



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

April 28, 2025 • 5:30pm • 1111 Main Street



City of Conway

HISTORIC DISTRICT COMMISSION

April 28, 2025

MEMBERS

Corey Parks, Chairman
Joshua Hamilton, Vice-Chairman
Jenny Davis, Secretary
Liz Hamilton
Nathaniel Johnson Jr.
Marilyn Moix
Jason Covington

Call to Order.

Roll Call.

Approval of Minutes. March 24, 2025

I. Public Hearing Items - Robinson Historic District

A. Renovation & New Construction at 931 Faulkner St (HDR-0425-0054)

II. Additional Business

A. Additional items as decided by the Commission

Adjourn.

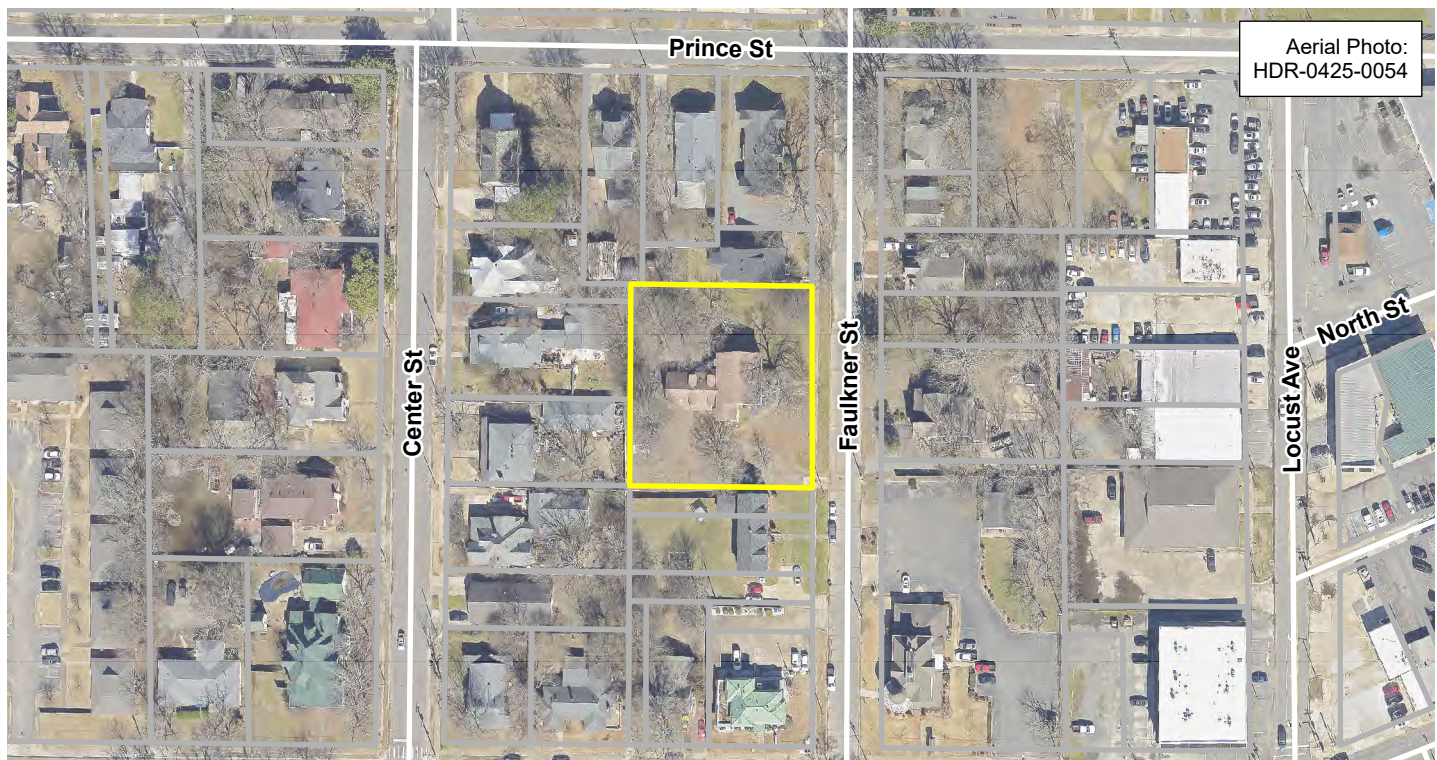
Robinson Historic District

APPLICANT/AUTHORIZED AGENT

Kourtney Bennett, Engage Management
201 Lee Andrew Ln
Conway, AR 72034

OWNER

Brent Salter
201 Lee Andrew Ln
Conway, AR 72034



Location Information

Address. 931 Faulkner St - c.1935 (Plain-Traditional/Craftsman/Colonial Revival; Contributing).

Present Zoning. C-1 (Central Business District), Asa P. Robinson Historic District (APRHD).

Abutting Zoning.

North: O-3 (Restricted Office District), APRHD.

East: C-1, Old Conway Design Overlay District-Transition (OCDOD-TR).

South: C-1, APRHD.

West: R-2A (Two Family Residential District), APRHD.

Lot Area. 0.63 acres±.

Surrounding Area Structures.

