



 CONWAY  
HISTORIC DISTRICT COMMISSION  
STAFF REPORT

5:30 pm • March 25, 2019 • City Hall



March 25, 2019 • 5:30 pm • 1201 Oak Street

# AGENDA

## Call to Order

Approval of Minutes - February 25, 2019

### I. Public Hearings - Asa P. Robinson Historic District

A. Renovation & Addition - 1621 Robinson Avenue

### II. Public Hearings - Old Conway Design Overlay District

None

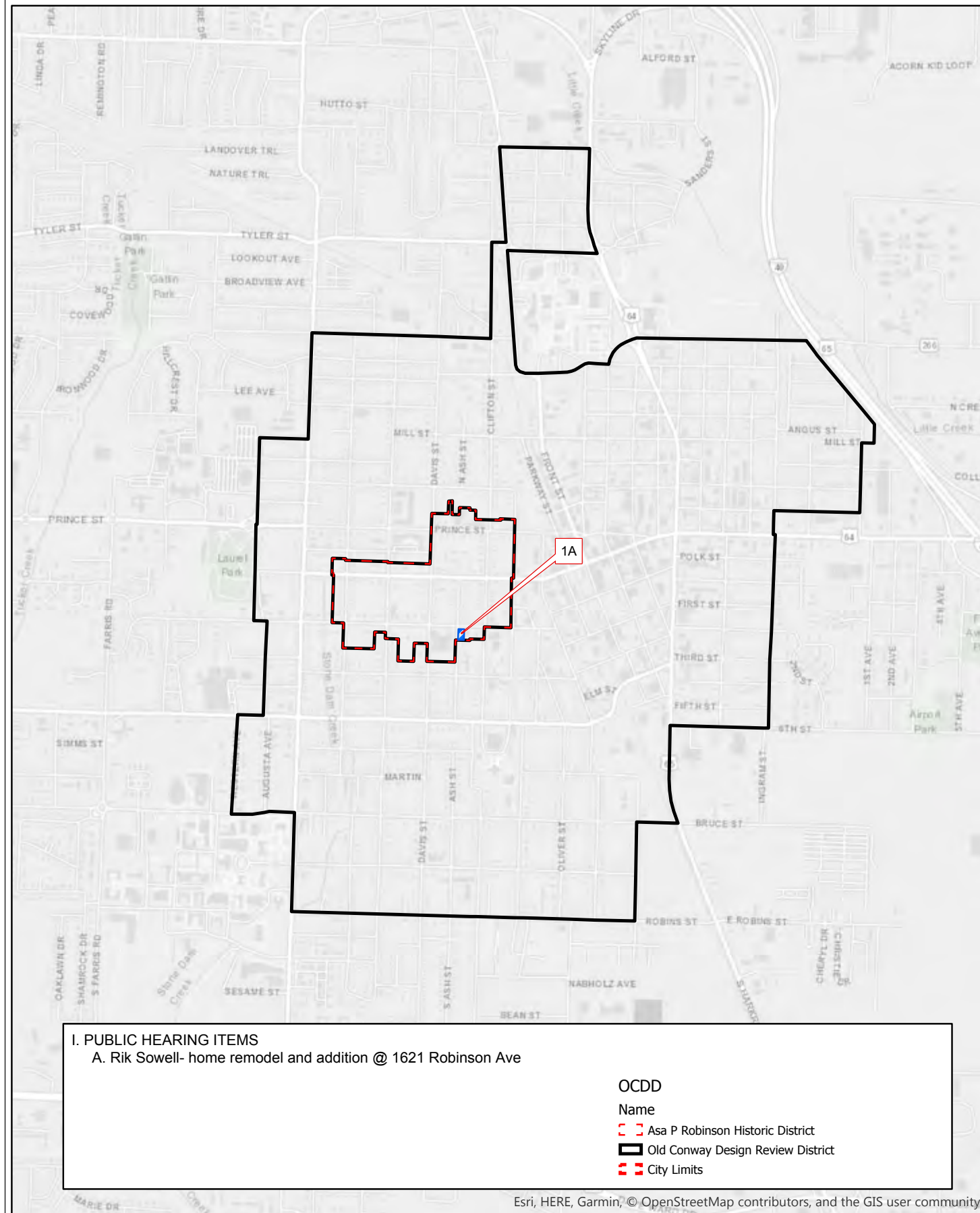
### III. Discussion

A. Remaining 2018 CLG Funds

## Adjourn

## HISTORIC DISTRICT COMMISSION MEMBERS

- Steve Hurd
- David Carolina
- George Covington, Sr.
- Shelby Fiegel
- Taylor Martin
- Gerald Tosh
- Emily Walter





