



CONWAY
HISTORIC DISTRICT COMMISSION
MARCH



MONDAY, MARCH 28, 2016 ~ 6:00 PM
CITY HALL ~ DOWNSTAIRS CONFERENCE ROOM
1201 OAK STREET ~ CONWAY, AR

CONWAY HISTORIC DISTRICT COMMISSION MEETING

MARCH 28, 2016 • 6:00PM • CITY HALL • 1201 OAK STREET

AGENDA

Minutes
February 22, 2015

Public Hearings **Certificate of Appropriateness Reviews**

Old Conway Design Overlay District

1. Henderson New Residence Review - 318 Davis Street

2. Daly's Steakhouse Design Review - 910/912 Front Street

Discussion

Other items as decided by the Commission

HISTORIC DISTRICT COMMISSION MEMBERS

Steve Hurd, Chairman
Marianne Welch, Vice-Chairwoman
Scott Zielstra, Secretary
George Covington, Sr.
Taylor Martin
Aaron Nicholson
Betty Pickett

Conway Historic District
Commission February 22, 2016

Meeting Minutes

City Hall - Downstairs Conference Room, 6:00 p.m.

Roll Call

Steve Hurd, Chairman - present
Scott Zielstra, Secretary - present
George Covington, Sr. - present
Marianne Welch - present
Betty Pickett - present
Aaron Nicholson - present
Taylor Martin - present
HDC City Staff, Bryan Patrick - present

Finding of a Quorum

7 Commission members - Quorum present.

Also in attendance:

Eric Guy - 860 Davis Street
Rhett Thompson - 2010 Washington Avenue
Catherine Barrier - AHPP CLG Coordinator

Meeting Minutes

January 25, 2016 minutes. George Covington motioned for approval, seconded by Taylor Martin. Minutes approved unanimously.

PUBLIC HEARING - CERTIFICATE OF APPROPRIATENESS

Thompson Office Addition - 2010 Washington Avenue

Presentation: This item was held in committee at the January meeting and was presented tonight. The planned addition will be 16'x24' and will serve as a conference room as there is not currently one in the building. It will contain one window facing east toward the rear parking lot and there will be additional landscaping along the rear where the conference room will be located. The intent is the refresh the building so that they new addition flows into the existing building.

Community discussion: None

Motion made by George Covington to approve the submitted plan with the following conditions:

1. The addition shall be constructed as shown in the submitted plans with vinyl lap siding matching existing vinyl lap siding.
2. Two additional windows shall be added to the north and/or east elevations. A single window on the north elevation and a double mullion window on one side.
3. Asphalt shingles should match existing roofing as closely as possible.

Seconded by Aaron Nichols. Motioned approved unanimously.

DISCUSSION - 2016 AHPP CLG Grant

The Arkansas Historic Preservation Program is now taking applications for the 2016 certified local government grant. The grant money would be available for the period between July 1, 2016 to June 30, 2017. The National Alliance of Preservation Commissions will be holding Forum 2016 in Mobile, Alabama, July 27-31, 2016. Estimated cost per attendee is \$1,600. 2016 Grant money can be requested for this event. Any Historic District Commissioners interested in attending should notify HDC staff and the request for grant funds will be made.

Bryan Patrick has requested three (3) attendees for this year's conference for the HDC. This does not include the attendance of HDC staff as that expense is covered by a different funding source.

Meeting adjourned

1 HENDERSON NEW RESIDENCE - 318 DAVIS STREET

OLD CONWAY DESIGN OVERLY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

APPLICANT/OWNER

Sherlyn Henderson
315 Hannah Dr
Conway AR 72034

SITE

Address. 318 Davis Street

Present Zoning. R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

Abutting Zoning. R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

Lot Area. 0.19 acre ±

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the east side of Davis Street 3 lots north of Bruce Street. It is surrounded by single family residential structures in minimal traditional style.

General Description of Property. The applicant is proposing to demolish the existing 1000 s.f. house and construct an approximately 1245 s.f. single family residence.

