



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

May 29, 2024 • 5:30pm • 1111 Main Street



City of Conway

HISTORIC DISTRICT COMMISSION

May 29, 2024

MEMBERS

Emily Walter, Chairman
Liz Hamilton, Vice-Chairman
Jenny Davis, Secretary
Marianne Black
Josh Hamilton
Nathaniel Johnson Jr.
Corey Parks

Call to Order.

Roll Call.

Approval of Minutes. March 24, 2024 & April 22, 2024

I. **Public Hearing Items - Old Conway Design Overlay District**

- A. 320 Conway Blvd (HDR-0424-0057)
- B. 719 Monroe St (HDR-0524-0068)

II. **Additional Business**

- A. Items as decided by the Commission

Adjourn.

320 Conway Blvd-Addition

Old Conway Design Overlay District

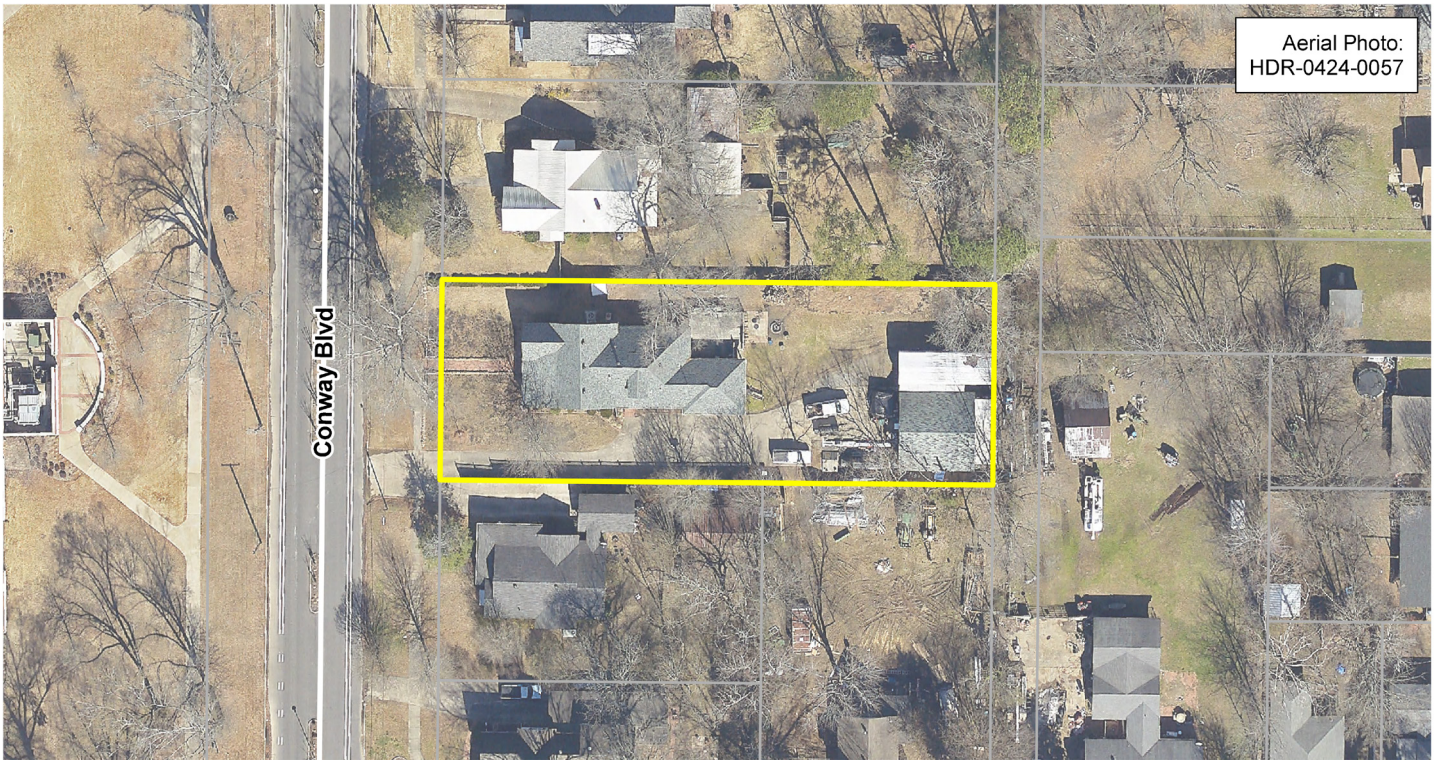
I.A

APPLICANT

Edward Hoelzeman
320 Conway Blvd
Conway, AR 72034

OWNER

Same



SITE DATA

Address. 320 Conway Blvd.