# I.A RESIDENTIAL ADDITION - 1621 ROBINSON AVENUE

ASA P. ROBINSON HISTORIC DISTRICT  
 CERTIFICATE OF APPROPRIATENESS REVIEW  
 HOGAN HOUSE - NEW ADDITION  
 1621 ROBINSON AVENUE

**APPLICANT(S)**  
 Sowell Architects, Inc.  
 1315 North St., Ste. 100  
 Conway, AR 72034

**OWNER**  
 Houston & Jenny Davis  
 140 Donaghey Ave.  
 Conway, AR 72034

**SITE**.....  
 Address. 1621 Robinson Ave.

Lot Area. ± 0.28 acre.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Robinson Historic District.

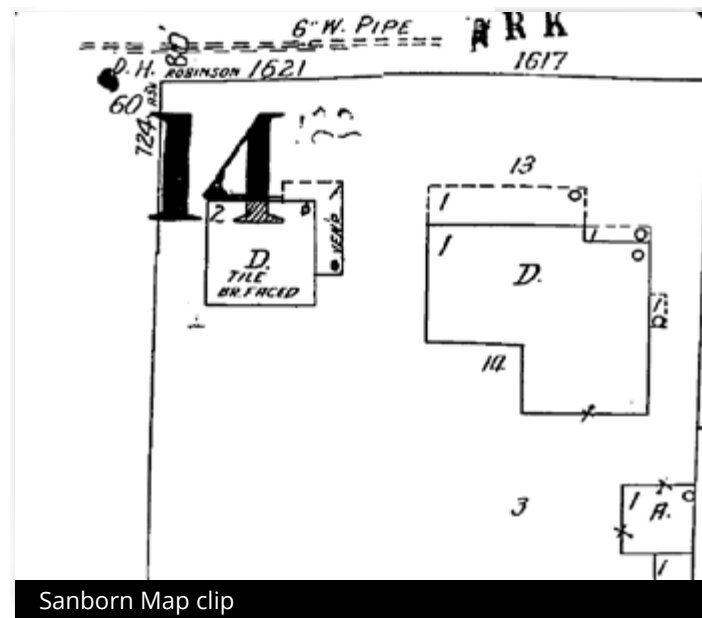
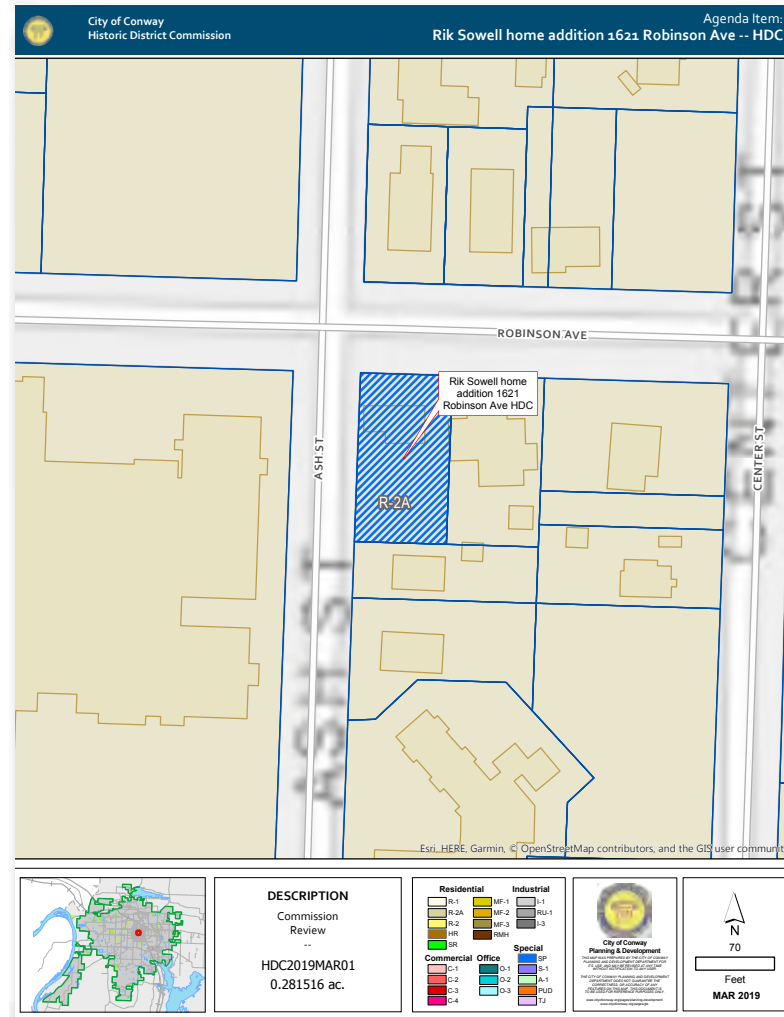
**Abutting Zoning.** R-2A (Large Lot Duplex) in the Robinson Historic District.