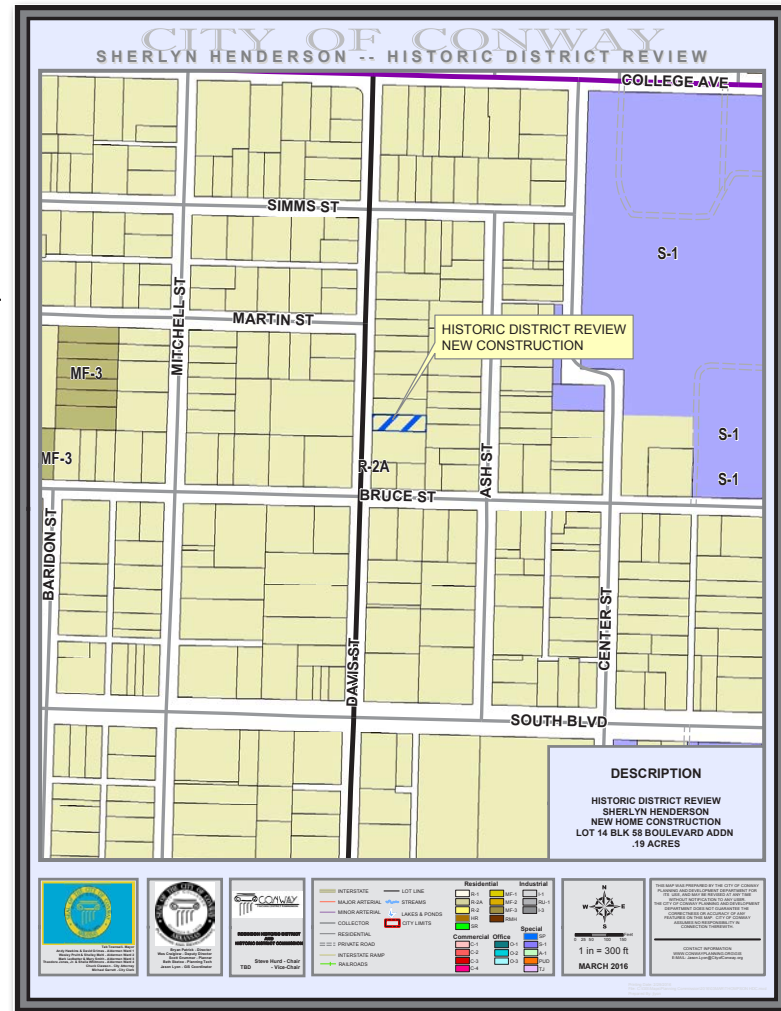
Setbacks. Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. For this area, the acceptable range measured from the property line is 24 to 34 feet. The proposed front setback of 30 feet from the property line is appropriate. Side setbacks are shown at an appropriate 10' 8" (north) and 5' 4" (south). The rear setback is a generous 75' (east).

Spacing. Established spacing distance pattern between area structures. The proposed spacing is appropriate and in keeping with other area structures.

Lot Coverage. The Old Conway District allows up to 60% impermeable lot coverage. The proposed impervious area is well over this percentage and is appropriate.

Orientation. The direction in which the front of a building faces. The residence will appropriately face Davis Street.

Alley. There are no alleyways in the affected block.



Driveway / Parking. A driveway is proposed on the north side of the residence. It is assumed that the driveway will be concrete. The driveway leads to a carport on the rear of the residence (east)

Sidewalks. There is no existing sidewalk along the Davis Street frontage. Sidewalk construction will be required.

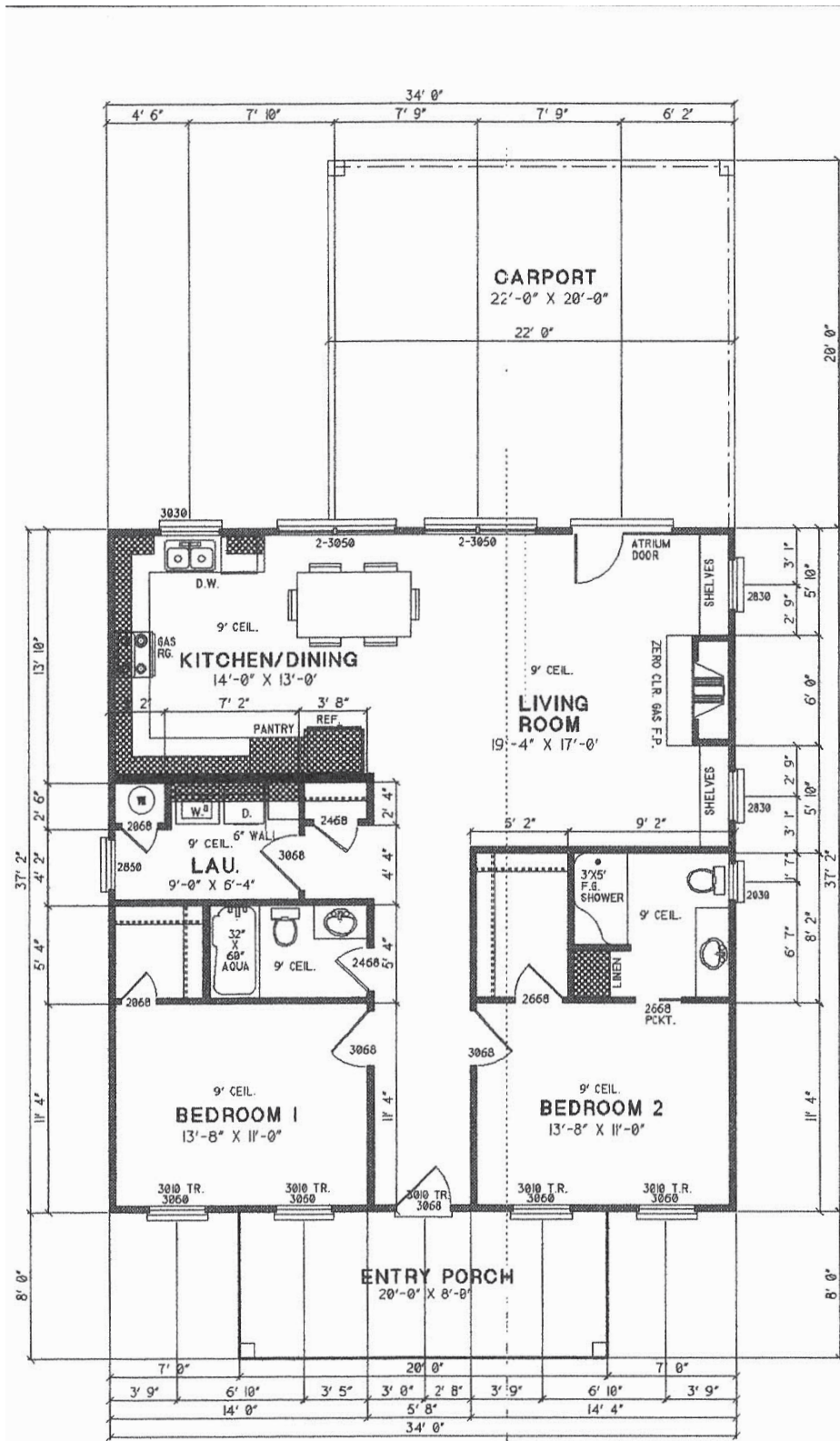
Fences. No fencing is shown in the supplied drawings. There is an existing wooden privacy fence on the south property line and around the rear yard.

