



CITY OF CONWAY, ARKANSAS

December 27, 2021 · 5:30pm · 1111 Main Street



December 27, 2021 · 5:30 pm

MEMBERS

Steve Hurd, Chairman
Emily Walter, Vice-Chairman
Shelby Fiegel, Secretary
Liz Hamilton
Margaret West
Shane Lind
Marie Cason

Call to Order.

Roll Call.

Approval of Minutes. November 22, 2021

I. Public Hearing Items - Robinson Historic District

A. 1832 Robinson Avenue - Signage (HDR-1221-0158)

II. Public Hearing Items - Old Conway Design Overlay District

A. 908 Chestnut Street - Exterior Modification (HDR-1121-0139)

III. Discussion

A. Additional items as decided by the Commission

Adjourn.

1832 Robinson Avenue - Signage

HDR-1221-0158 - Robinson Historic District



APPLICANT

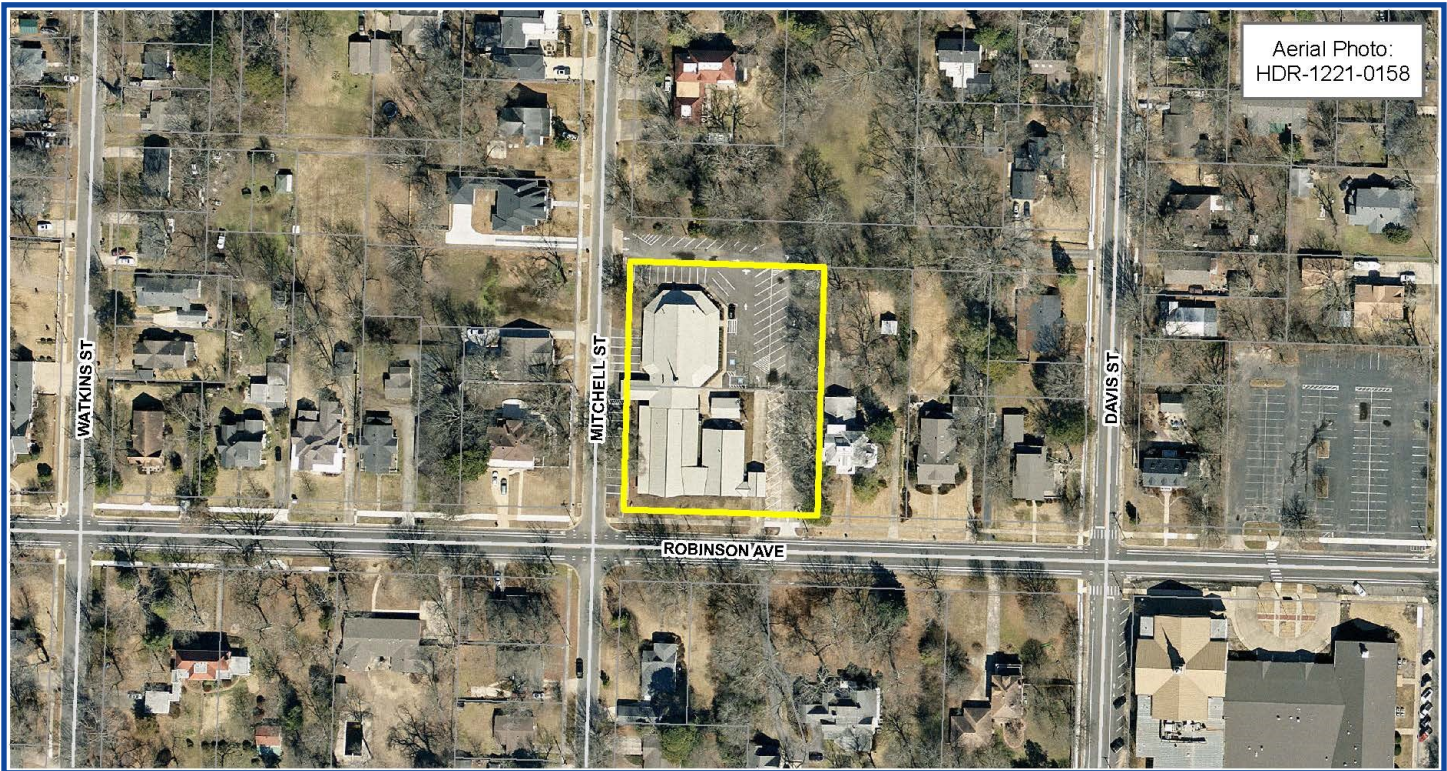
James Walden
City Church Conway
14 Oakdale Dr
Conway, AR 72034