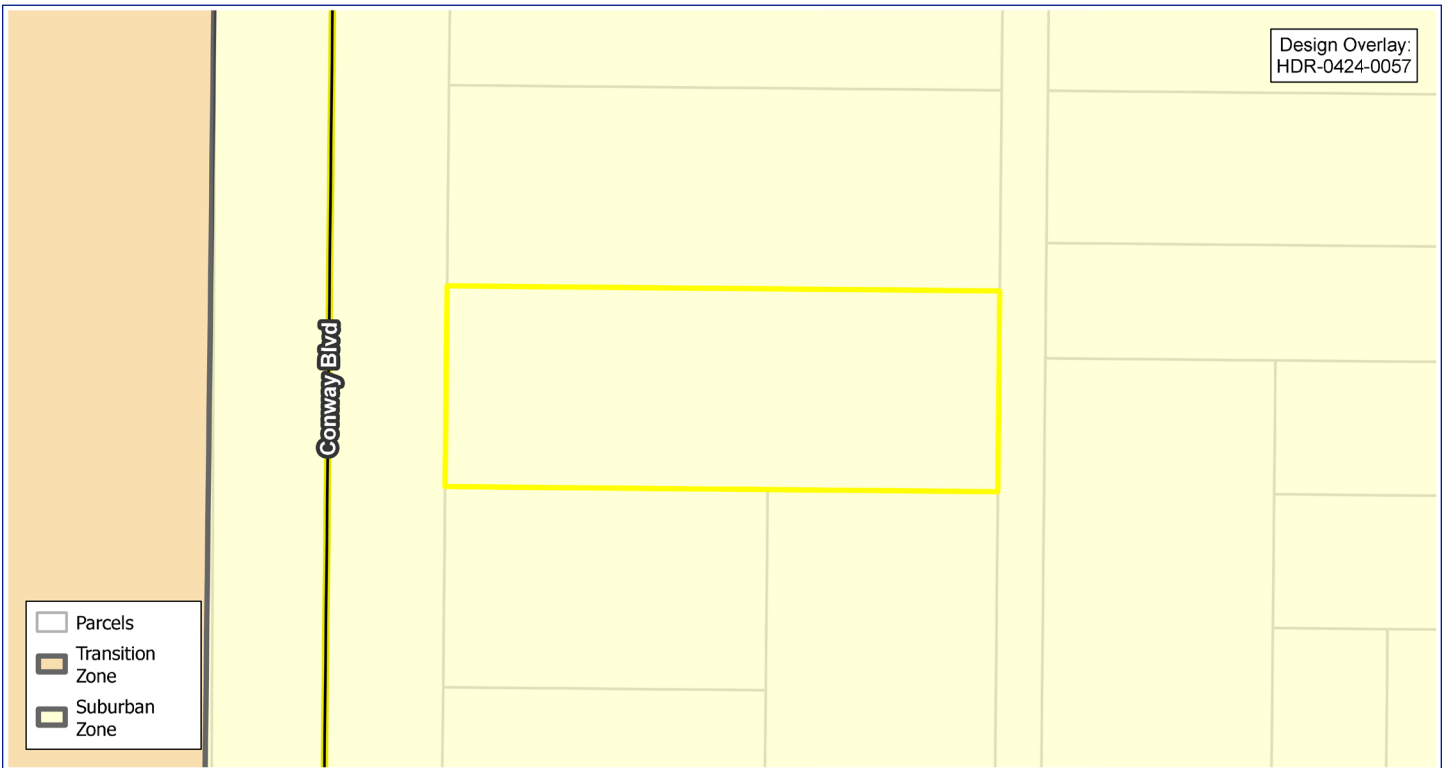
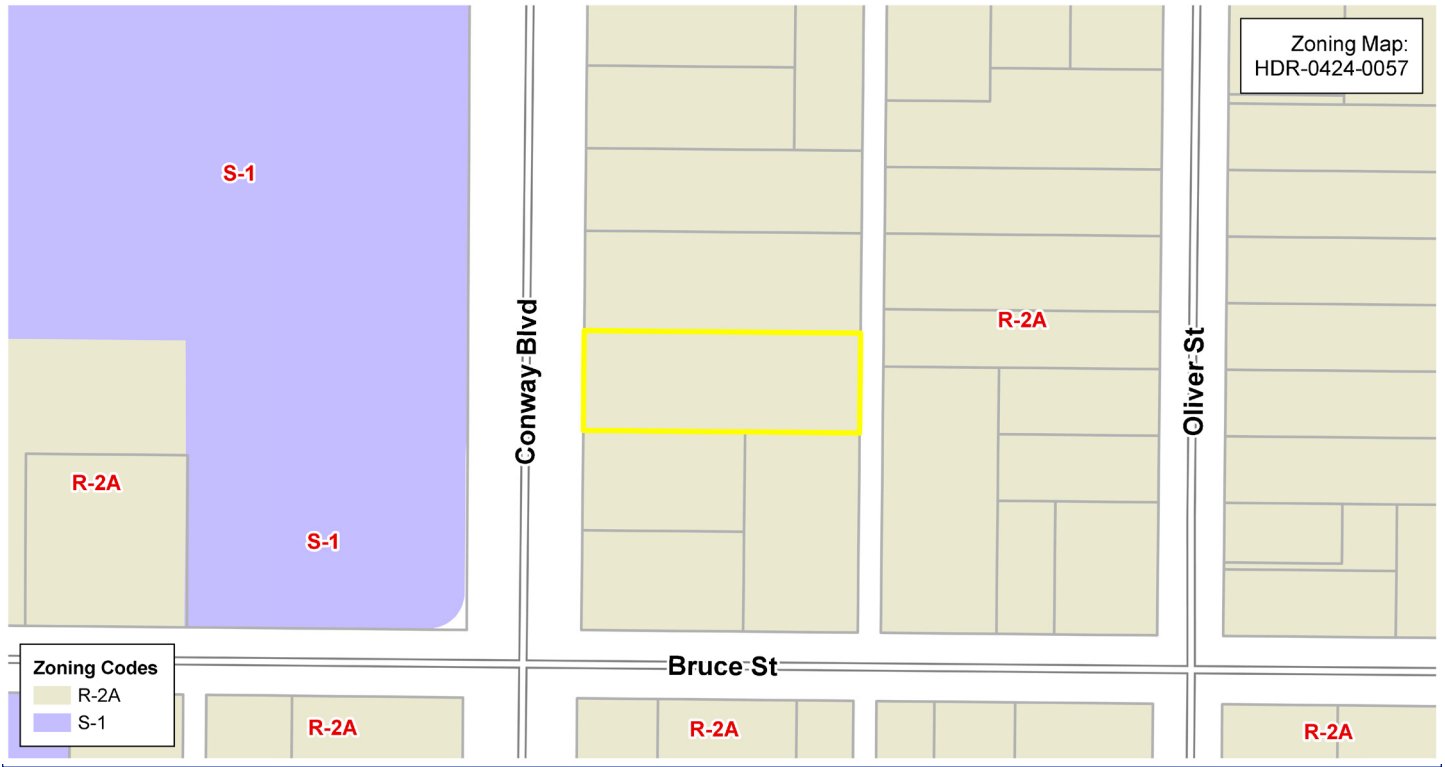
Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District.