**Surrounding Area Structures.** The property is located in the Robinson Historic District on the south side of Robinson Avenue. Area structures consist of the following:

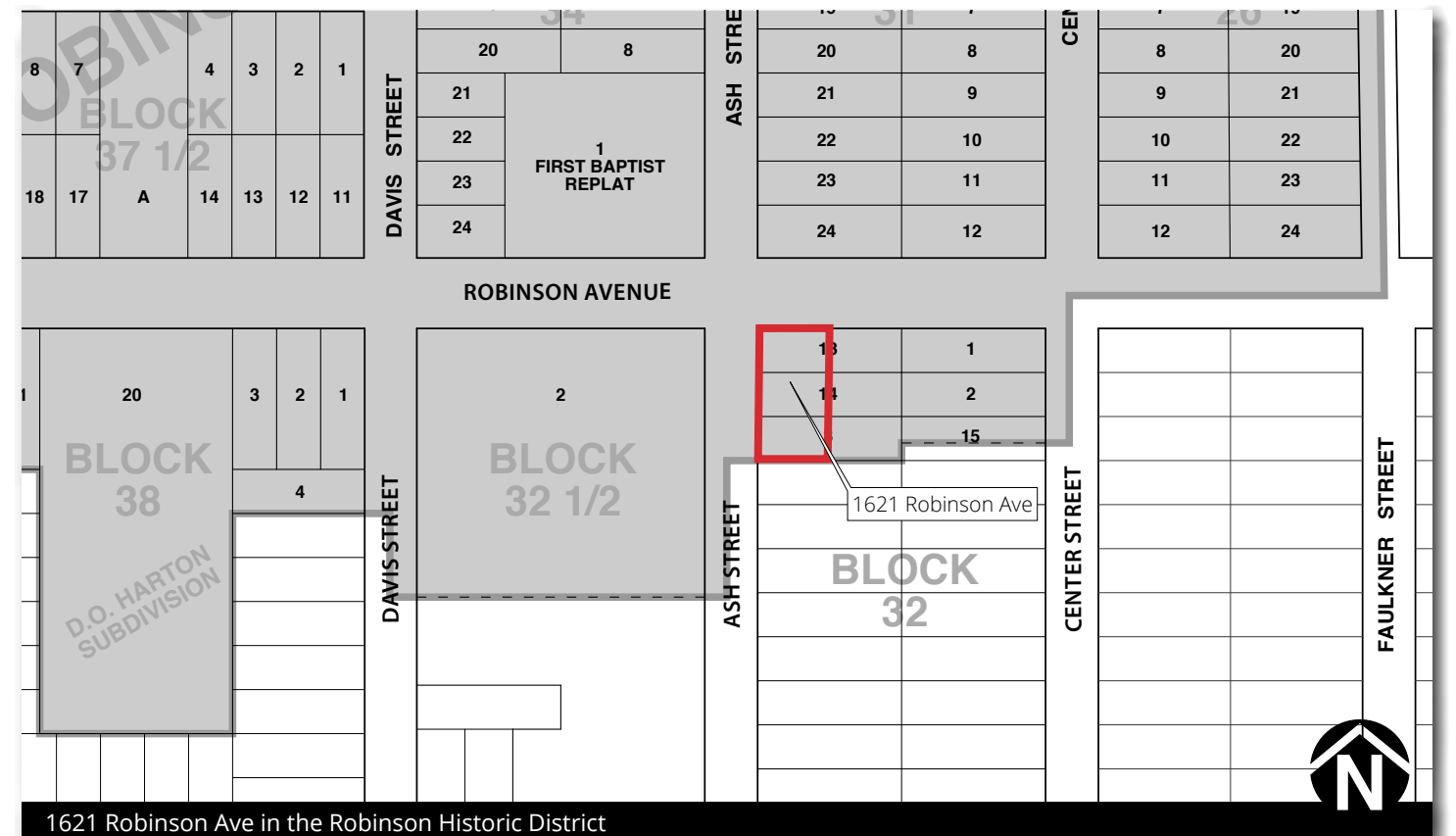
- West – 1719 Robinson. Conway First Baptist (Modern Vernacular – Non-contributing)
- North – 1618-1622 Robinson. Former Lincoln Apartments 1917 (Colonial Revival - Contributing), currently being remodeled to return to being single-family structures.
- East – 1617 Robinson. Wilcox House 1927 (Craftsman Bungalow - Contributing)
- South – 712 Ash. House 1937 (Craftsman Bungalow – Outside District)