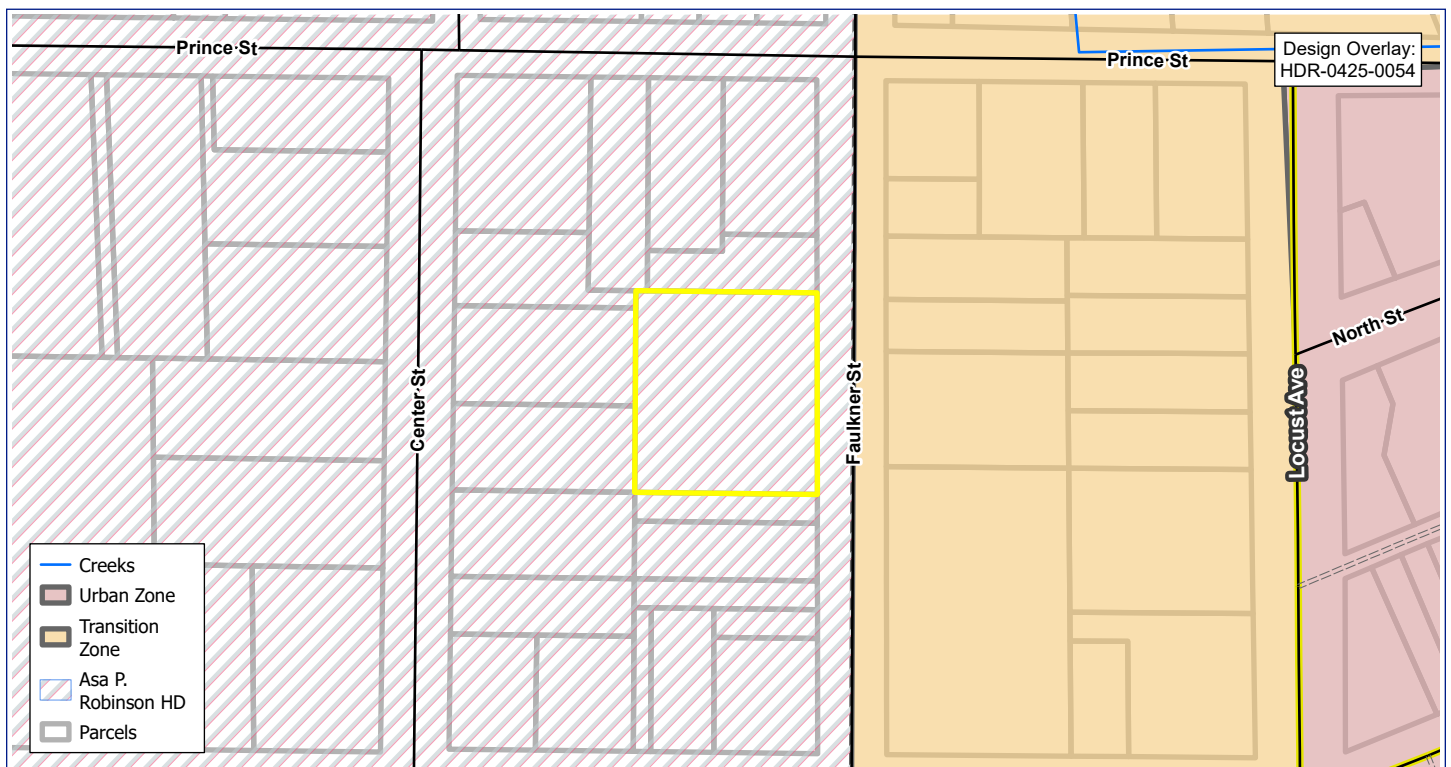
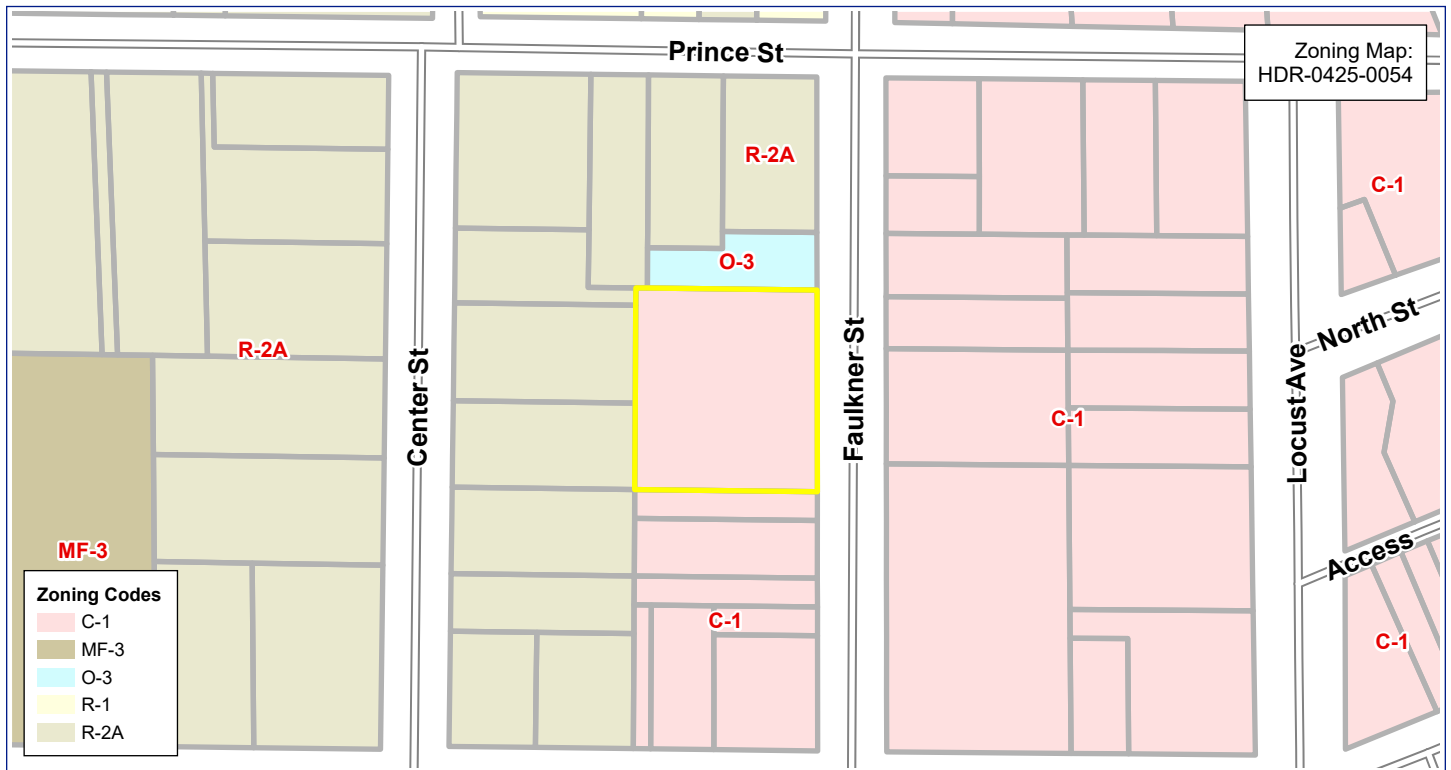
North – 933 Faulkner – P.F. Cleaver House - c.1920 (Craftsman; Contributing).