Tree preservation. There are 2 significant trees on the south property line. With diligent tree preservation methods, these trees seem to be spaced far enough away from new construction to not impair them.

MASSING

Scale. The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The size of the new residence is in scale with other area residences.

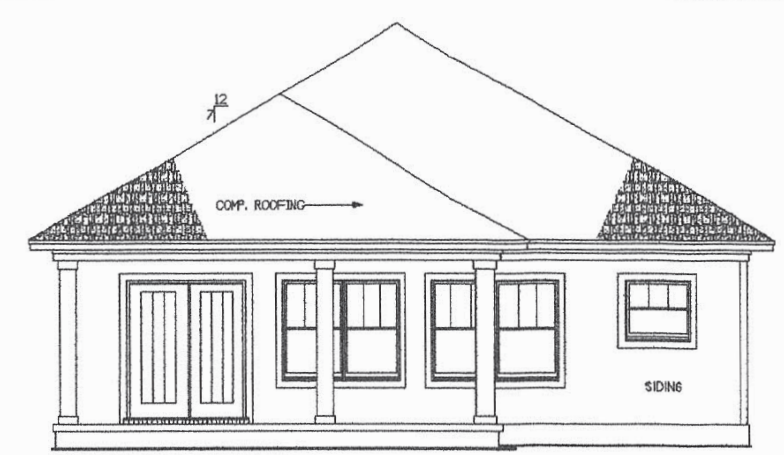




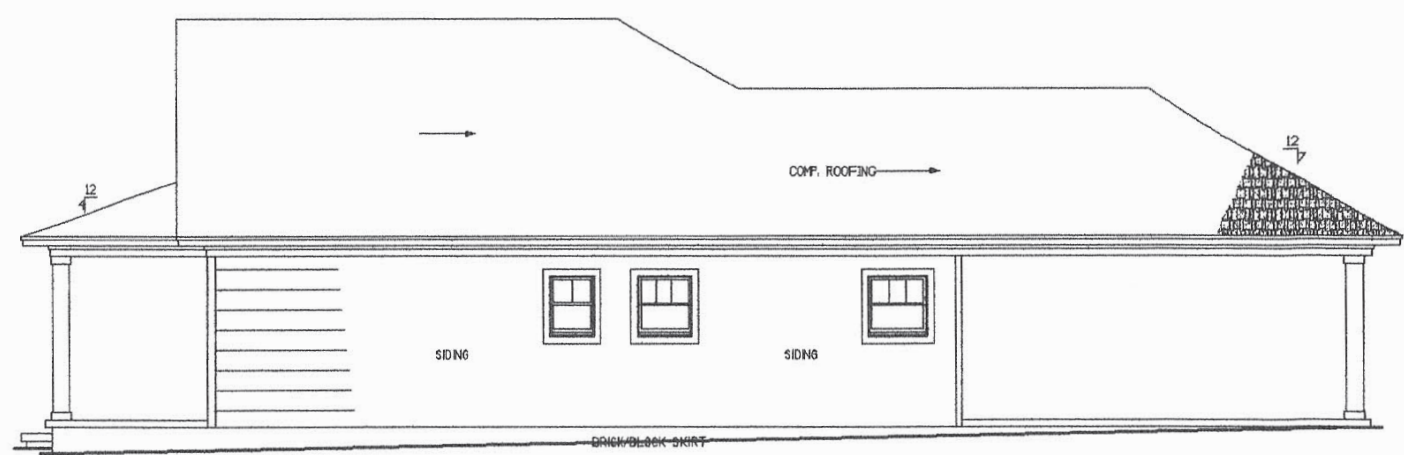
FLOOR PLAN SPECS.	
HEAT/COOLED:	1245 SQ. FT.
GARAGE, STORAGE & PORCH	598 SQ. FT.
TOTAL:	1843 SQ. FT.



