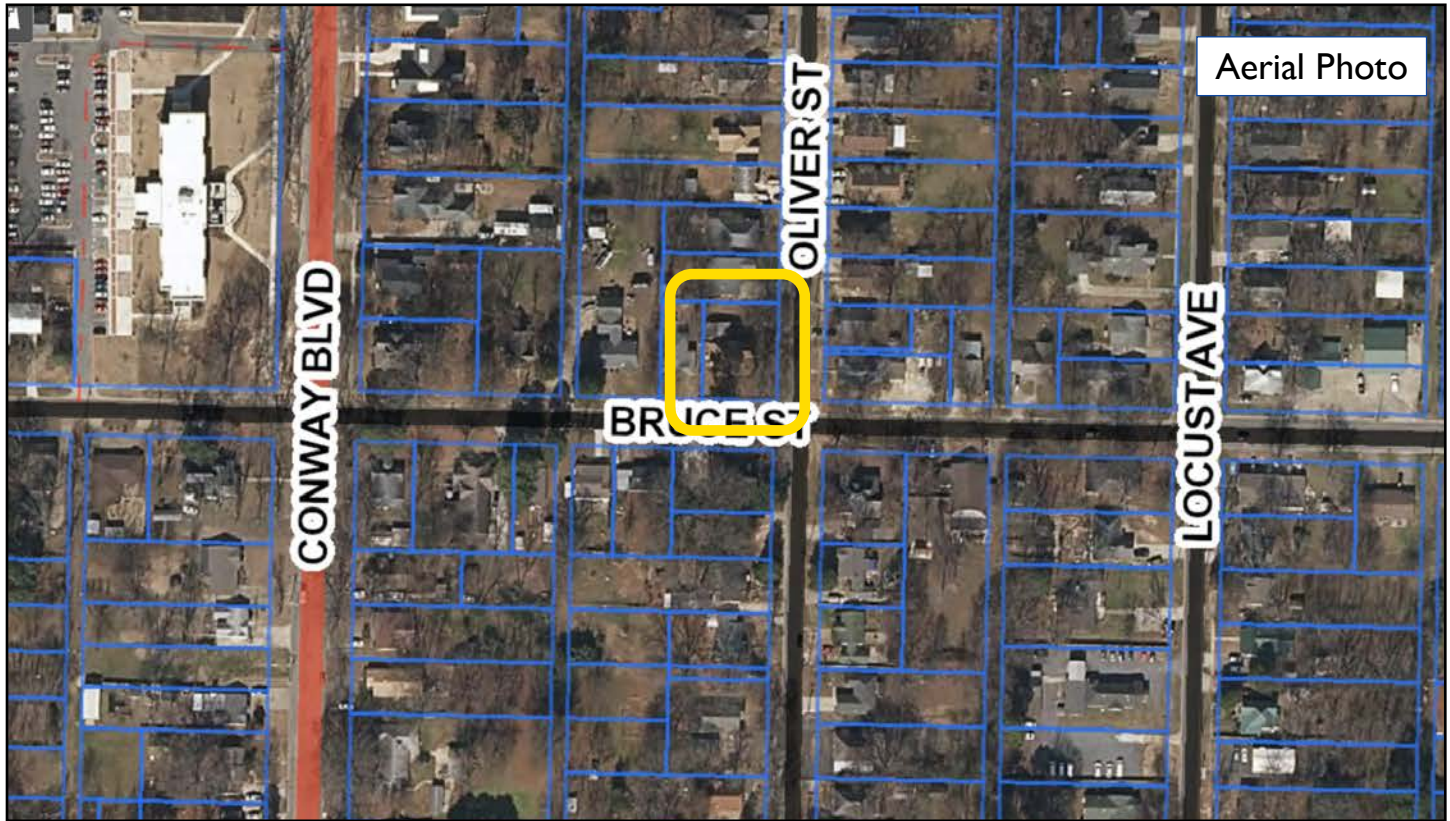
303 Oliver Street - Old Conway Design Overlay District

APPLICANT/OWNER

Donny & Jenny Quick
5135 Lost Canyon Dr
Conway, AR 72034

DESIGNER

Monty Moix / Moix Designs
29 Fortune Ln
Conway, AR 72032



LOCATION

Address/Lot Area. 303 Oliver St; 0.24 acres+/-.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