East – 930 Faulkner – OCDOD - c.1912 (Gabled).

South – 915 Faulkner - c.1938 (Plain-Traditional/Colonial Revival; Contributing).

West – 916 Center—Charles Erbacher House - c.1915 (Colonial Revival; Contributing).

West – 920 Center—Oscar Lee Dunaway House - c.1923 (Colonial Revival; Individually Listed)



General Description of Property and Proposed Development. This is a multi-family residential project in which the applicant is proposing to rehabilitate an existing, contributing structure and construct a new, multi-family dwelling. The property was rezoned from O-3 to C-1 on January 14th, 2025. The C-1 district allows for up to 24 dwelling units per acre. The .63 acre site may accommodate up to 15 units.

On the 2020 survey document, 931 Faulkner is referred to as "Apartment Building at 931 Faulkner St" with historic use being noted as "6 units". The following comments are also noted on the survey document:

- Threats to property: Neglect/Deterioration
- Wings and/or Projections: Old, but likely not original
- Original/Present Wall Material: Weatherboard
- Window Types: Double-hung & Stationary
- Level of Significance: Significant Within a Group Context

The style of the existing building is Plain-Traditional/Craftsman/Colonial Revival. The style of an adjacent multi-family structure located at 915 Faulkner is Plain-Traditional/Colonial Revival. The proposed structure is Plain-Traditional/Colonial Revival.

Applicant Statement: "...Our intent is to apply through the National Parks Services (NPS) Historic Preservation Certification program for approval of all work to be done. We have hired Bob Kempkes, an expert in the historic preservation field, to assist in the process. As required by the program, any materials that can be repaired and reused will be, and replacements will only be made out of necessity...We acknowledge this project is within the Robinson Historic District and embrace the significance of ensuring it becomes a cohesive part of the neighborhood..."

NEIGHBORHOOD

Public Rights of Way and Alleys. Preserve and maintain the topography, patterns, features, materials, and dimensions of streets, sidewalks, alleys and street plantings that contribute to the overall historic character of the historic district. Repair historic sidewalks, curbs, and paving or replace with materials to match adjacent in design, color, texture, pattern, and tooling. Maintain historic driveways and curb cuts.

The applicant has proposed a curb cut to accommodate a parking lot. There are no existing streetscape elements that will be impacted by the project.

THE SITE

Features & Plantings. Sidewalks are an integral part of the RHD. The repair, replacement, or construction of sidewalks is required with new construction approved by a COA.

There is an existing sidewalk along Faulkner St. It will need to be repaired.

Removal of any trees over eight (8) inches in diameter must be approved by the HDC. Street canopy trees shall be planted along street frontages at a rate of one (1) tree per thirty feet of street frontage. Existing street trees over eight (8) inches in diameter may count towards the required number.

The applicant has indicated that thirteen (13) significant trees will remain and seven (7) will be removed. Five (5) trees along the street frontage are required.

In urban areas, there should be no more than 80% impervious surface.

The property is zoned C-1 which allows for 100% lot coverage. Based upon the site plan, the applicant has not indicated occupying more than 80% of the lot.

Contemporary equipment must be shielded from view.

HVAC and utility equipment must be placed outside of view from the public realm.

New parking should be unobtrusive.

Parking is proposed to the north side of the development. The parking lot will be landscaped.

Fences & Walls. Retain and preserve fences and wall that contribute to the overall historic character of a building or site.
No fencing is proposed. There is an existing, wooden privacy fence at the rear of the property.

Walkways, Drives, & Parking. Design new walkways, driveways, and off street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials and color with existing walkways, driveways, and off street parking areas that contribute to the overall historic character of the district. Location of parking areas should be at the rear of the property.
Some of the existing walkways will be repaired. Additional walkways are proposed. One driveway encroachment is proposed that leads to a proposed seventeen (17) spot parking area. The location of the parking area will necessitate the removal of six (6) significant trees. The parking lot is on the north side of the property. A parking lot at the rear would disturb the buffer between the dwellings and adjacent property, including the removal of trees at the rear of the property. The rear setback between the existing dwelling and the rear property line is approximately 30' which is insufficient for a parking area.

Asphalt is not a historic paving method and should not used for new driveways.
The proposed driveway and parking area must conform. The existing Southern driveway area should be removed.

Lighting. Retain and preserve exterior lighting fixtures that contribute to the overall historic character of a building, site, or streetscape. Introduce new site and street lighting that is compatible with the human scale and the historic character of the district.
No lighting fixtures were shown on submitted plans. Any lighting must conform with standards and may be enforced through Site Development Review.

CHANGES TO BUILDING EXTERIOR

Masonry. Retain and preserve masonry features that contribute to the overall historic character of a building and a site, including walls, foundations, roofing, etc. It is not appropriate to paint unpainted masonry surfaces that were not painted historically.
Applicant will clean and tuck point existing brick around foundation area.

Wooden Buildings. Retain and preserve wooden features that contribute to the overall historic character of a building and a site. Repair historic wooden features using recognized preservation methods. If replacement of a deteriorated detail or element of a wooden feature is necessary, replace only the deteriorated detail or element in kind rather than the entire feature. Where repair is no longer possible because of severe deterioration, an aesthetically acceptable facsimile or substitution closely approximating the original siding may be recommended by HDC. In the rare case where replacement materials, such as fiber cement board may be recommended by the HDC, these materials shall be applied in a way that preserves the original wooden siding underneath.
The original material is weatherboard. It has deteriorated. The applicant is proposing new, cementitious siding of the same lap width.