**General Description of Property and Proposed Development.** The applicant is proposing to construct a 284 sf addition on the west side of the house as well as a 273 sf covered porch on the rear portion of the building. The applicant is additionally proposing to paint the structure's existing brick as well as repair/replace existing portions of the fence.

The Hogan House was constructed in 1936 in the Minimal Traditional Style. The structure appears in the 1948 Sanborn maps without its existing addition, having been added sometime later. The structure was listed as contributing at the time the district was surveyed, in late 1997, but was made non-contributing by subsequent window and front porch modifications that convey a false sense of style and

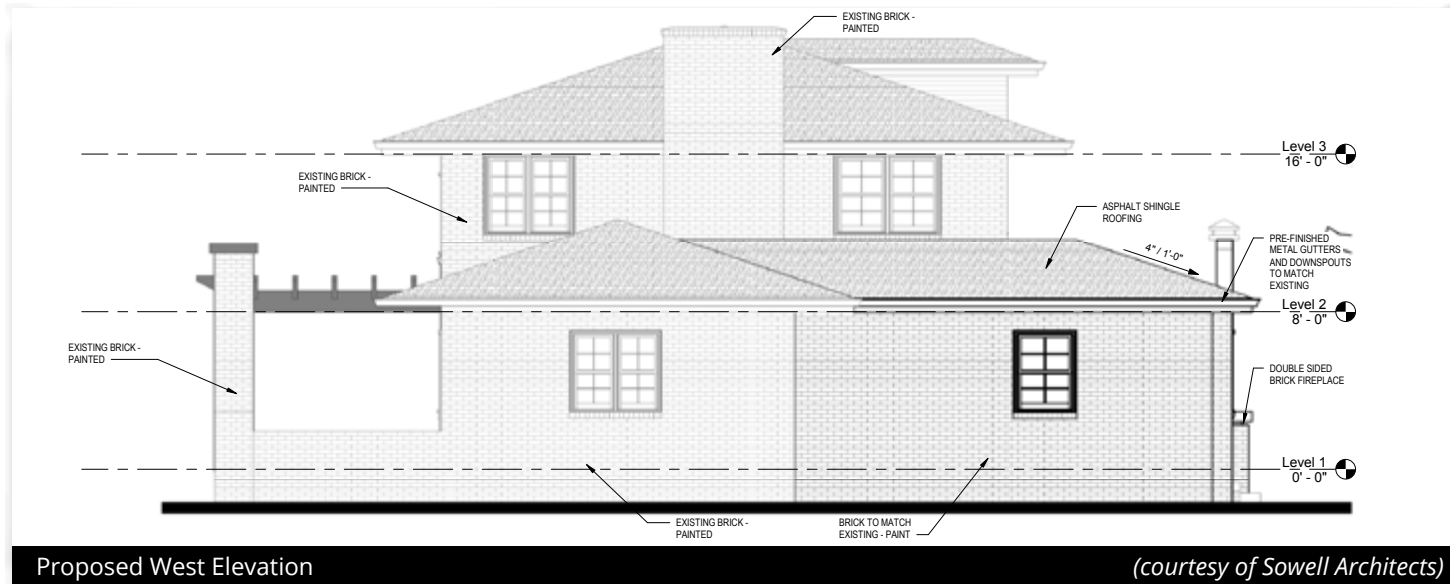


historicity. The property's sidewalk was also removed at some point between 1997 and 2002.