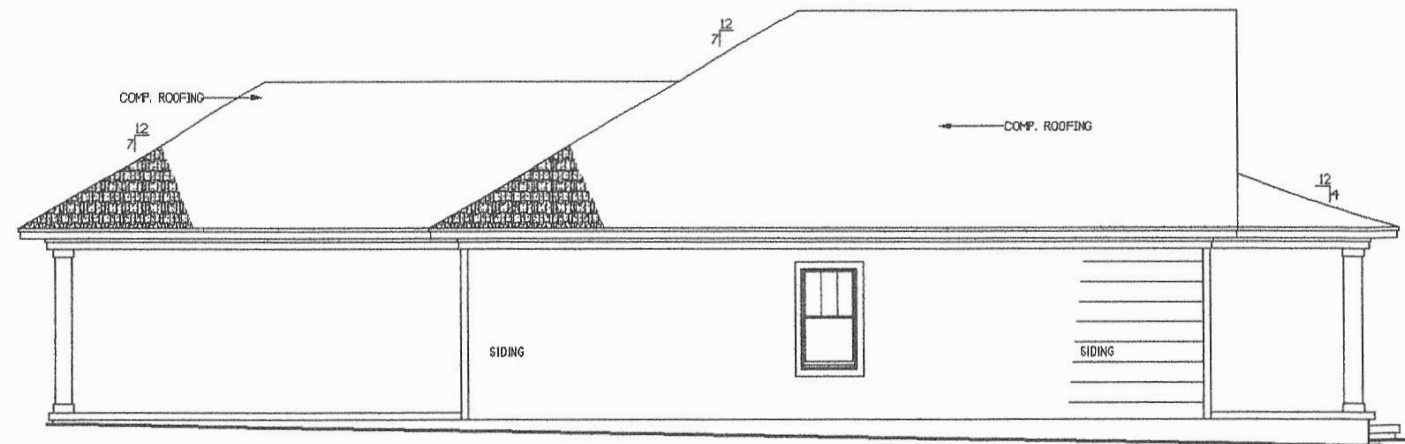
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

318 DAVIS STREET

Quality Designs Inc
Conway Arkansas 501.327.4205

CAD
DESIGNED
Job :
SCALE: 1/4"=1'-0"

Applicant provided elevations and rendered perspectives



Property adjacent to North, 320 Davis St



Property adjacent to South, 310 Davis St



Property across street to West, 317 Davis St



Existing residence at 318 Davis St

Height. The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines are appropriate. The first floor height should be minimally 9 feet floor to ceiling.

Width. New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence's width is appropriate.

Directional expression. Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence is appropriate.

Footprint. The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's footprint is appropriately scaled in relation to other area structures.

Complexity of form. The level of detailing and breaks in wall planes of a structure. The residence has appropriate detailing accomplished with wide window and door trim. The front facade has gabled end with a porch. The complexity of form is appropriate with other area structures.

Facade, wall area, rhythm. Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence seems to have an appropriate number of windows and doors.

DESIGN ELEMENTS

Style. The style should compliment area structures. The residence is a modern interpretation of a minimal traditional bungalow/cottage.

Entries, Porches, and Porticos. Appropriate entry points are provided. Porches are to be a minimum of 6 feet in depth. The front porch shown is 8 feet in depth and has a metal roof. There is also a rear covered porch. Front porch columns have an appropriate width with a solid appearance.

Doors and windows. The doors and windows shown have muntin dividers creating three over one windows. Simple one over one windows could be more appropriate than windows with false dividers.

Awnings. When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are shown.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks. Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence has detailing provided through wide door and window trim and front porch details. These features add traditional detailing. Vinyl siding is the proposed siding material.

Shutters. No shutters are shown on the supplied drawings.