Windows & Doors. Retain and preserve windows that contribute to the overall historic character of a building. Retain and preserve doors that contribute to the overall historic character of a building. If replacement of a deteriorated window or door feature or detail is necessary, replace only the deteriorated feature in kind rather than the entire unit.
The applicant has stated that they have consulted with a historic preservation architectural specialist. The specialist has stated that the windows are beyond repair and must be replaced. The applicant will be applying through the National Park Service Historic Preservation Certification Program and will only use windows with NPS approval. The elevations show that they will be replacing windows with the same size and grid pattern, but the material is not called out. The HDC may consider including a condition which states that verification of NPS approval of window replacement is required prior to building permit issuance.

All doors will be repaired and repainted.

Replace deteriorated or missing wooden shutters with wooden shutters sized to fit the opening and mounted so that they can be operated.
The existing shutters are decorative and not functional and may not be original. For consideration: they should be replaced with functional shutters.

Robinson Historic District

Roofs and Gutters. Retain and preserve roofs and roof forms that contribute to the overall historic character of a building.
The roof is a gable with asphalt shingles. Decking and shingles will be replaced.

NEW CONSTRUCTION & ADDITIONS

Siding and Bricks. The selection of materials for a structure should be compatible with and complement the surrounding structures in the RHD. Brick, stone, and wood are the most appropriate materials for the cladding of structures.
The applicant is proposing modular brick siding, brick clad columns, and brick rowlock sills.

Size, Shape, Scale. New construction shall maintain the existing pattern of surrounding historic buildings along the street. Orient the main entrances of the building at the front (street) in a manner similar to established patterns in the district.
The new multi-family building will be set between the existing multi-family structure at 931 Faulkner and another multi-family structure on an adjacent property to the south. The proposed height is 38' 6" to ridge soffit. The height of adjacent multi-family structures are 29' 1" and 30' 1". The proposed structure is eight (8) feet taller than the existing structure. The proposed structure is three (3) stories and adjacent multi-family dwellings two (2) stories. Adjacent properties to the north and west are residential in design and scale.

The proposed dwelling will be oriented towards a shared courtyard on 931 Faulkner and will be aligned with the existing structure. The front elevation may benefit from additional architectural details which would help it visually align with the Faulkner facades of adjacent buildings. This could be in the form of larger bottom floor windows, planter boxes, differing materials/textures, etc. The front door could be more pronounced to mitigate the orientation discrepancy. More details on other elevations should be considered, especially the southern elevation which is visible for northbound traffic on Faulkner St.

Roof Type. Roof types on new buildings should conform to surrounding historic structures in shape and pitch.
The proposal conforms.

Windows. Select windows and doors for proposed new buildings that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of surrounding buildings.
The applicant is proposing six over six windows with fiber cement trim which appears comparable to the trim width of adjacent structures of a similar style. Dormers may be considered for the attic windows.

Setbacks.

Front Setback: Between 85% and 115% of the average front setback distance established by the existing adjacent historic structures.

Side: Six (6) feet in all residential zones, 0 feet in C-1 areas.

Rear: 3 feet or 15 feet from centerline of alleyway in residential zones, 0 feet minimum in C-1 area.

The proposal conforms.

Lot coverage. 80-100% in commercial areas.

The proposal conforms.

CONDITIONS

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.

**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*

2. HVAC units and other utility equipment shall be screened from the public right-of-way through their positioning in relation to other structures, architectural screening or through vegetative cover.

3. Driveway and parking shall be composed of brick, stone, pavers, or concrete. Asphalt is not permitted.

4. Masonry shall be cleaned with the gentlest means (water blasting is not permitted). The brick shall not be painted.

5. Prior to issuance of a building permit, the applicant shall provide Planning Staff with verification that the National Park Service has approved the window replacements and the siding replacement on the existing structure.

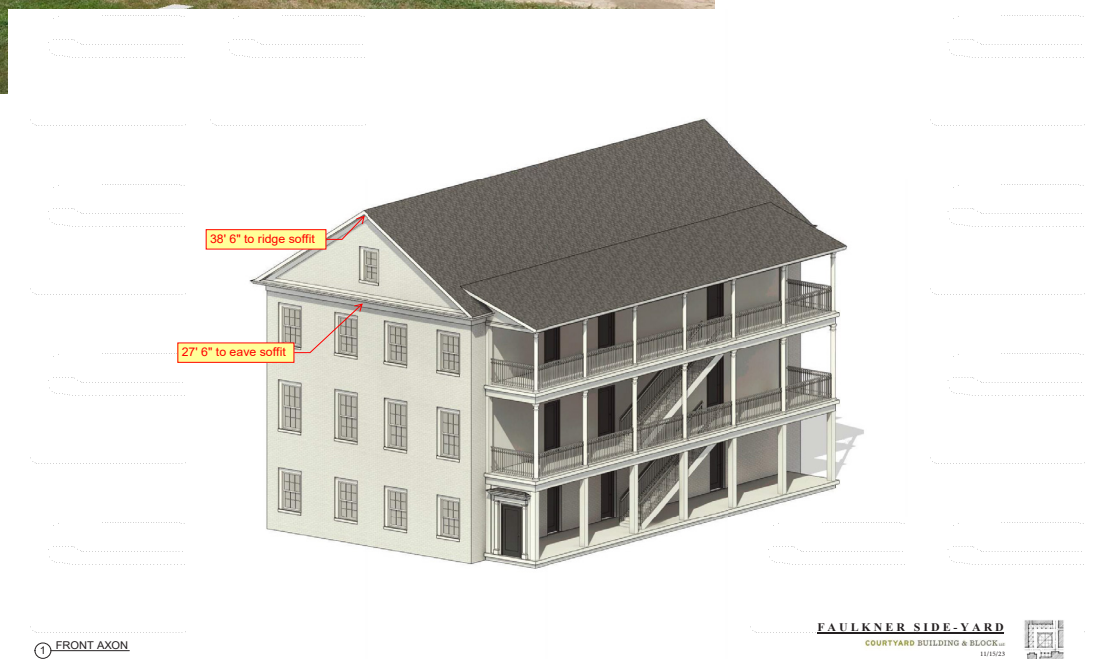
6. If shutters are to remain, they shall be replaced with a functional equivalent sized to fit the window openings.