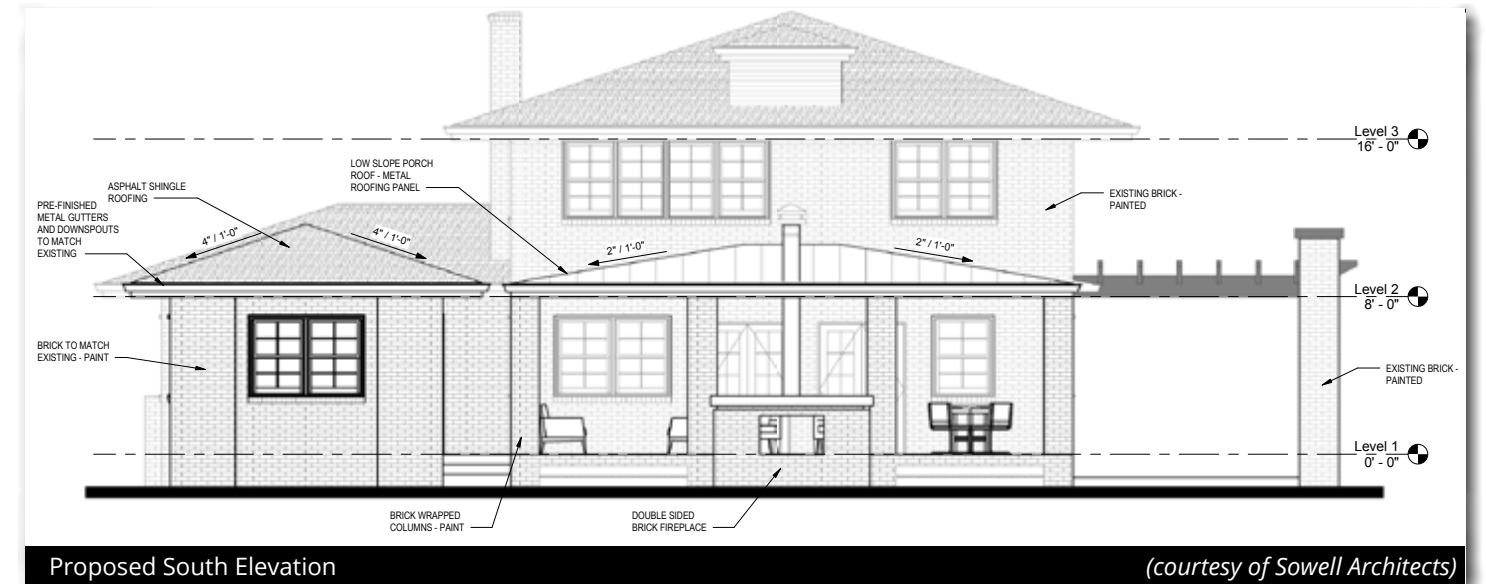


**I.A RESIDENTIAL ADDITION - 1621 ROBINSON AVENUE**



Proposed West Elevation

(courtesy of Sowell Architects)



Proposed South Elevation

(courtesy of Sowell Architects)

**BUILDING MODIFICATIONS**

**Additions.** The guidelines permit additions to the original form of the structure. Additions should be less prominent and not radically alter the character of the structure. The addition should honor the form, character, and materials of the original structure while also appearing discernible from the existing portions of the structure.

*The applicant's proposed addition is being placed along the structure's less visible frontage. The addition is slightly setback from the historic addition to create a slight discernible distinction between the historic portions of the home and the addition. These modifications are appropriate.*

*The proposed porch on the rear will be barely visible from the street, but will not radically alter the character of the existing rear portion of the structure.*

**Masonry.** The guidelines recognize original masonry and brick as integral to the historic character of the structure. Original brick work should be maintained and repaired rather than replaced. Unpainted brick should not be painted.

*The applicant's proposal to paint the existing brick along with the brick of the proposed addition is not appropriate.*

**Windows.** The guidelines recognize original windows and window forms as integral to the historic character of the structure. Original windows should be maintained and repaired rather than replaced.