OWNER

City Church Conway
1832 Robinson Ave
Conway, AR 72034

CONTRACTOR

Zachary Harrison
The Oaklawn Shop
232 Oliver St
Conway, AR 72034



SITE

Address: 1832 Robinson Ave.

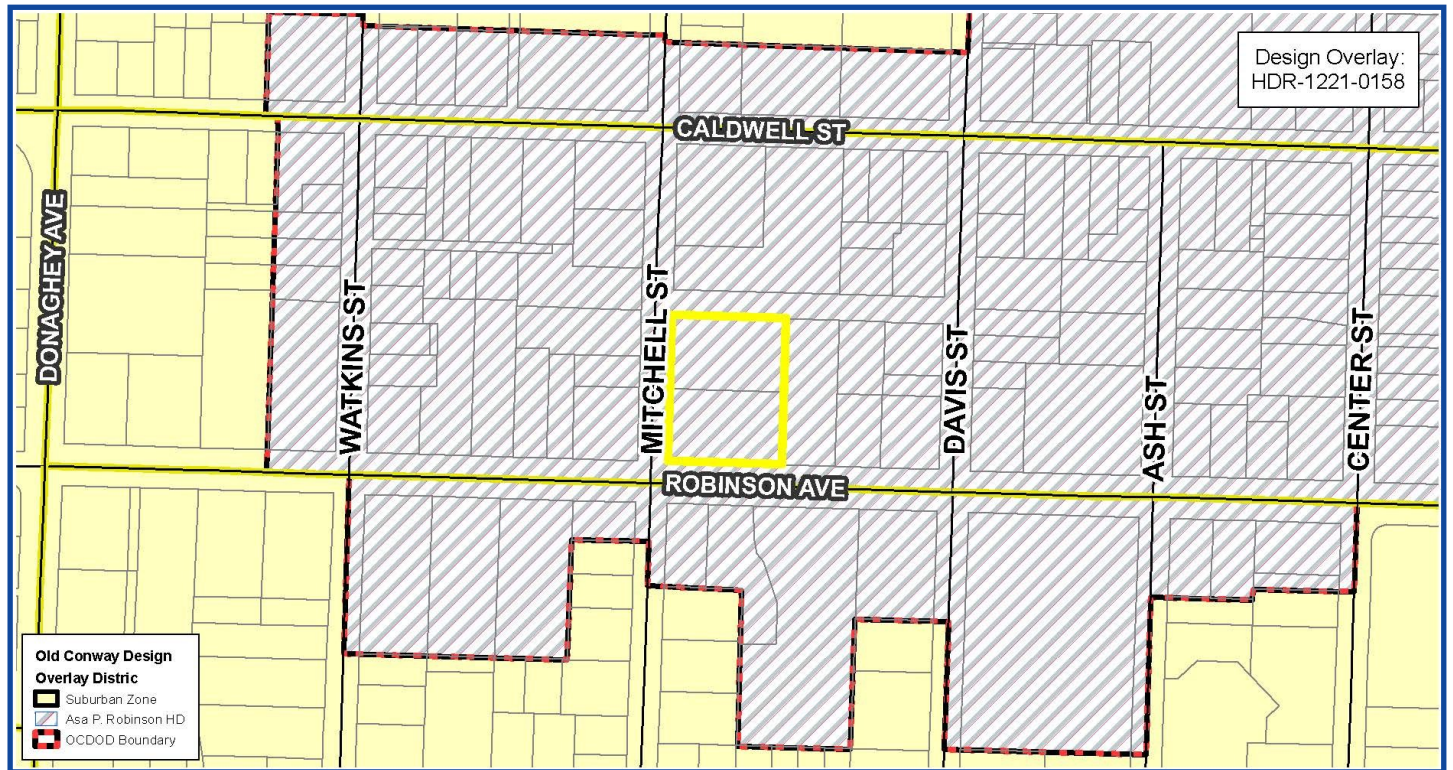
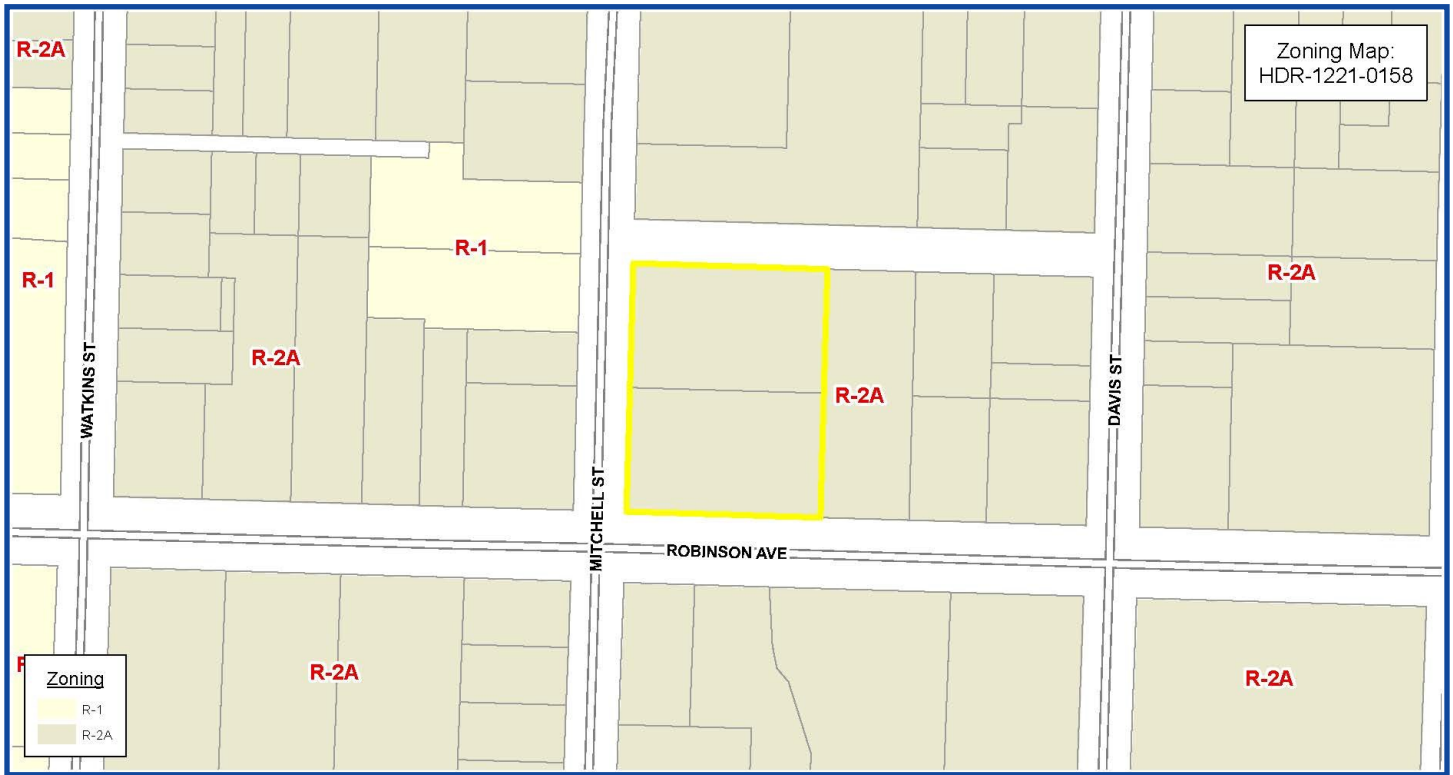
Present Zoning. R-2A (Two-Family Residential), Robinson Historic District.