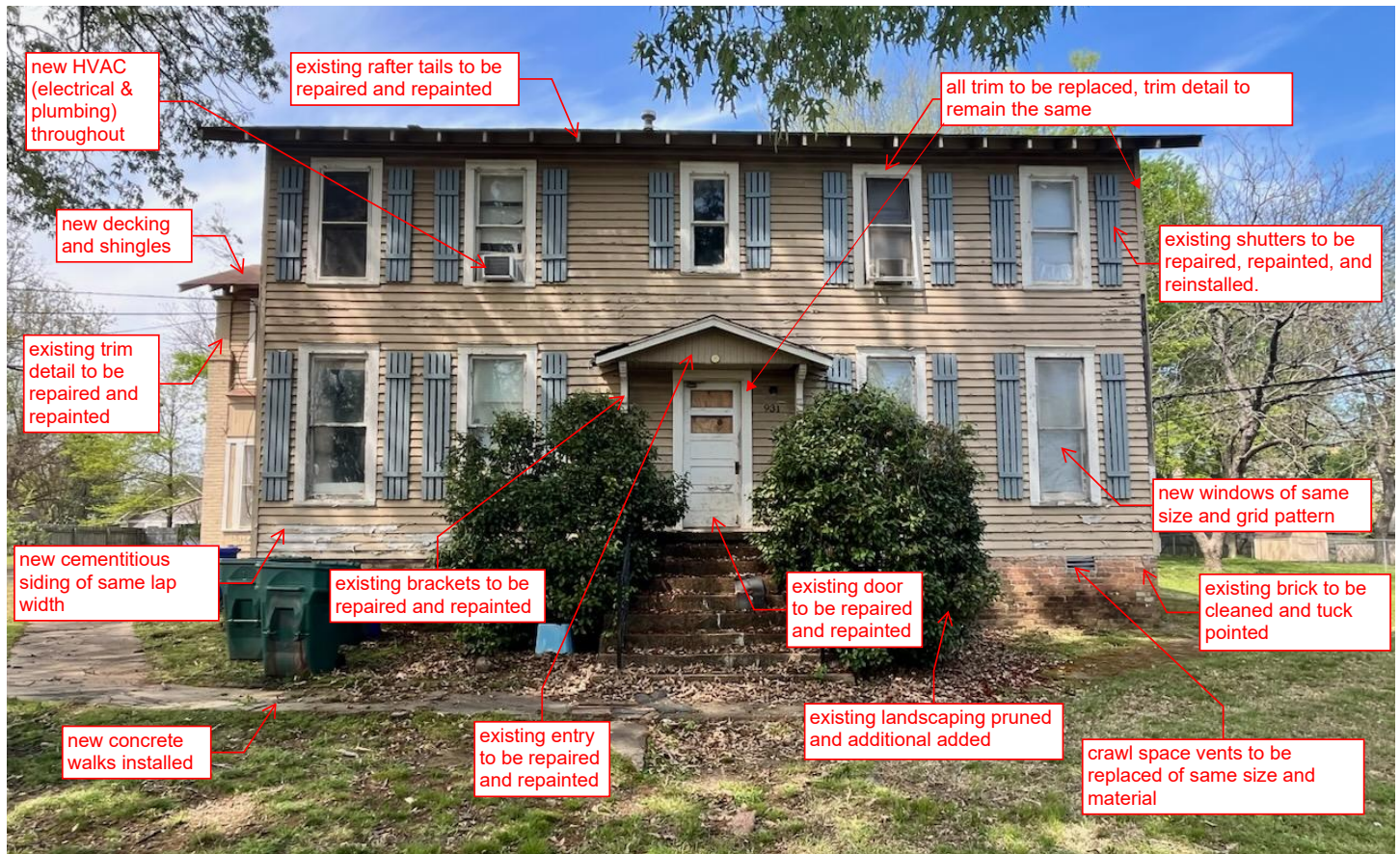
7. Prior to issuance of a Certificate of Appropriateness, applicant shall provide planning staff with:

- Elevations that mitigate the new construction's orientation discrepancy on the Faulkner St façade.
- Additional architectural details on the Southern elevation.
- Courtyard entrance details (i.e. fencing type, vegetation, etc.).