Roof. An asphalt composition roof is shown.

Decks/Plaza Space. No deck is proposed.

Skylights. None are shown.

Mechanical Screening. HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

RECOMMENDATIONS

The proposed residence should blend appropriately with surrounding residences.

1. The residence shall be constructed as shown in submitted plans.
2. The residence's front setback shall be approximately 30 feet from the property line.
3. Front porch columns shall be trimmed out to approximately 8 inches by 8 inches minimum.
4. Floor to ceiling height shall be 9 foot minimum.
5. Vinyl siding shall be allowed.
6. An 8 to 10 foot concrete driveway shall be constructed as shown. A "ribbon" drive may also be used.
7. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
8. A 4 foot sidewalk shall be constructed along Davis Street or an in-lieu fee of \$480 shall be paid into the sidewalk fund.

2 DALY'S STEAKHOUSE & LOFTS - 910 & 912 FRONT STREET

OLD CONWAY DESIGN OVERLY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

Reviewed and approved in December 2015. The design has been modified and is re-submitted for re-approval.

APPLICANT

Brandon Ruhl, Architect
Taggart Architects
4500 Burrow Dr
North Little Rock AR 72116

OWNER

McFadin Global, Owner

FROM DECEMBER 2015

SITE

Address. 910 & 912 Front Street

Present Zoning. C-1 (Central Business District). The property is within the Old Conway Design Overlay Urban District.

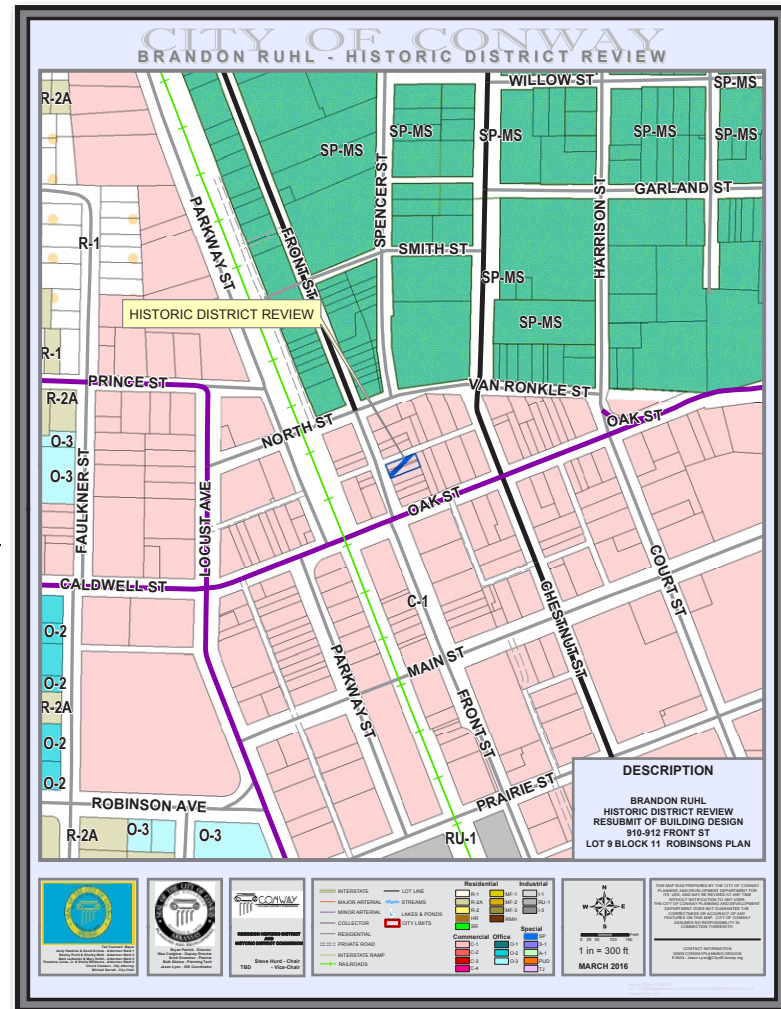
Abutting Zoning. C-1 (Central Business District) in the Old Conway Design Overlay Urban District.

Lot Area. 0.11 acre ±

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Urban District on the east side of Front Street on the south side of Bates Furniture and north side of Crossman Printing.

General Description of Property. The property has two commercial buildings; the "Dryer Shoe Building" and the "Downtown Pentecostal Church". The buildings were constructed around 1880? as Cole's Grocery (Dryer building) and Hinton's Store (former church). The Dryer building has major structural problems and is leaning at the northwest corner at least 18 inches out of plumb from the parapet to the ground. The church building's framing is dependent on the Dryer building as its roof joists are set into brick pockets on the Crossman building and the Dryer building. As the Dryer building leans north and out, the joists are being pulled from the supporting wall. The north wall of the Dryer building is also buckling and bulging northward into the alleyway.