Abutting Zoning. R-2A (Two-Family Residential), Robinson Historic District.

Lot Area. 0.71 acre ±.

Surrounding Area Structures. The church property is located in the Robinson Historic District at the northeast corner of Mitchell St and Robinson Ave and is surrounded by single family residential structures representing various styles and construction dates. These styles include craftsman, neoclassical, Queen Anne, minimal traditional, ranch, and local vernacular.

General Description of Property and Proposed Development. The church is a one-story mid century modern design. The applicant would like to place a large wall sign on the Robinson Ave façade and two small free-standing two pole (monument) style signs along the Mitchell St frontage and near the intersection of Mitchell St and Robinson Ave. These signs would help identify the church and aid with way finding to the church parking lot.



STREETSCAPE

Signage. All freestanding signs in the Robinson Historic District should not exceed 16 square feet in area and 4 feet in height. The Sign Ordinance otherwise allows religious facilities to have 1 monument or two-pole sign up to 6 feet in height and 48 square feet in area and 1 wall sign in R-2A zoning districts.

The area is very residential in character with no surrounding wall or ground mounted signage.

The following guidelines concerning signage would be applicable:

- Introduce new signage that is compatible in material, size, color, scale, and character with the building or the district. Design signage to enhance the architectural character of a building.
- Introduce new signs, including graphics for windows or awnings, that are easily read and of simple design. Keep the size of graphics on windows or awnings in scale with the feature. It is not appropriate to obscure the view through a large portion of a window with graphics. No more than 25% of any window shall be used for signage. *The added window sign appears to be larger than 25% of the window area.*
- Select colors for new signage in the historic district that are compatible with the related structure or streetscape.
- Construct new signs of traditional sign materials, such as wood, stone, and metal. It is not appropriate to introduce an incompatible contemporary sign material, such as plastic, in the historic districts. *Signs are constructed of aluminum composite materials.*
- Install freestanding signs in appropriate locations on low standards or ground bases. Consider screening the base of ground signs with plantings to enhance its appearance. *Signs are taller than previous signs in these areas. No screening has been installed or proposed, but will have to be installed as a condition of receiving sign permit approval.*
- All signage is subject to approval of the HDC. Freestanding signage shall be externally lit, monument, two pole, or post and arm style and shall be no greater than 16 square feet in area per side and no more than 4 feet in height. All other signage shall be governed by current City of Conway sign regulations. *Both ground mounted signs are located within the right-of-way and the sign located at the corner of Robinson Ave and Mitchell St is located within the clearview zone and must be moved further inward on the property. The Conway Sign Ordinance states religious facilities are allowed only 1 wall and 1 ground-mounted sign in R-2A zones. There is precedent for signs over 16 sf at similar sites throughout the Old Conway and the district. Complaints have been received regarding illumination of signage on the site.*



RECOMMENDATIONS

Staff recommends approval of the signs with the following conditions:

1. The Mitchell St sign shall be removed and the remaining ground-mounted sign moved out of the right-of-way and clearview zone.
2. No signage may be illuminated after 8 PM, or in a manner that would result in excessive light trespass onto neighboring properties with no more than 100 lumens per square foot of signage.
3. Landscaping shall be required around the base of the ground-mounted sign.

1832 Robinson Avenue - Signage

HDR-1221-0158 - Robinson Historic District

I.A

Mitchell Facing Sign



Robinson Facing Sign



Sign Face Dimension = 2 ft. X 4 ft.
Total Dimension (including posts) = 4 ft. X 4.75 ft.

Face Dimension = 2 ft. X 4 ft.
Total Dimension (including posts) = 5 ft. X 4.75 ft.

- 4. All applicable signs must be permitted to adhere to the Conway Sign Ordinance.



1832 Robinson Avenue - Signage

HDR-1221-0158 - Robinson Historic District

I.A



908 Chestnut Street - Exterior Modification

HDR-1121-0139 - Old Conway Design Overlay District

APPLICANT/OWNER

Bunny Adcock
First Real Estate LLLP
1107 Oak St
Conway, AR 72032

CONTRACTOR

Zach Brown
Salter Construction, Inc
PO Box 11778
Conway, AR 72034



SITE

Address: 908 Chestnut St.