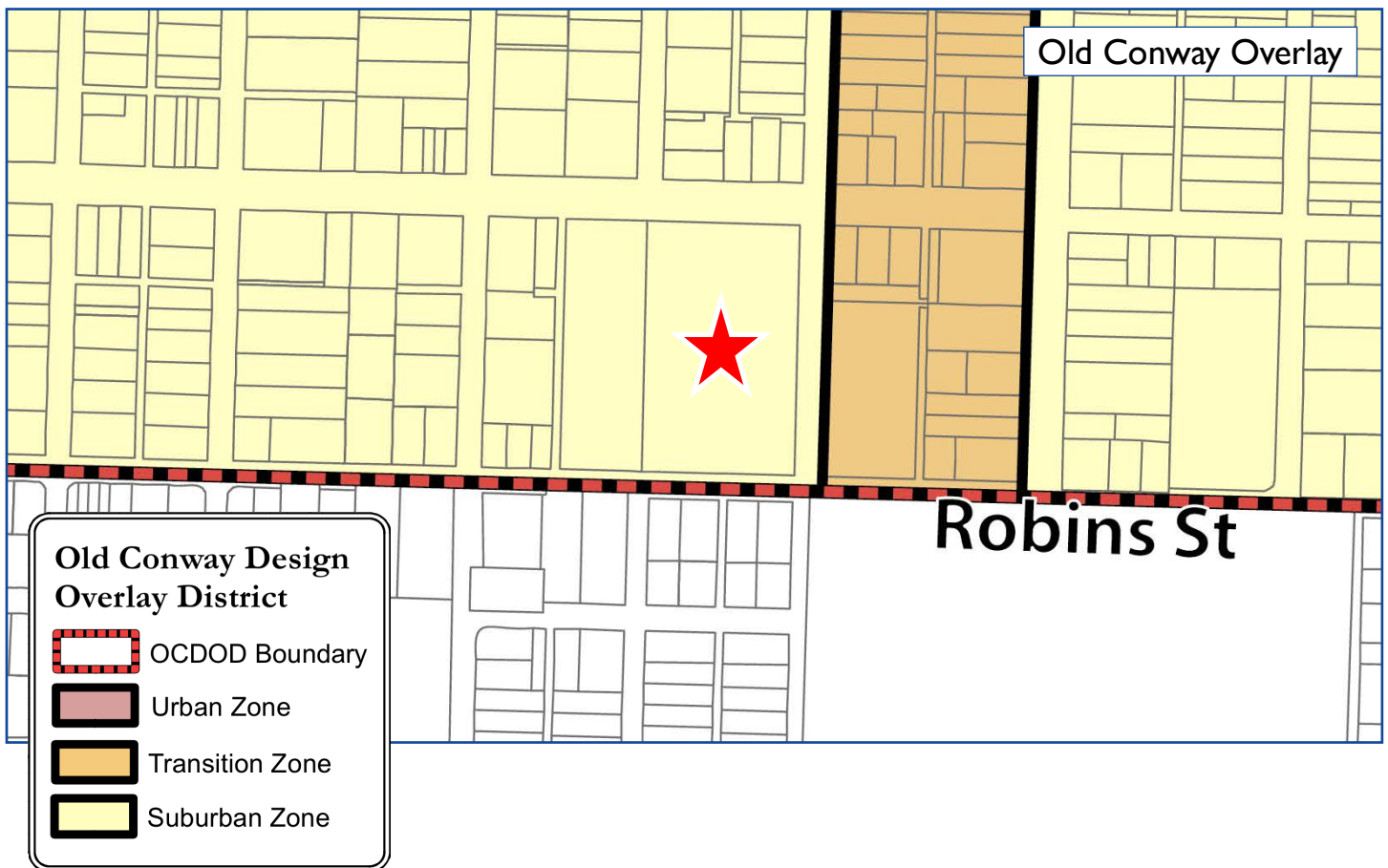
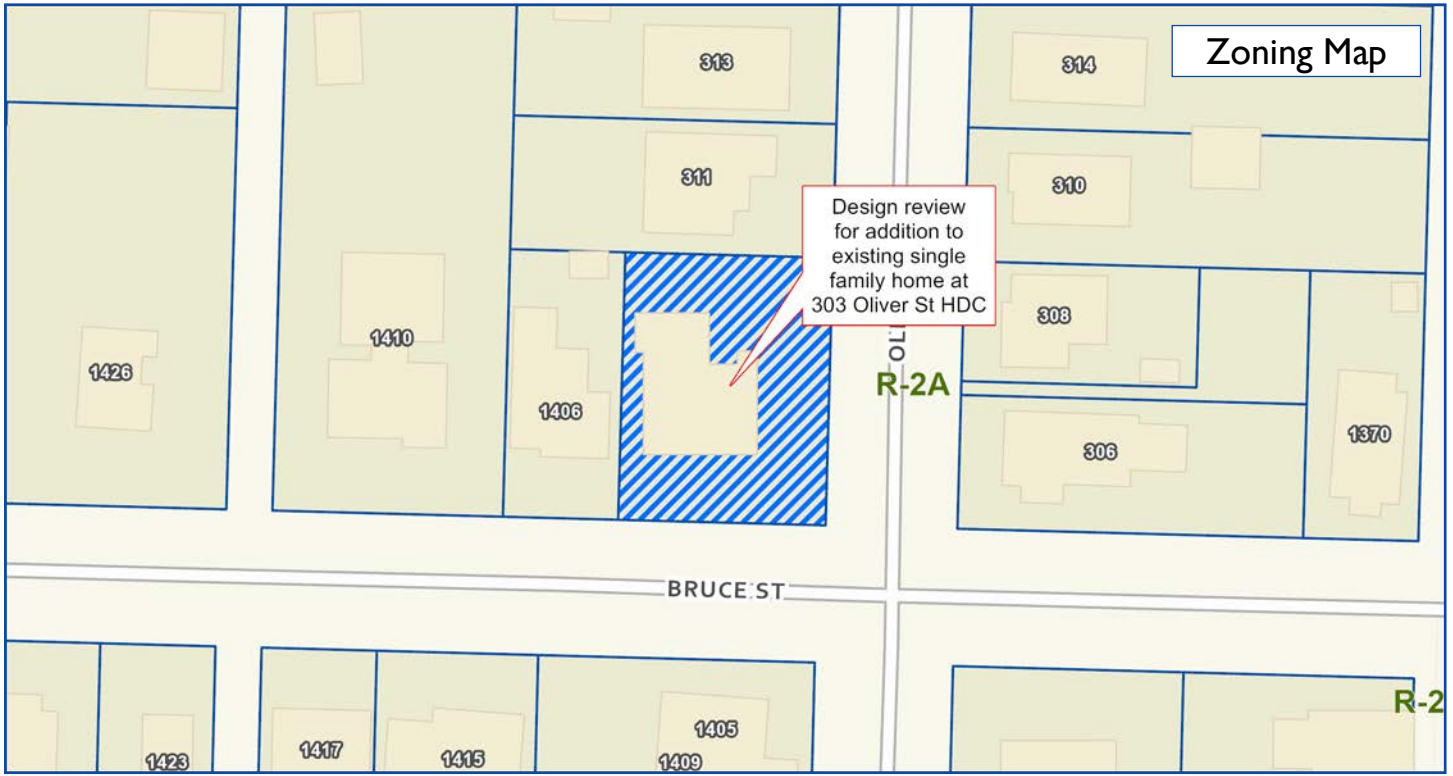
Abutting Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay District - Suburban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District at the northwest corner of Bruce St and Oliver St. Area structures consist of single-family homes in minimal traditional and contemporary vernacular styles.