Abutting Zoning. North/South/East: R-2A (Two Family Residential District, OCDOD Suburban), West: S-1 (Institutional District, OCDOD Transition).

Lot Area. 0.48 acres ±.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District east of Conway Blvd. Area structures are a mix of styles consisting of single-family homes in Gable, Gabled Ell, Colonial revival, contemporary Tudor revival, as well as mid-century institutional.

General Description of Property and Proposed Development. The applicant is proposing to construct a 841sf addition, add two new windows, and change French doors to sliding glass doors. The house was built in 1932 and is a Gable Front House.



Additions. The design of a new addition shall follow the regulations for new construction for all elevations that are prominently visible. The addition should be sized so that it does not visually overpower the existing building. The addition should be located at the rear or side elevation in a manner that the addition is visually secondary to the primary elevation of the historic structure.

The proposed addition complies as it will be constructed to match the existing residence in both style and materials. It is being proposed at the side/rear of the existing residence.

Setbacks and Spacing. Front setbacks are between 85% and 115% of the average front setback in the area. Side setbacks are 6 feet minimum, and rear are 3 feet or 15 feet from centerline of alleyway in residential zones.

The proposed addition is 10' from the side yard property line and 117' from the rear property line.

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The proposal conforms.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is approximately 36%. The proposal conforms.

Sidewalks. Sidewalks are required for new construction projects.

A sidewalk and greenspace already exist.

Tree preservation. Any trees over 8" in diameter or great must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

It does not appear that any significant trees will be impacted by construction.

Massing

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The addition does not impact the directional expression of the residence in a significant manner.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprints will cover around 25% of the site which is similar to other structures on similarly sized lots in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The detailing is complementary to the existing structure in terms of eaves and wall breaks and contributes to an overall complexity of form.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The addition has no impact on the front façade. It adds windows to the north elevation. The south elevation is enhanced by the addition of doors and the east elevation (facing the rear) is changed by the replacement of French Doors with sliding doors, but the change has a minimal impact on the overall rhythm of the design.

Design Elements

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area consists primarily of Gabled Ell/Gabled Front-and-Wing and the existing structure and addition reflects this style.

Entries, Porches, and Porticos, Doors and windows, Awnings.

Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

No porches are proposed. The proposed windows should feature wide trim and one-over-one design is encouraged. If muntin bars are proposed, they must be true divided lights. Fake muntin bars are prohibited.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. *No proposed lighting is shown on the elevations.*

Materials and Detailing

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

The applicant is proposing vinyl siding to match addition. Normally, vinyl siding would be strongly discouraged but as the existing structure is already clad in vinyl, it is supportable.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

No shutters are being proposed which is desirable. The applicant is proposing a gable roof with asphalt shingles. This is compatible with surrounding homes.

Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

No HVAC equipment is shown on the site plan but is referenced in project description. It will need to be screened from view.

Recommendations

Staff recommends approval of the request with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. Any significant trees over 8" in diameter will need to be protected during construction. Should any significant tree be removed it will need to be replaced with a species from the OCDOD approved tree list. If beneath the power line, it shall be an understory tree and if away from the power line it shall be a canopy tree.
3. Windows shall be at least one-over-one (not fixed windows). If muntin bars are used, they must be true divided lights.
4. If the sidewalk is damaged during construction, it will need to be repaired.
5. Vinyl siding to match existing is permissible.
6. Lighting shall be downward and inward toward the property.
7. HVAC equipment shall be screened from public view.