The current and previous owners hired engineers to explore the possibility of reinforcing and straightening the structures. The cost estimates on reinforcing methods is not economical. Therefore, the owner would like to demolish the buildings and construct a new similar structure in its place. The buildings are in the Old Conway Design Overlay, so HDC approval is not necessary for demolition. However, the HDC must approve the new structure's design. The new building will house a restaurant on the ground floor and 5 loft apartments on the second floor.



The property is in the Old Conway urban district and is subject to the Old Conway overlay urban design standards.

URBAN DESIGN STANDARDS

Setbacks. Urban design standards require that 80% of the building's façade be within 3 feet of the property line. The new structure will be built 100% on the property line.

Spacing. Established spacing distance pattern between area structures. The proposed spacing is in keeping with other downtown commercial structures.

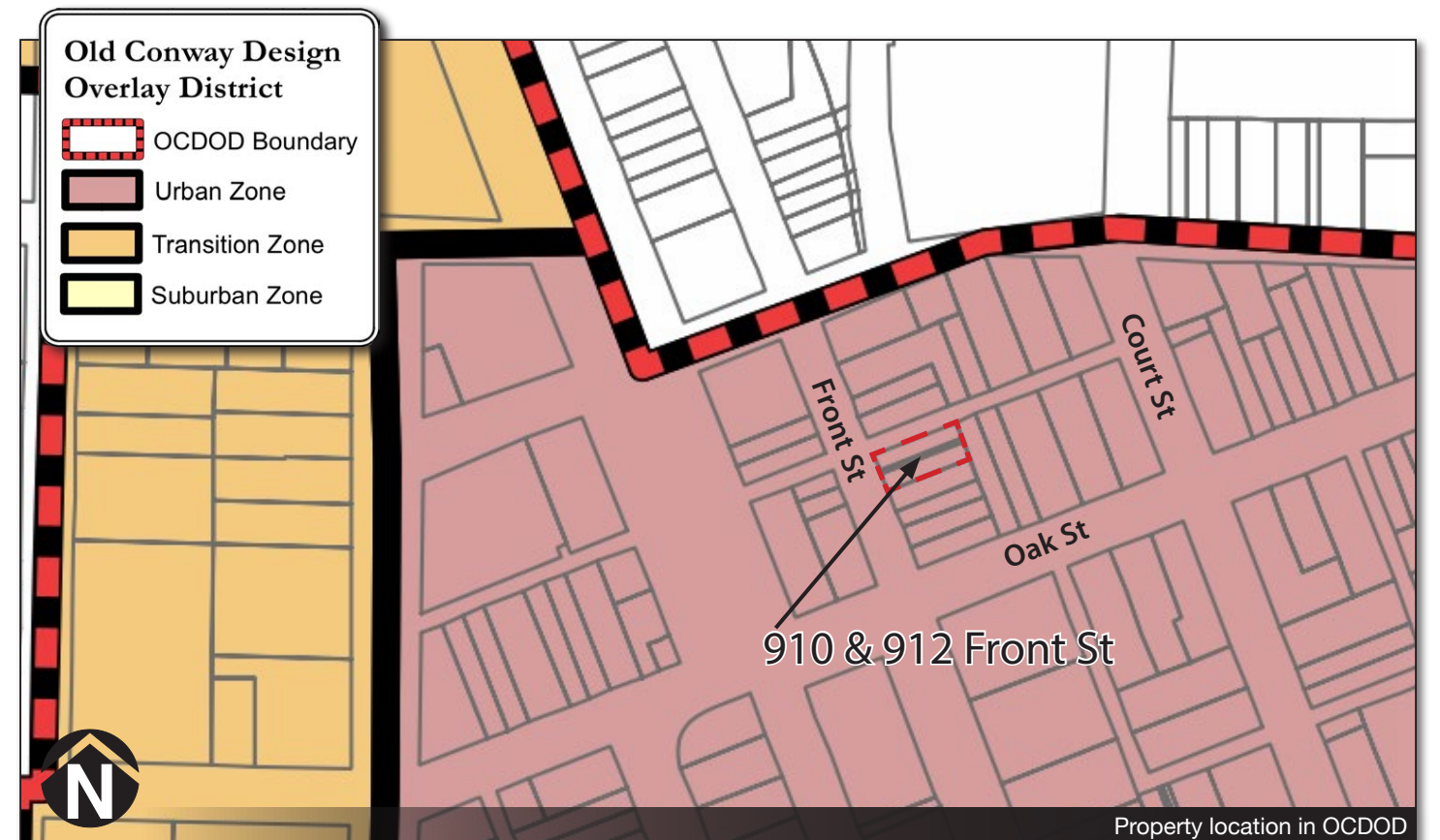
Orientation. The direction in which the front of a building faces. The structure will appropriately face Front Street.