*The applicant's proposal shows "4 over 4" windows with no shutters. It is unclear if these windows are intended to be replaced. However, the existing windows are replacement windows that are not appropriate to the structure. Replacement of the existing windows would be more appropriate than the current windows and would bring the structure closer to returning to contributing status.*

*The proposed addition indicates only one new window on the west elevation. This configuration is not appropriate. Two window openings consistent with window form of the other windows on the west elevation is recommended.*

**Roofs.** The guidelines recognize roof forms as integral to the historic character of the structure. Additions and modifications should maintain the original roof forms.

*The applicant's proposed addition will maintain a roof form appropriate to the structure.*



# I.A RESIDENTIAL ADDITION - 1621 ROBINSON AVENUE

## PUBLIC RIGHT OF WAYS

**Sidewalks.** Sidewalks are recognized as an important site feature that promotes walkability in the neighborhood. Sidewalks are not to be removed.

*Sidewalks at the site were removed prior to purchase by the current owner. Though not required, recommend the applicant consider replacement of the sidewalks on Robinson Avenue.*

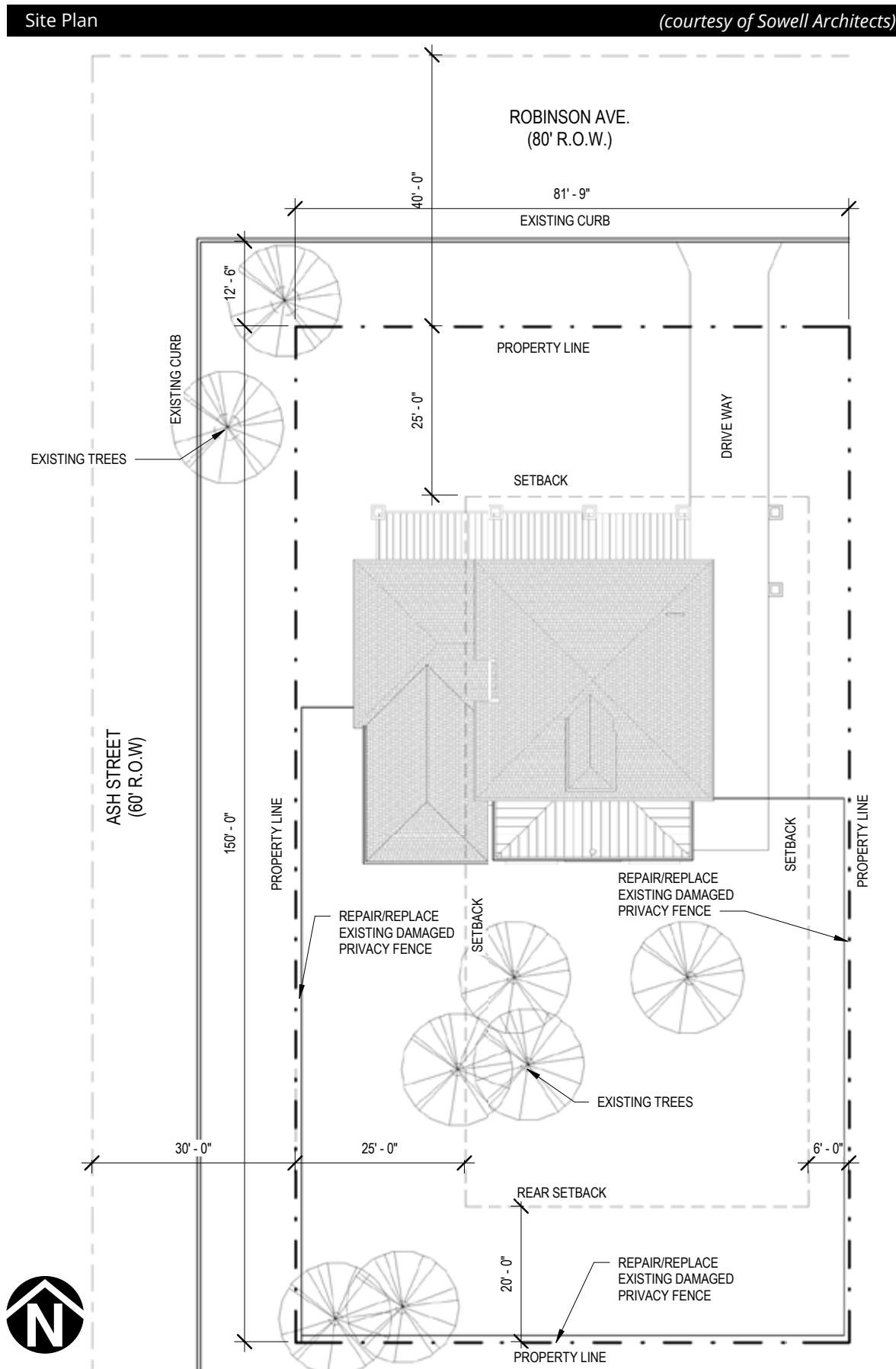
View of front of property along Robinson Ave looking E