320 Conway Blvd-Addition

Old Conway Design Overlay District

I.A



View of subject property from Conway Blvd facing E



View of subject property from Conway Blvd facing E



View of subject property from Conway Blvd facing E



View of adjacent property to the S



View of adjacent property to the N



View of adjacent property to the W across Conway Blvd



---	SM DRAFTING	ED HOELZEMAN
---	NORTH VIEW	320 CONWAY BLVD.



---	SM DRAFTING	ED HOELZEMAN	4/15/2024
---	NORTH ADDITION	320 CONWAY BLVD	NOT TO SCALE



---	SM DRAFTING	ED HOELZEMAN	4/15/2024
---	WEST VIEW	320 CONWAY BLVD.	NOT TO SCALE



---	SM DRAFTING	ED HOELZEMAN	4/15/2024
---	WEST ADDITION	320 CONWAY BLVD.	NOT TO SCALE

320 Conway Blvd-Addition

Old Conway Design Overlay District

I.A



---	SM DRAFTING	ED HOELZEMAN	4/15/
---	EAST VIEW	320 CONWAY BLVD.	NOT TO



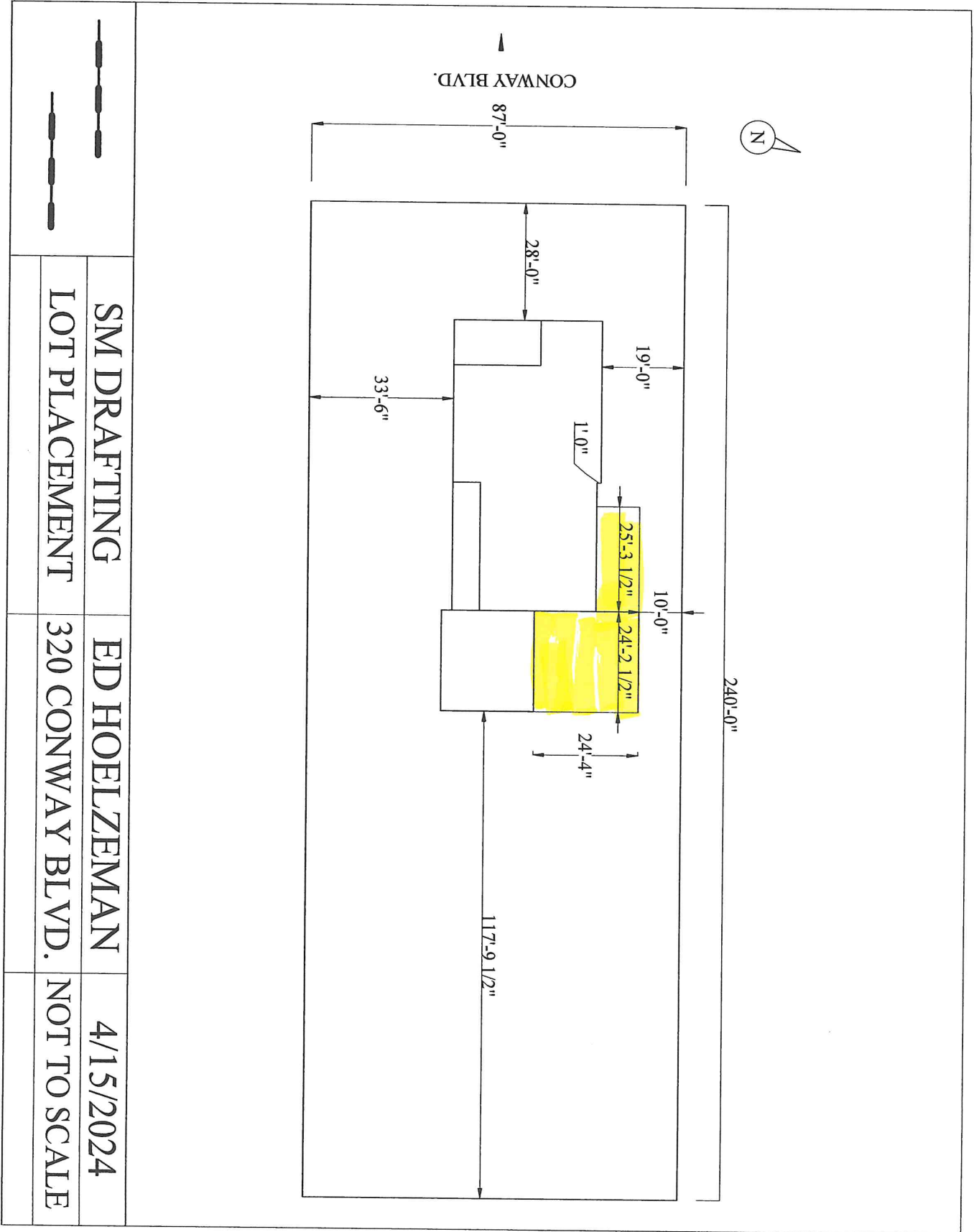
---	SM DRAFTING	ED HOELZEMAN	4/15/2024
---	EAST ADDITION	320 CONWAY BLVD.	1/8" : 1'