Alley. There is an alleyway on the north side of the property. Alley will be unaffected by the new structure.

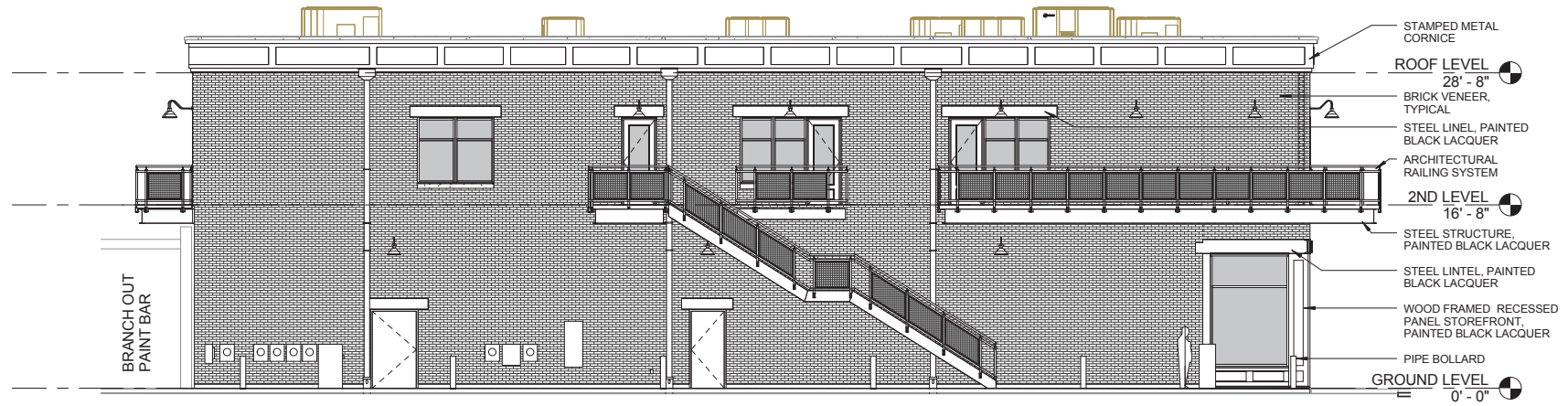
Landscaping and Paving. Outdoor ground plane abutting the public right of way shall be paved with concrete or other high quality material. The sidewalk along Front Street was renovated with the typical downtown Conway sidewalk streetscape several years ago. No changes are needed or proposed.



Aerial View of 910 & 912 Front Street



Property location in OCDOD



ALLEY ELEVATION



FRONT STREET ELEVATION



EXTERIOR VIEW - NE CORNER



EXTERIOR VIEW - NW CORNER



EXTERIOR VIEW - SW CORNER



View looking North along Front Street

Fences. Fences must be constructed off metal, brick, or stone. No fencing is proposed.

MASSING

Scale. The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The size of the new structure is in scale with other neighboring structures.

Building Height. Building façades must be 2 story minimum. Ground floor height must be 15 feet minimum floor to ceiling. Both of these requirements are met.

Lot Coverage. The Old Conway Urban District allows up to 100% impermeable lot coverage. The proposed impervious area is well below this percentage.

Vehicular Access Points. Curb cuts shall be no greater than 20 feet in the urban zone. No curb cuts are proposed.

Off Street Parking. Except in the most critical of circumstances, locating surface parking lots at block corners shall not be permitted. Where a parking lot must abut a public sidewalk, a visual buffer shall be provided through the use of a wall or fencing along the sidewalk edge. No parking is proposed.

Loading Docks. All loading docks shall be screened from pedestrian view. A combination of doors, gates, walls, fencing, and/or landscaping shall be used to shield the loading dock from view. No loading dock is proposed. Alley will be used for deliveries.

Dumpsters. Trash dumpsters shall be further screened by use of a gate and structure which complements the design of the

primary building through the use of similar materials, colors, finishes, and architectural details. Dumpster enclosures shall be constructed of masonry materials with an interior clear dimension of 15 feet by 15 feet. No dumpster enclosure is proposed. It is unclear where trash collection will occur. There is a common dumpster area in the alley to the east. Sanitation Dept. review will be part of the later development review process.

Façade Articulation. A minimum of 35% of each upper story shall be windows. Windows shall be proportioned to appear vertical, even when combined to form horizontal bands around the structure.