Present Zoning. C-1 (Central Business District), Conway Old Conway Design Overlay District Urban Zone.

Abutting Zoning. C-1 (Central Business District), Conway Old Conway Design Overlay District Urban Zone.

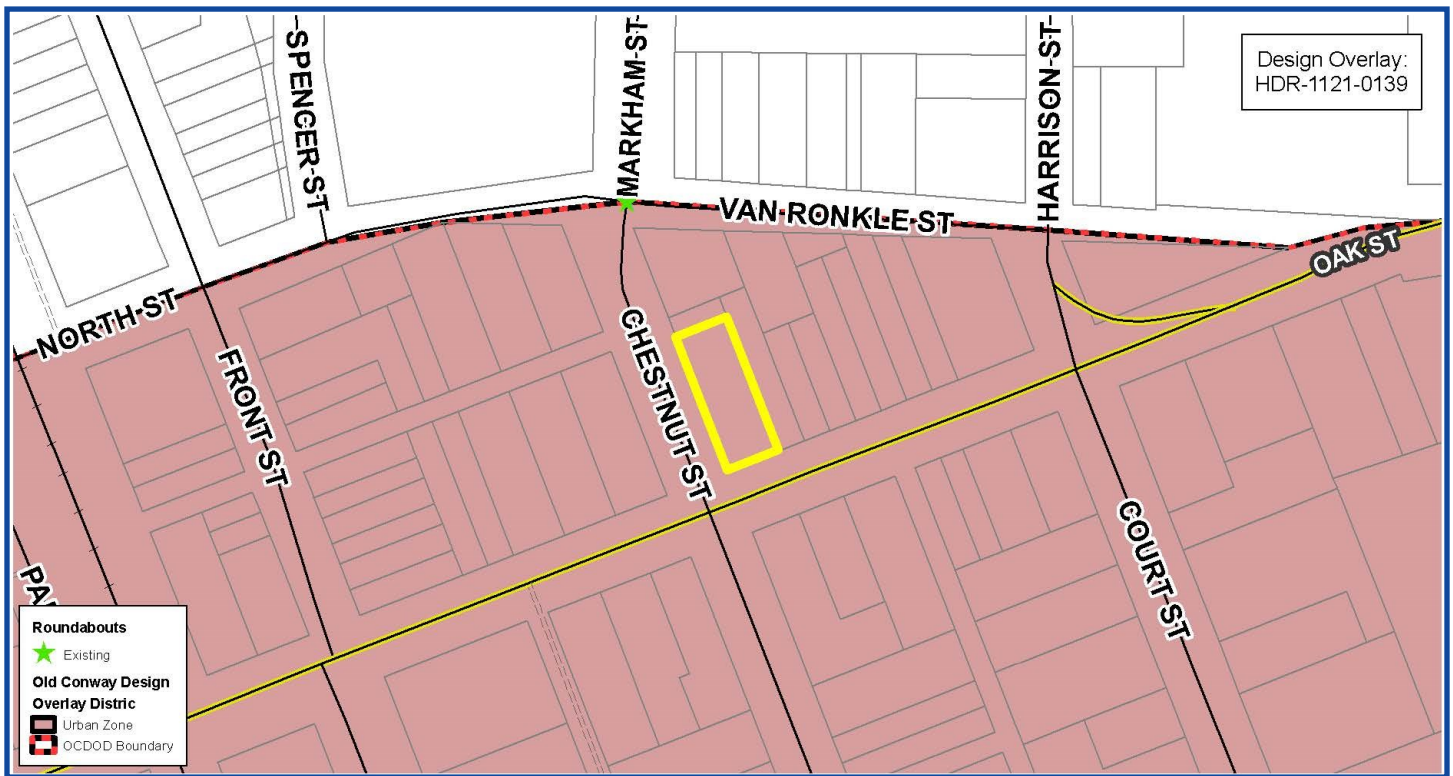