---	SM DRAFTING	ED HOELZEMAN	4/15/2024
---	SOUTH VIEW	320 CONWAY BLVD.	NOT TO SCALE



---	SM DRAFTING	ED HOELZEMAN	4/15/2024
---	SOUTH ADDITION	320 CONWAY BLVD.	NOT TO SCALE



719 Monroe St-Addition

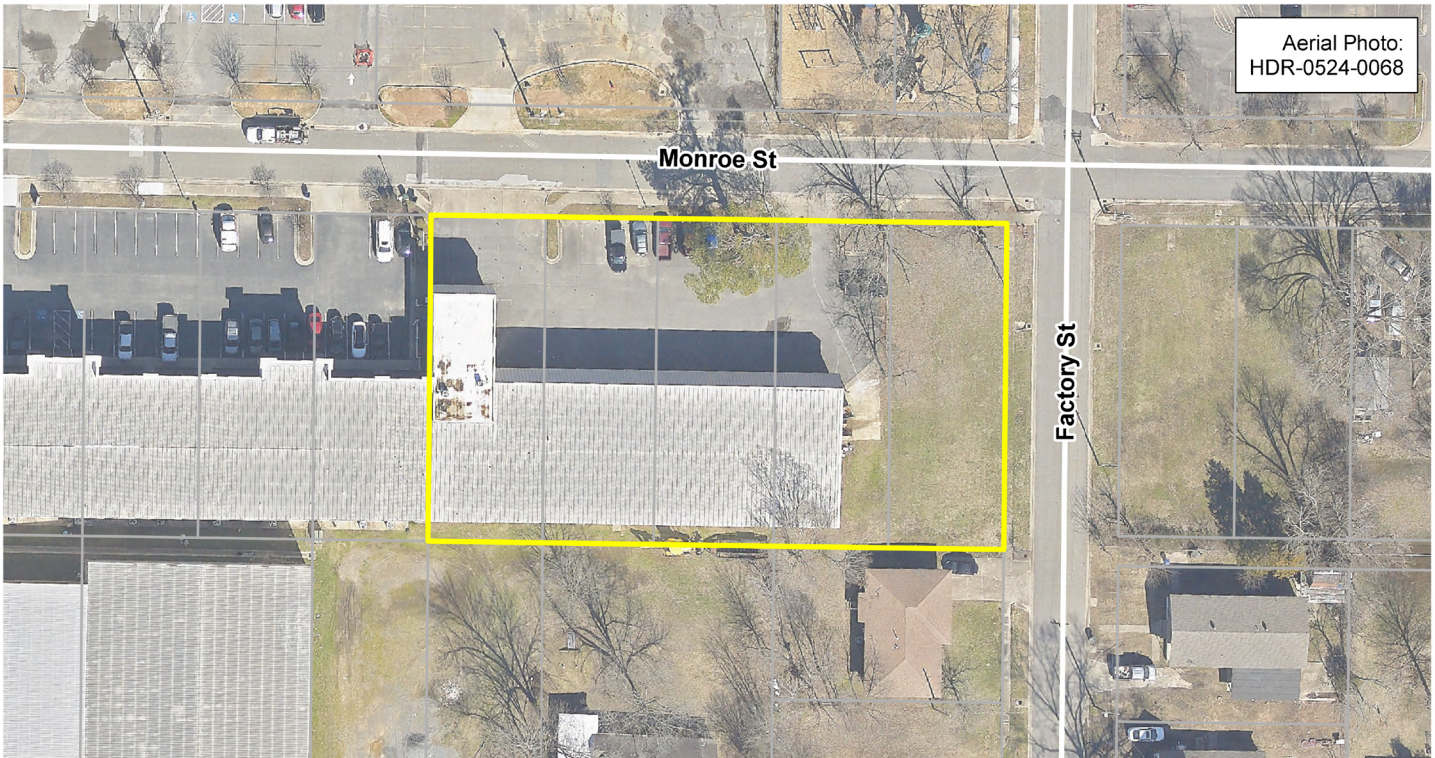
Old Conway Design Overlay District

APPLICANT/AUTHORIZED AGENT

Tony Salter
PO Box 1412
Conway, AR 72033

OWNER

Same



SITE DATA

Address. 719 Monroe St.

Present Zoning. C-3 (Highway Commercial District), Old Conway Design Overlay Transition District.