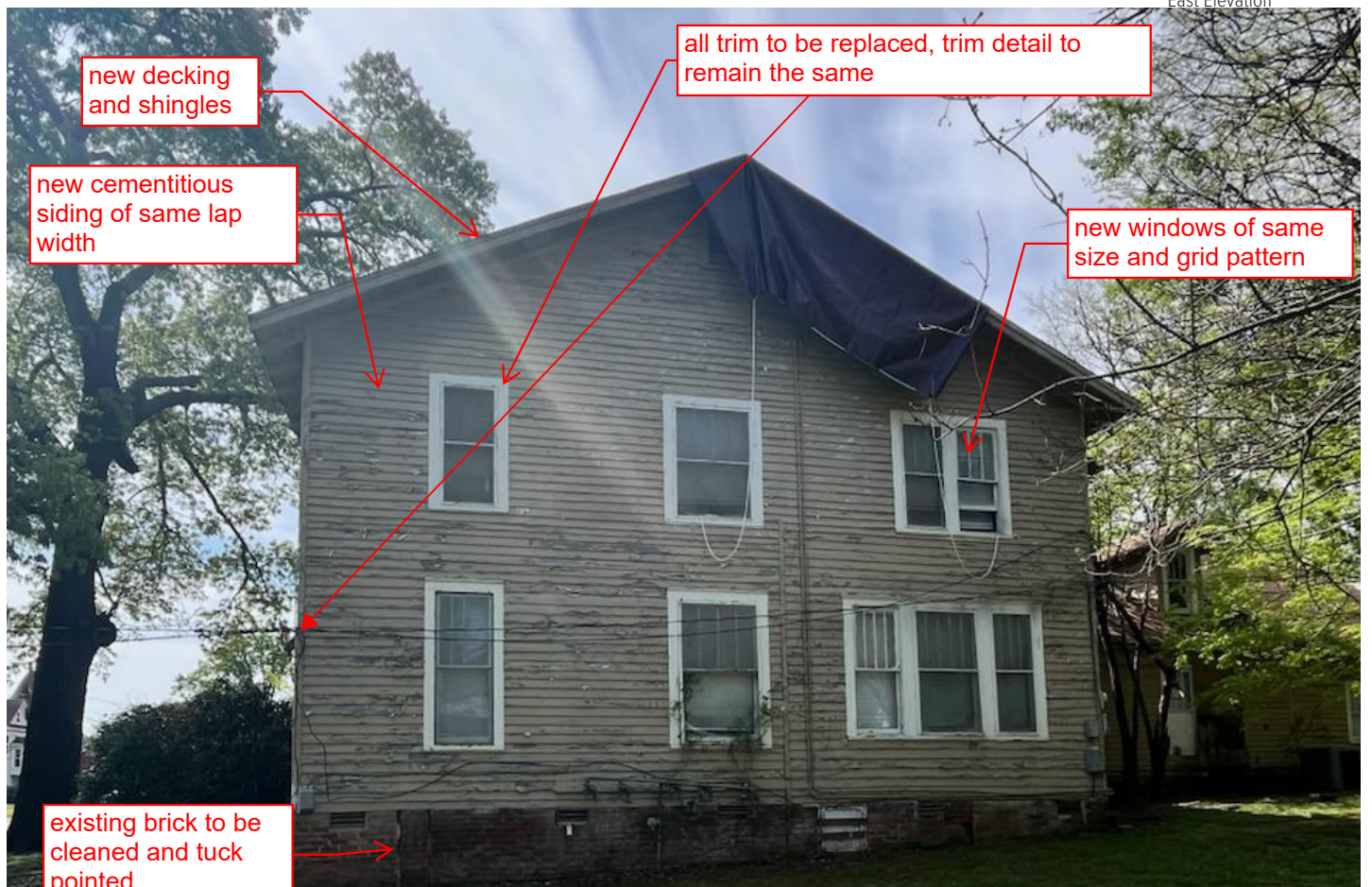
8. Roofing shall be asphalt or composition type shingles.
9. Siding on the new construction shall be composed of brick and wood or a wood-like material such as Hardie® siding/LP® SmartSide®.
10. A minimum of five (5) trees from the approved species list must be planted along Faulkner St, outside of the right-of-way.
11. The existing sidewalk shall be repaired and meet ADA standards.
12. Lighting shall be inward, downward, and shrouded to stay within the bounds of the property.
13. The applicant shall coordinate with the Department of Transportation for a driveway permit.
14. The project shall undergo Site Development Review prior to building permit issuance.
15. The property shall be replatted prior to, or concurrently with, Site Development Review.
16. There shall be five (5) trees along the Faulkner St frontage.
17. Existing driveway shall be removed.