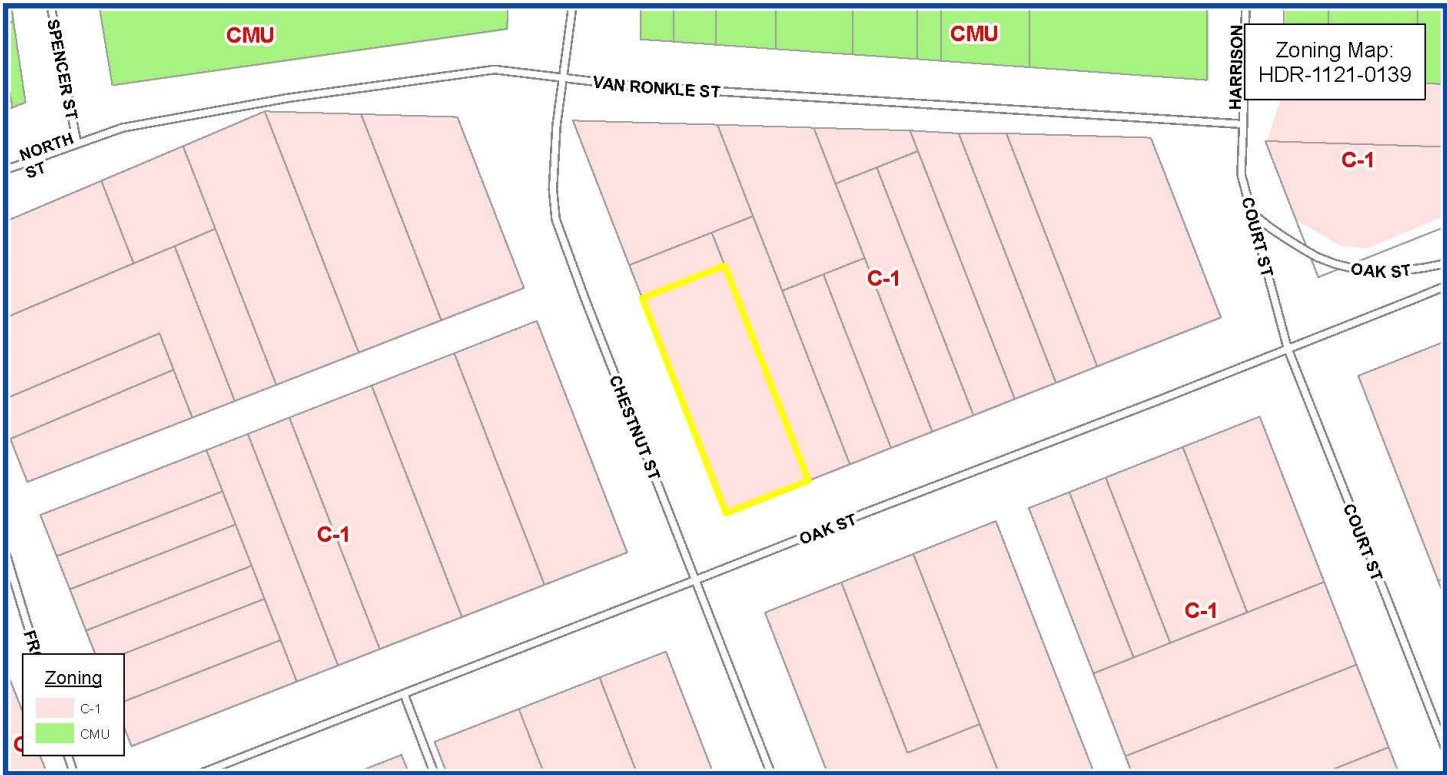
Lot Area. 0.15 acre ±.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Urban District on the northeast corner of Oak St and Chestnut St. Area structures consist of commercial structures in 19th and early 20th commercial vernacular forms.