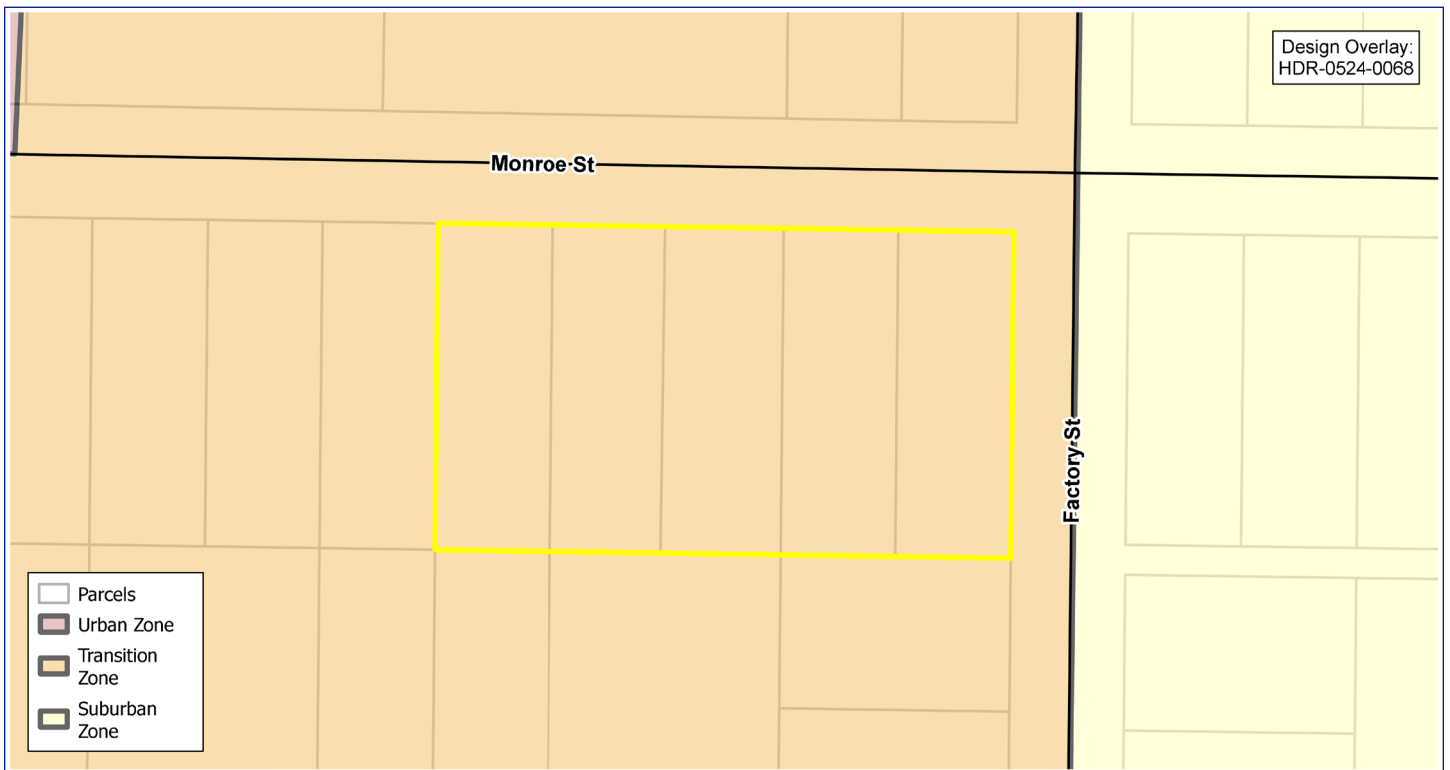
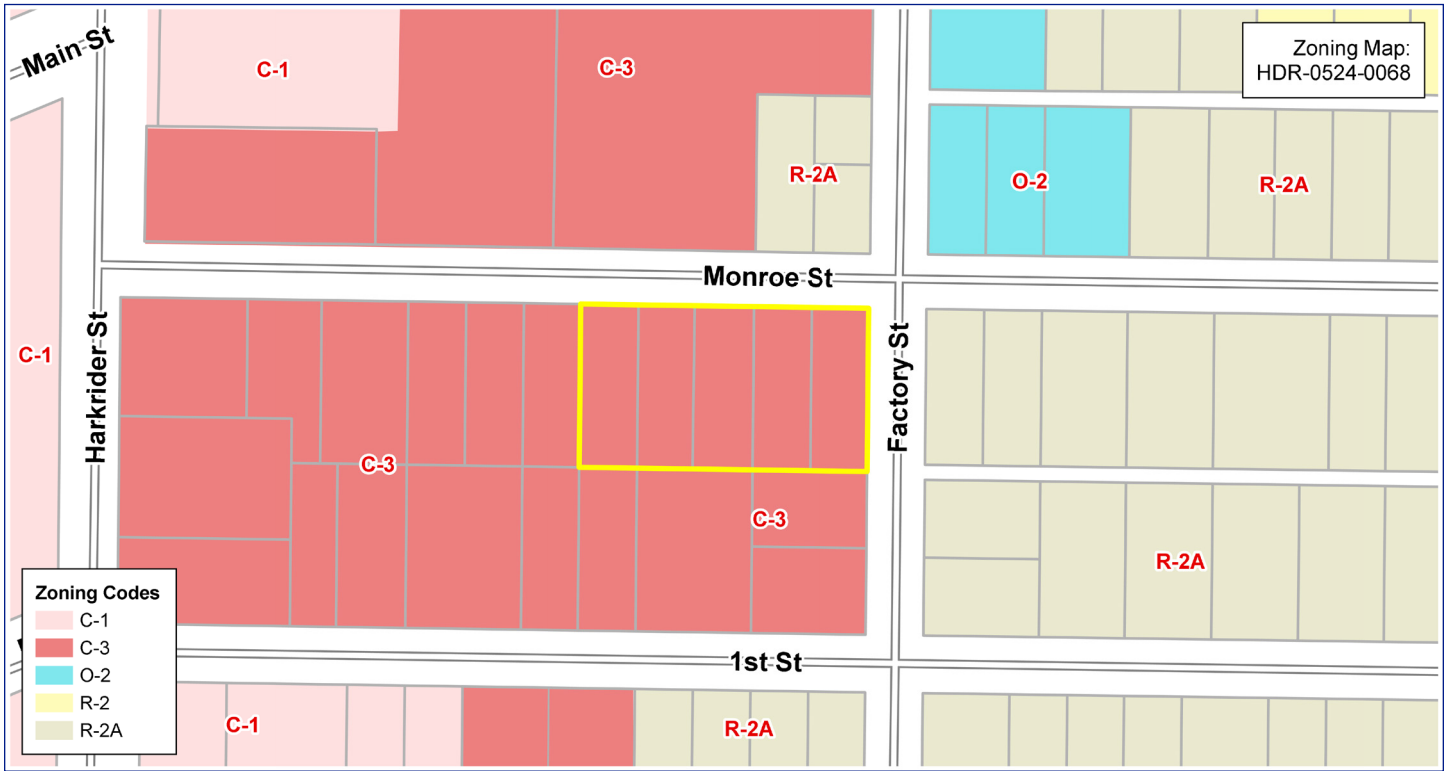
Abutting Zoning. North: R2A (Two Family Residential District-OCDOD Transition); South/West: C-3 (Highway Commercial District-OCDOD Transition); East: R-2A (Two Family Residential-OCDOD Suburban).