General Description of Property and Proposed Development. The site is occupied by a single-family home with a connected carport. The house has a footprint of approximately 1,300 sf. The applicant is proposing to rebuild an approximately 104 square foot bathroom and utility room. Additionally, the applicant is proposing to demolish the existing carport and construct a new approximately 570 square foot carport and storage building.

Residential Remodel & Addition

303 Oliver Street - Old Conway Design Overlay District



SITE

Setbacks and Spacing. Outbuildings should be at the rear of the principal building with a 3' minimum side setback, 2' minimum rear setback, and an 8' minimum secondary frontage setback.

The setbacks will be 30' to the rear and 50' to the secondary frontage. The garage will be placed to the rear of the structure when viewed from the primary frontage.

Fences/Walls. No fencing is proposed.

Landscaping and Tree preservation. There is no landscaping proposed with the project. There are no significant trees that will be affected by the project.

MASSING

Height. New structures should respect the pattern of existing structures in the surrounding area.

The structure appears to respect the historical norms within the area. The structure will not exceed the height of the adjacent principal building.

MATERIALS & DETAILING

Roof. The roof should respect the roof lines and pitches of roofs in the general vicinity.

The new structure will feature a gable roof while the existing residence features a hip roof. The Commission may want to consider a condition of approval that the roof line be changed to match that of the existing principal structure.

Outbuilding. The structure should use materials consistent with the principal structure. Accessory structures should not exceed 30% the size of the footprint of the primary structure.

The applicant will clad the 104 square foot bathroom/utility room with the existing wood siding. The new building is proposed to be clad with vertical Hardie cement siding. The proposed area of the accessory structures on the site will exceed 30% of the footprint of the existing house, however the proposed square footage is appropriate given the closeness in size to the existing carport.

RECOMMENDATIONS

Staff recommends approval of the application with the following conditions:

1. All mechanical equipment shall be placed in a manner to minimize view from the right-of-way or adequately screened.
2. The property shall be platted in accordance with Subdivision Ordinance.
3. Any changes to the driveway shall be presented to the Historic District Commission for review.

Residential Remodel & Addition

303 Oliver Street - Old Conway Design Overlay District