Façades shall be broken down into distinct twenty to thirty foot "modules" or "bays" from side to side. The modules can follow structural, historical, aesthetic, or functional dimensions. Large unarticulated walls are discouraged, and shall have either a window or a functional public access (such as a door or passageway) at least every ten feet. Façades exceeding fifty feet in length shall be visually broken down into bays through the use of architectural elements such as pilasters, reveals, or other three-dimensional surface modulations. Building façade designs shall respect the historical context of Old Conway with a clear ground floor, body, and cornice line (i.e. "base, body, and cap"). Designs should be contextual to adjacent buildings, including their cornice lines and horizontal banding. The use of traditional façade components is encouraged and includes parapets caps, cornices, transoms, awnings, storefronts, kickplates, recessed entries, and sign bands. The proposed façade will replicate the existing historic façade. The new façade is appropriate.

Ground-Level Façade Detail. A minimum of 2/3 of the first story façade shall be windows. First story windows shall be a

maximum of three feet above the ground. Windows should be used to display products and services and maximize visibility into storefronts. The proposed ground level meets the guidelines and is appropriate.

Building Materials. Of the total amount of glass on the first story façade(s), a minimum of 85% shall be transparent. The remaining 15% may be stained, frosted, or otherwise non-transparent glass. Tinted or reflective glass is discouraged at ground level. All floors other than ground level may utilize window transparency as desired.

Building materials (other than glass) shall include brick, stone, concrete, architectural metals, stucco/plaster, and wood trim. Historically, these are among the most widely-used, identifiable, and longest-lasting materials within Conway's Urban Zone, and therefore the most desirable for all projects. All materials shall be highly durable, attractive, and easily maintained, especially at street level where pedestrians come in contact with the building. Prohibited materials shall include wood siding, pressed wood siding, composite siding, vinyl siding, and all forms of sheet metal sheathing. Exterior insulated finishing systems (EIFS) are discouraged. (EIFS) shall only be applied in upper story areas or other areas not susceptible to impact damage. These materials are not contextual to Old Conway and are generally perceived to be less permanent in nature, therefore they are not appropriate for use within the Urban Zone. The structure will have a brick front façade. The alley side of the structure is shown with a stucco material. Confirmation of alley side material is needed.

Building Entries. Main pedestrian entries shall be located on the street to generate pedestrian traffic on the sidewalk. Building entries shall be emphasized with architectural features, changes in the façade plane, different massing, or unique materials and finishes.

The primary pedestrian entry to each building shall be along the street frontage. For buildings that front on two streets, entries shall be located along each frontage or at the corner if the building is at an intersection.

Any use confined to a building's upper floors (such as with a mixed-use structure) shall be provided at least one entry located along street frontage to further promote street life. These should be designed as separate entries and distinguished from ground-level uses with architectural details, materials, colors, lighting, signage, and/or paving, so that it is clear which entries are public and which are private. The structure plans show appropriate recessed entries for the restaurant and lofts on the Front Street façade.

Overhead Cover. Where desired or required, overhead cover shall be a minimum of eight feet above the sidewalk grade. No cover shall project beyond the curb line of the street. Overhead cover which requires structural support to rest within the right-of-way (i.e. arcades, colonnades, balconies, etc.) shall require

approval of encroachment by the Conway City Council. Public trees located within the right-of-way take precedence to all overhead cover designs and shall be provided all necessary growing room. An awning meeting the above guidelines is proposed.

Exterior Building & Accent Lighting. The use of moving, blinking, or strobe lights is prohibited. No lighting is shown other than signage.

Sidewalks. Sidewalks shall be provided along all street frontages and located within the public right-of-way. Sidewalks shall extend from the structure's façade outward to the existing curb line of the street. Where public sidewalk improvements are necessary, they shall be paved with terrazzo, concrete pavers, concrete, stone, brick, tile, or another high quality hardscape material. Asphalt and loose paving are not permitted. The sidewalk is existing and was renovated within the last few years.

Mechanical Screening. HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. No HVAC equipment is shown on the submitted plans. It is assumed that mechanical equipment will be roof mounted.

RECOMMENDATIONS (DECEMBER 2015)

The proposed downtown commercial should blend appropriately with other surrounding structures.

1. The structure shall be constructed as shown in submitted plans.
2. Alley way façade wall material shall be...
3. Sanitation service area and appropriate screening shall be determined as part of the Planning Department development review.

ADDITIONAL COMMENTS (MARCH 2016)

All comments from December are basically unchanged. The new proposal does not change the overall form of the structure. The facade has been changed to reflect a more "simple" modern style. The December proposal showed a new structure that closely resembled the existing Dryer building. The new request adds balconies that serve an upstairs dining room and 4 apartments.

RECOMMENDATIONS (MARCH 2016)

The structure shall be constructed as shown in submitted March 2016 plans.

1. Front facade (west), alleyway facade (north), and south wall material shall be brick.
2. Sanitation service area and appropriate screening shall be determined as part of the Planning Department Development Review.
3. City Engineer shall determine proper drainage solution as part of Planning Staff Development Review.