## THE SITE

**Site Features and Landscaping.** Any trees over 8" in diameter may not be removed without approval via a certificate of appropriateness. New street canopy trees are required for each 30' of street frontage. *The existing Oak tree on the north end of the property appears to be severely damaged. Removal of this tree would be acceptable. The adjacent Hickory tree, though growing at an angle, appears healthy and has likely developed resistance wood to countervail the angle at which it has grown.*

*New street canopy trees are required. Robinson Avenue: 2 trees are required, the existing Oak tree may count toward this total. Ash Street: 5 trees are required, the existing Hickory tree and an unknown tree at southwest corner may count toward this total.*



*The application references that landscaping improvements are to be made. More detail and information is needed from the applicant.*

**Fences and Walls.** The guidelines recognize historic fencing and walls as character defining features. Original fencing should be maintained and repaired rather than replaced.

The current fencing on-site is appropriate, but not historic. Replacement or repair with in-kind style and materials is appropriate.



**Walkways, Drives, and Parking.** Historic features such as walkways should be repaired and retained.

*The existing concrete walkway between the house and the front of the property is severely damaged. Recommend requiring repair/replacement of the existing walkway.*

**Garages and Accessory Structures.** Not applicable to application.

**Lighting.** No alterations to existing lighting visible to the public ROW are proposed.

**Signage.** Not applicable to application.

## RECOMMENDATIONS

Staff recommends approval of the addition with the following conditions:

1. No existing or new brick façade materials may be painted.
2. Two window openings consistent with the window form of the other windows on the west elevation are required on the west elevation of the new addition.
3. The walkway between the front of the house and Robinson Avenue shall be repaired/replaced.
4. Applicant is encouraged to replace the sidewalk along Robinson Avenue.
5. Two street canopy trees along Robinson Avenue are required. The existing Oak tree at the north property line may be removed.
6. Three new street canopy trees are required along Ash Street.
7. A landscaping plan is required detailing planting locations for street canopy trees and other planned plantings.
8. The existing fence may be repaired/replaced with in-kind materials.
9. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
10. The applicant will provide revised plans to the Planning Director for review and approval prior to issuance of building permits.



## I.A RESIDENTIAL ADDITION - 1621 ROBINSON AVENUE



Hogan House - 1997



Hogan House - 2019

## III.A REMAINING 2018 CLG GRANT FUNDS

### Remaining 2018 CLG Grant Funds

The 2018 CLG Grant included funds for 4 tasks:

- \$3524.16 for attendance at the July 2018 NAPC Forum in Des Moines. **Task complete.**
- \$600 for in state trainings up until June 30, 2019. **Task incomplete.**
- \$360 for Robinson District brochure and mailing. **Task complete.**
- \$934 for materials for a realtor education session; \$543 for printing of 100 black and white Robinson District Guidelines and \$400 for 100 1 gigabyte thumb drives with digital versions of the Robinson and Old Conway Design Overlay Guidelines, wood windows documents, maps, and other relevant Old Conway/Robinson District preservation information. **Task incomplete.**

The Realtor Training Session is the last big item in the 2018 grant. This should be held next year prior to May 15. Coordination with Planning Department Staff will be needed to ensure printing and thumb drives are ready.

2 Quotes have been received printing & binding 100 [B&W and Color] copies of the Robinson District Guidelines:

- Crossman Printing - B&W \$600/Color \$1,250
- Conway Copies - B&W \$615/Color \$1,735  
*prices do not include tax*

Preliminary estimates are that 100 2GB flash drives will cost [at minimum] approximately \$450-500.