Faulkner Street Roof Heights

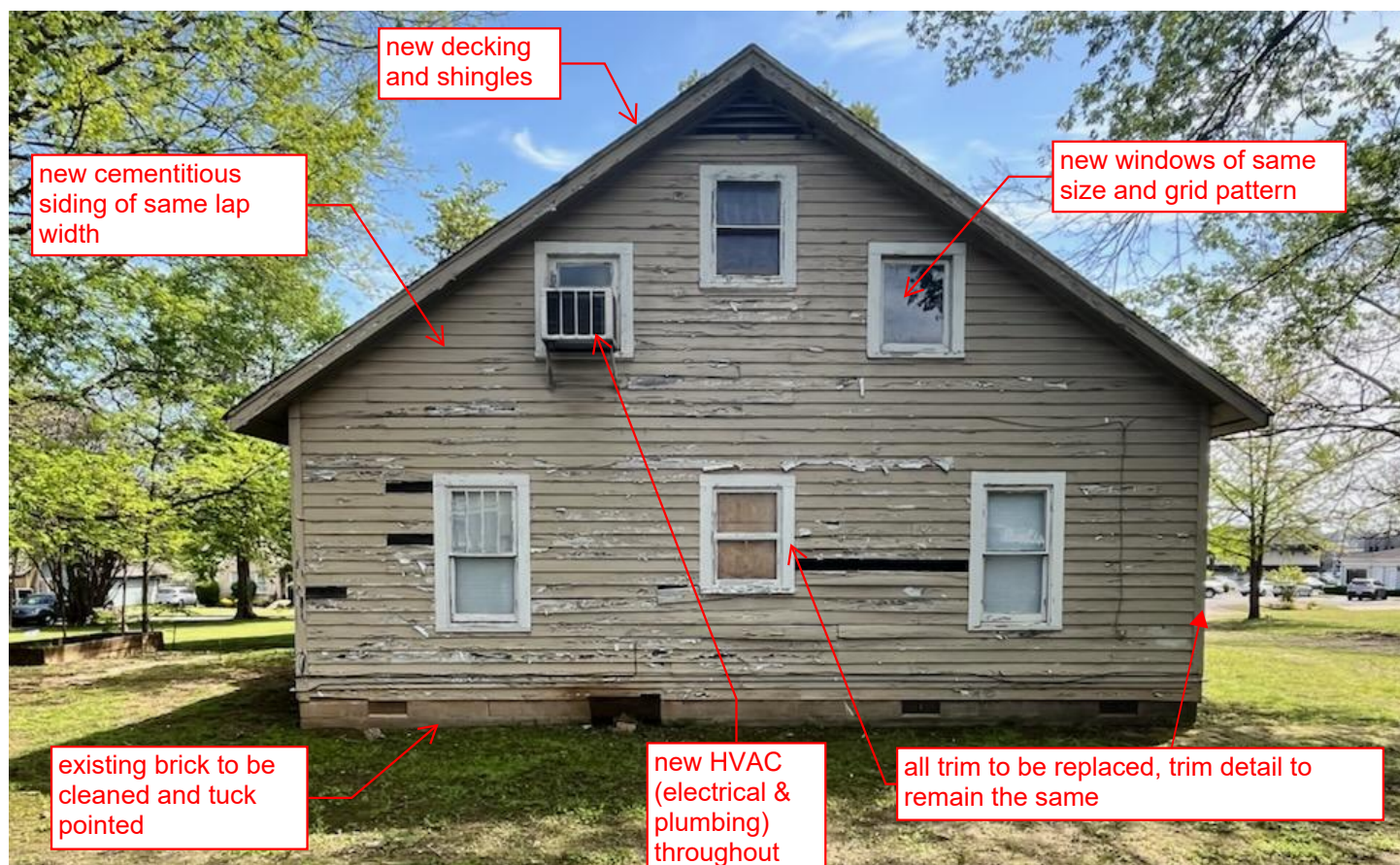




East Elevation



North Elevation



West Elevation



South Elevation



VATION

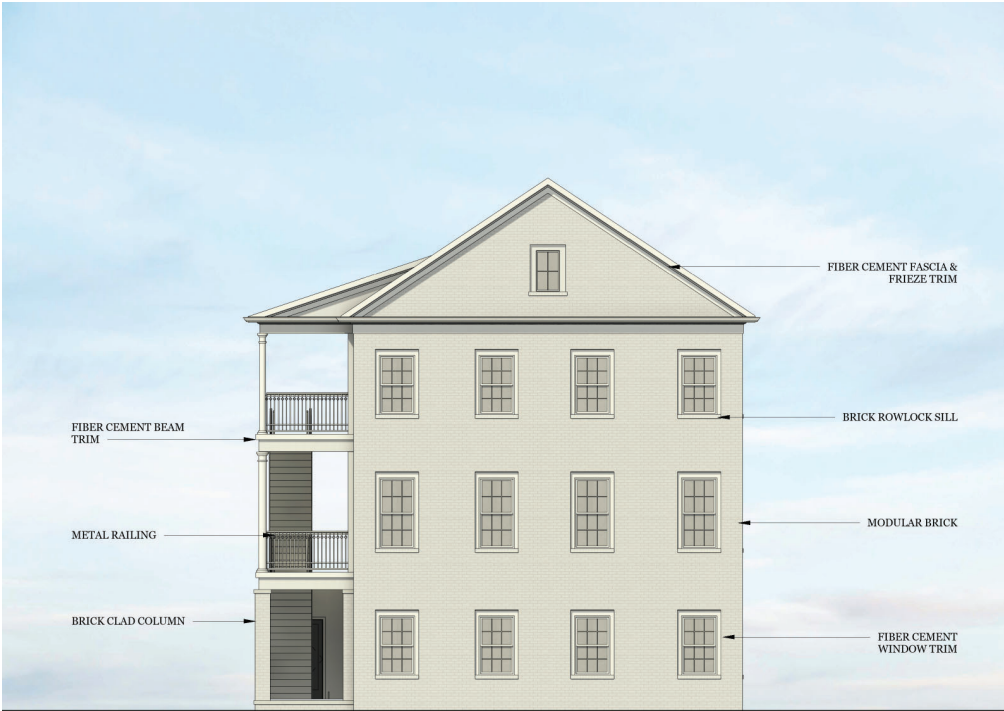
FAULKNER SIDE-YARD

COURTYARD BUILDING & BLOCK, LLC
04/15/24



FAULKNER SIDE-YARD

COURTYARD BUILDING & BLOCK, LLC
04/15/25



VATION

FAULKNER SIDE-YARD

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FAULKNER SIDE-YARD

COURTYARD BUILDING & BLOCK, LLC

04/15/24



FAULKNER SIDE-YARD
COURTYARD BUILDING & BLOCK
11/15/23

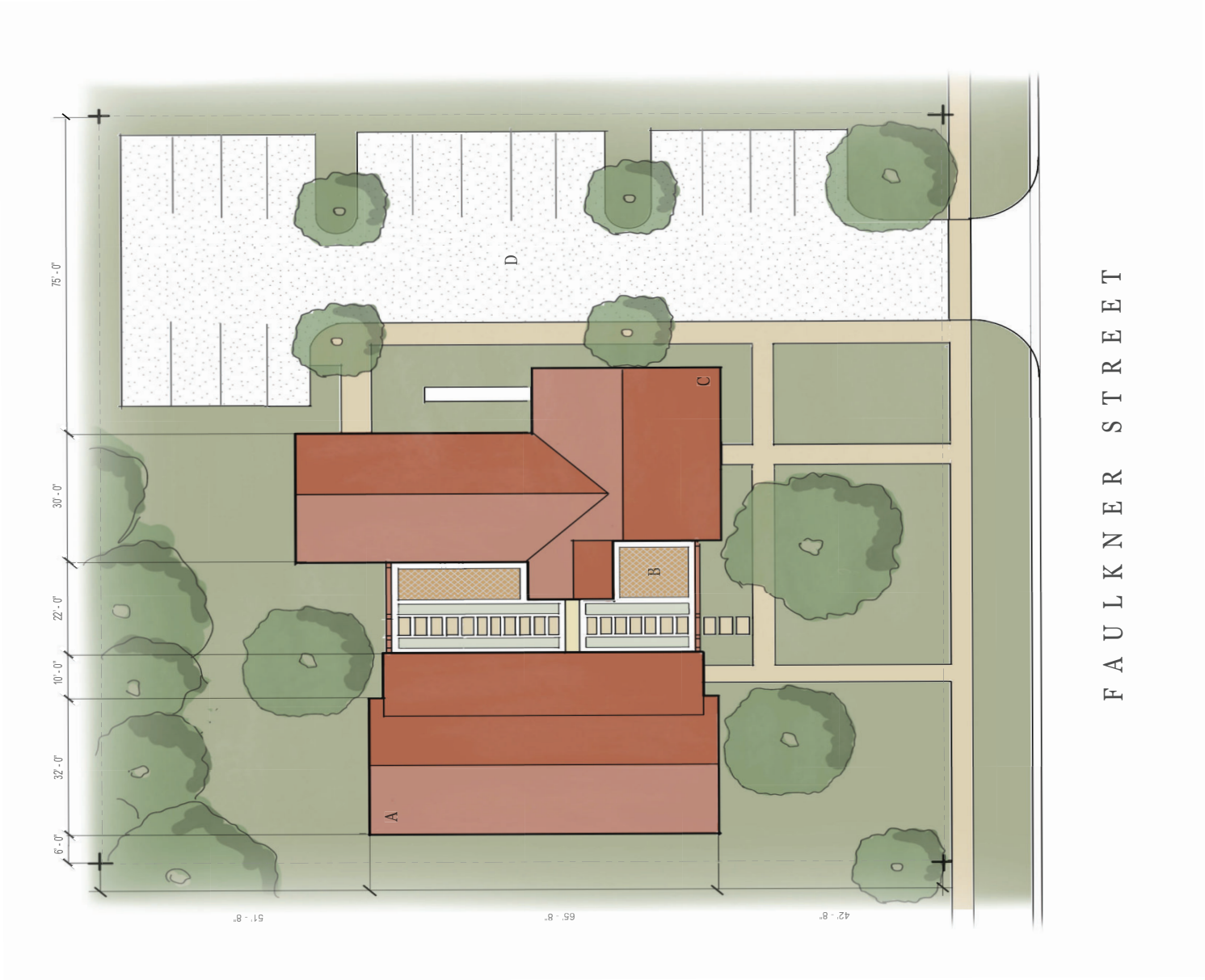


FAULKNER STREET



FAULKNER SIDE-YARD
COURTYARD BUILDING & BLOCK use
11/15/23

- A NINE ONE - BEDROOM APARTMENTS
- B PRIVATE COURTYARD
- C EXISTING BUILDING
- D PARKING COURT







To: Historic Commission
From: Brent Salter
Project: 931 Faulkner
Date: 4.10.2025
Sent Via: City Portal

RE: Project Introduction

There are 2 components to this project. First is the rehabilitation of the existing structure and second is the addition of a 9-unit building. Although having their own identity, the 2 buildings will work in harmony aesthetically and functionally, while bringing much needed residential apartments to downtown Conway. A shared courtyard will provide a setting for social engagement, and the buildings location on the site will encourage walkability.

The existing building is one of the 89 Contributing Structures in the Robinson Historic District, Resource No. FA1170 – Apartment Building at 931 Faulkner, as defined in the National Register of Historic Places Registration Form dated 11/27/2000. Our intent is to apply through the National Parks Services (NPS) Historic Preservation Certification program for approval of all work to be done. We have hired Bob Kempkes, an expert in the historic preservation field, to assist in the process. As required by the program, any materials that can be repaired and reused will be, and replacements will only be made out of necessity. Regardless, specific architectural detailing will remain. This will be our 6th NPS certified historic preservation project, and 5th in Conway.

The new structure will consist of 9 studio units. 3 units per floorplate. Although it is a requirement of the NPS for this new building to be identifiably different than the existing structure, not at attempt to copy, it will be in vernacular appropriate for the District. We are proposing all masonry cladding which is prevalent in the District. The building has appropriate massing for the site and is 3 stories in height, which considering the adjacent properties, is appropriate scaling for the property and the streetscape. A document showing the height of the proposed building relative to the adjacent structures is included for reference.

We acknowledge this project is within the Robinson Historic District and embrace the significance of ensuring it becomes a cohesive part of the neighborhood.