Lot Area. 0.32 acres ±.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Transition District on the southwest corner of Factory St and Monroe St. Area structures consist mostly of commercial buildings, a parking lot, vacant lots and single-family residences generally of the minimal traditional style.

General Description of Property and Proposed Development. The application is proposing to construct a 3,600sf addition. The addition will be a stylistic extension of the existing structure, with masonry added to the west elevation to enhance its visual appearance from the Suburban section of the Overlay district.

Transition Zone Standards. It is the charge of the Conway Historic District Commission to determine where and how criteria from the Urban and/or Suburban zones shall apply within the Urban Transition Zone, basing their determination upon individual project dynamics, location, and desired neighborhood character.



Setbacks and Spacing. Front setbacks in the Urban Transition Zone are defined as those which have street frontage. As measured from the right-of-way line, front setbacks shall be no greater than eighteen feet and no less than six. There is no requirement for side setbacks in the Urban Transition Zone, however all fire code requirements must be met. Rear setbacks shall be no less than five feet from the rear property line.

The proposed addition is 71' from the front property line as measured from the right-of-way. This matches the setback of the existing building. The proposed side yard setback is 10' and the rear is also 10'.

Building Height. Primary structures within the Urban Transition Zone shall be no greater than three and one-half stories in height. *The proposed structure is 22' tall, which equates to approximately 2 stories.*

Lot Coverage. Lot coverage for all impervious surfaces shall be 80%. *The proposal conforms.*

Orientation. The front door of the structure should follow the orientation of entries along the street. *The addition will follow the orientation of the existing structure.*

Driveway / Parking. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged. *The driveway access and parking is existing.*

Sidewalks. Sidewalks shall be constructed and/or repaired for all street frontages and shall be a minimum of five feet wide, unless the width differs historically. *There is an existing sidewalk on Monroe St in good condition on and one on Factory St that needs restoration.*

Trees. Canopy trees shall be planted within the public street frontage at ratio of one tree per thirty feet. This tree planting will typically occur in the green strip lying between the sidewalk and curb line of the street. *There are trees along Monroe St which meet this requirement. There is also a tree between the existing structure and Factory St. If this tree can be retained it is sufficient to meet the tree planting requirements. If removed, it must be replaced. Additional landscaping in the form of shrubs along the base of the addition facing Factory St will help soften its appearance.*

Massing/Design Elements

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings. *The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.*

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood. *This property is located in a C-3 zoning district and the Transition Zone of the overlay. As a result, the area is primarily composed of commercial structures. The proposed addition continues a directional expression already established by commercial structures along Monroe St.*

Complexity of form. The detailing and wall breaks should relate well to structures in the area. *The structure will contain a level of detailing which continues the already established form of the existing structure.*

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. *No lighting is shown on the submitted plans.*

Materials and Detailing

Building Materials. Building materials (other than glass) shall include brick, stone, concrete, architectural metals, stucco/plaster, and wood trim. *The applicant is proposing Panel sheeting to match the existing building. The elevation facing Factory St will include brick accents. Given the context of the existing development and the surrounding area, staff supports these materials.*

Façade Articulation. Facades shall be broken down into distinct twenty to thirty foot “modules” or “bays” from side to side in order to prevent a monolithic edge to the street. The modules can follow structural, historical, aesthetic, or functional dimensions, but should always remain contextual to the street. Building façade designs shall respect the historical context of Old Conway with a clear ground floor, body, and cornice line (i.e. “base, body, and cap”). Designs should be contextual to adjacent buildings, including their cornice lines and horizontal banding. The use of traditional façade components is encouraged.

The façade is broken into modules with no unarticulated walls. The addition follows the structural and functional dimensions of the existing building thereby remaining contextual to adjacent buildings.

Building entries. Main pedestrian entries shall be located on the street to generate pedestrian traffic on the sidewalk. Building entries shall be emphasized with architectural features, changes in the façade plane, different massing or unique materials and finishes.