General Description of Property and Proposed Development. The applicant is proposing to open a new storefront facing Chestnut St within an existing block addition to the Massey-Grummer Hardware building. The storefront will honor the design theme of historic storefronts within downtown.

908 Chestnut Street - Exterior Modification

HDR-1121-0139 - Old Conway Design Overlay District



ARCHITECTURE

Façade Articulation. Façades should be broken into bays with articulation that prevents the appearance of flat, unbroken walls.

The design will improve the appearance of the existing flat wall façade by adding an appropriate storefront.

Ground-Level Façade Detail. A minimum of 2/3 of the first floor façades should be windows and all first story windows should be no higher than 3' above the ground.

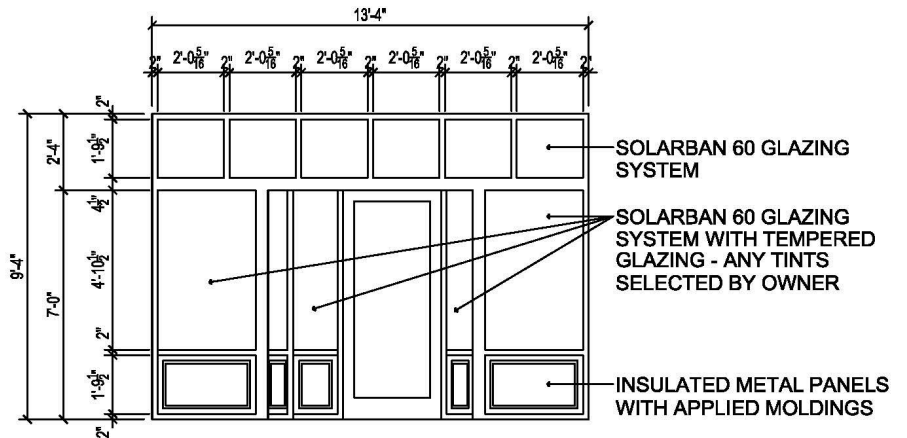
The design meets this requirement.

Building Materials. Building materials shall include brick, stone, concrete, architectural metals, stucco/plaster, and wood trim. Glazing on the first floor should be at least 85% transparent.

The design meets this requirement.

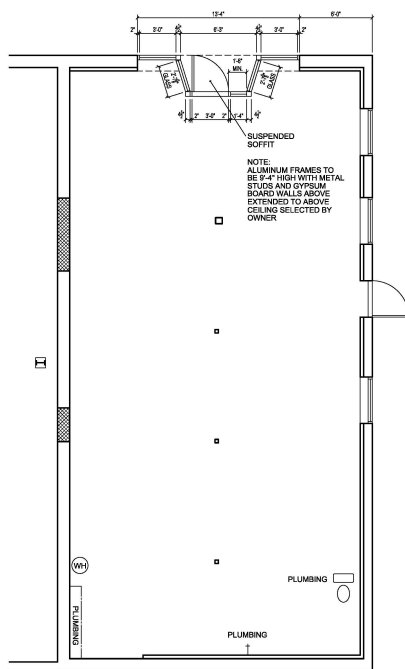
Ground-Level Façade Detail. Main pedestrian entries should be located towards the street.

The design meets this requirement.

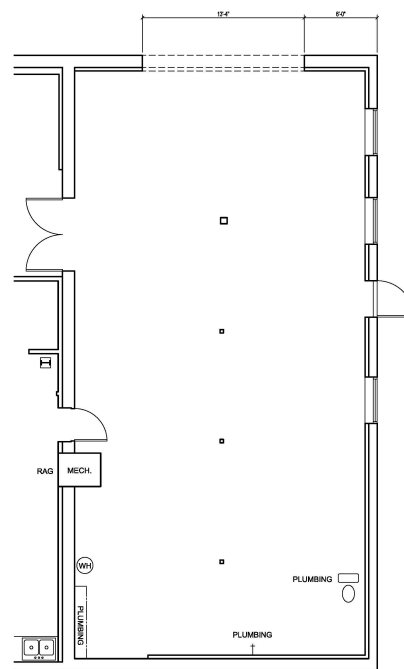


RECOMMENDATIONS

1. Staff recommends approval of the new storefront.



PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"
NORTH



EXISTING FLOOR PLAN
SCALE 1/4" = 1'-0"
NORTH

908 Chestnut Street - Exterior Modification

HDR-1121-0139 - Old Conway Design Overlay District

II.A