With that, we respectfully request this project be approved as proposed and a Certificate of Appropriateness be issued.

Thank you.

From: [Bob Kempkes](#)
To: [Tara Jackson](#)
Cc: [Brent Salter](#); [Jay Salter](#); kourtney.bennett@engagemanagement.com
Subject: 931 Faulkner St. Conway
Date: Thursday, April 24, 2025 10:41:31 AM
Attachments: [HOWE HOTEL RENOVATION \(4\) 1.pdf](#)

You don't often get email from bob@taylorkempkes.com. [Learn why this is important](#)

This message was sent from outside the organization. If you were not expecting this email, please be cautious when opening attachments or clicking on links.

Hi Tara,

I have been retained by Salter Properties to provide historic preservation and tax credit consultation. We have worked together on several tax credit projects over the years. At 931 Faulkner we discussed having new sashes constructed, but the frames were in poor condition also so adding new sashes to existing deteriorated frames did not seem to make sense.

Many of our clients on historic residential projects have been opting to replace the windows even when it's more expensive. Our last two historic projects that were approved for by the NPS for Federal Tax Credits were replacement units. One was aluminum clad double-hung wood windows and the other was painted double-hung wood windows. Manufacturers are much more aware of the requirements of replacement windows to be historically accurate. Manufacturers like Quaker work directly with NPS Technical Services to make sure their profiles are accurate. I've attached a drawing from Quaker for one of our projects in Hot Springs showing the existing and the replacement and how closely they match. The windows in Hot Springs are 3 over 1 double-hung wood windows and the windows at the front elevation of 931 are 1 over 1 double-hung wood windows with the windows on the remaining elevations being 4 over 1 double-hung wood windows so very similar to Hot Springs. We have found in past historic tax credit projects that the NPS is receptive to replacement windows as long as the new windows have same size sashes and mullions as well as having the trim dimensions required by the sash weight pockets.

The other important requirement is that they have the sash offsets of true double-hung windows. We will be extremely careful selecting the windows and will have approval prior to ordering.

If you have any questions, comments or need more information please feel free to give me a call on my cell.

Thanks, Bob

Bob Kempkes
Taylor/Kempkes Architects
210 Central Ave., Suite 3
Hot Springs National Park, AR 71901
Phone: (501) 624-5679
Cell: (501) 282-0513



View of subject property from Faulkner St



View of new construction area from Faulkner St



Adjacent property to the N



Adjacent property to the E



Adjacent property to the W



Adjacent property to the W