The proposal complies in that there is a pedestrian entry oriented towards Monroe St and the proposals maintains variations in the façade plane.

Recommendations

Staff recommends approval of the request with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.
2. Trees shall be retained on site. Where they cannot be retained, they shall be replaced 1:1 with species from the OCDOD approved tree list.
3. A landscape strip with shrubs shall be planted along the base of the addition facing Factory St.
4. Prior to issuance of a Certificate of Completion, sidewalks shall be restored on Factory St. They may be restored to the existing width.
5. Lighting shall be inward, downward, and shrouded so as to stay within the bounds of the property.
6. Utility apparatus, such as HVAC equipment, shall be screened from public view.
7. Materials shall be as shown on elevations. If substitute materials are used they must conform to the regulations for the Urban zone of OCDOD.
8. Project requires Site Development Review approval prior to issuance of a building permit.

719 Monroe St-Addition

Old Conway Design Overlay District

I.B



View of subject property from Monroe St facing S



View of subject property from Factory St facing W



View of subject property, location of addition, facing S



View of adjacent property across Monroe St facing N



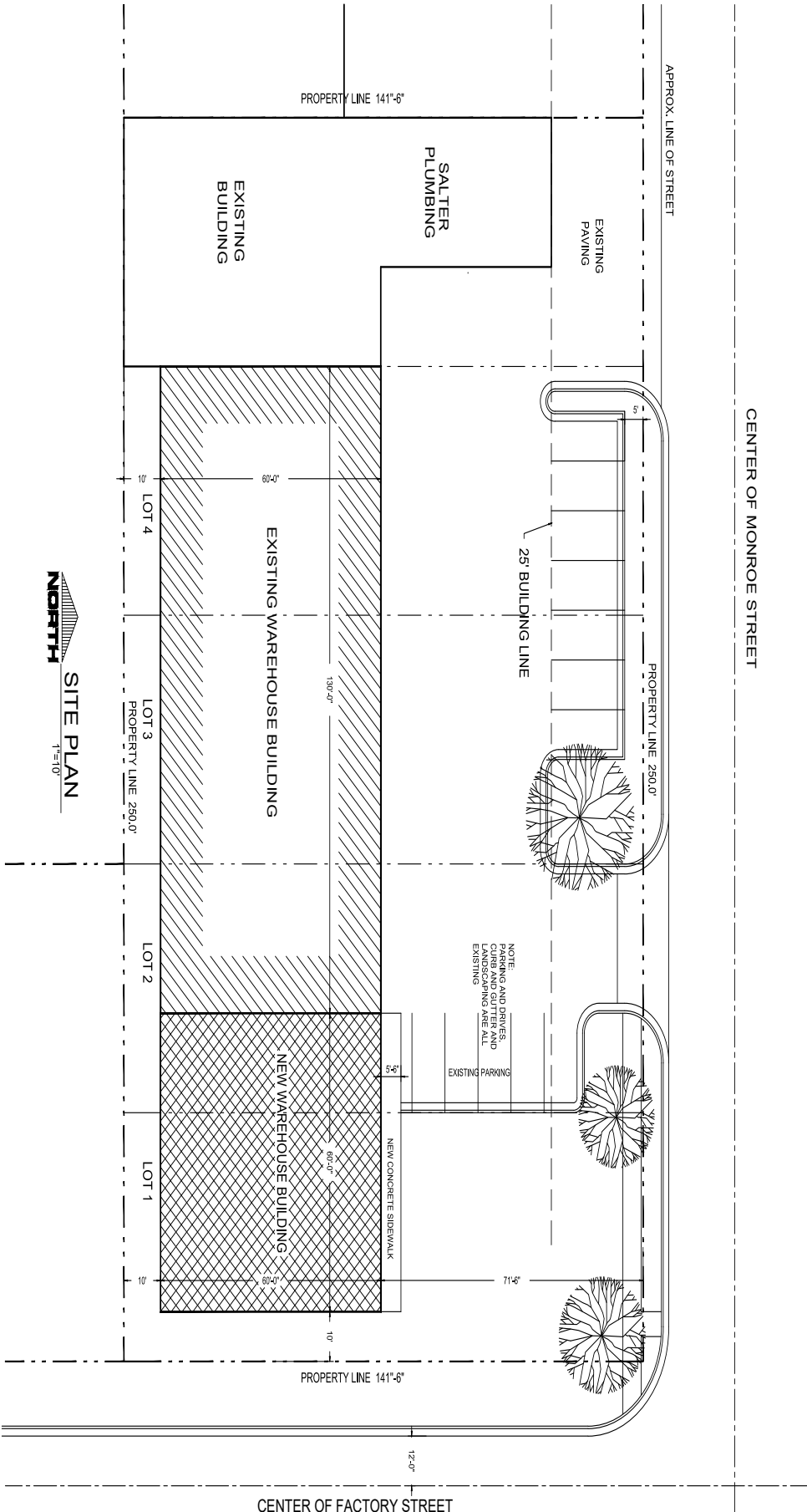
View of subject property from adjacent property facing S



View of adjacent property to the S

Salter Inc.

719 Monroe Street
Conway, AR 72032
Tony Salter



NORTH
SITE PLAN
1"=10'

