



DECEMBER

Monday, December 21, 2015 • 6:00 pm
City Hall • Downstairs Conference Room
1201 Oak Street • Conway, AR

**CONWAY
HISTORIC DISTRICT COMMISSION
MEETING**

DECEMBER 21, 2015 • 6:00PM • CITY HALL • 1201 OAK STREET

AGENDA

Minutes

November 23, 2015

Public Hearings

Certificate of Appropriateness Reviews

1. Old Conway Design Overlay District

Old Business

A. McAnear Request for Residence Remodel Approval - 320 Mitchell Street

New Business

B. Weaver Request for New Construction Residence Approval - 1937 Weems Street

C. John Daly's Steakhouse + Luxury Lofts Request for New Construction Approval -
910 & 912 Front Street

D. - PrimeCare Request for Commercial Building Remodel Approval - 812 W Oak Street

Discussion

2016 HDC Meeting Schedule

HISTORIC DISTRICT COMMISSION MEMBERS

Steve Hurd, Chairman
Velton Daves, Vice Chairman
Scott Zielstra, Secretary
George Covington, Sr.
Trey Massingill

Betty Pickett
Marianne Welch
Aaron Nicholson
Taylor Martin

This page intentionally left blank

**Conway Historic District
Commission November 23, 2015**

Meeting Minutes
City Hall - Downstairs Conference Room, 6:00 p.m.

Roll Call
Steve Hurd, Chairman - present
Velton Daves, Vice-Chairman -present
Scott Zielstra, Secretary - present
George Covington, Sr. - present
Trey Massingill - present
Marianne Welch - present
Betty Pickett - absent
Aaron Nicholson - present
Taylor Martin - present
HDC City Staff, Bryan Patrick - absent

Finding of a Quorum
8 Commission members - Quorum present. Also in attendance:

Mr. Brian Wilhite - on behalf of Calvary Church
Mr. Tom Kitts
Mr. Tim O'Brien
Ms. Marilyn Larson
Mr. Larry Graddy – 1823 Scott Street
Ms. Laura McNear – 320 Mitchell St.
Ms. Robin Wallet
Ms. Ann Ferris and Mr. Ken Ferris
Mr. Lance Howell

Meeting Minutes
September 28, 2015 minutes. George Covington motioned for approval, seconded by Taylor Martin. Minutes approved unanimously.

PUBLIC HEARING - CERTIFICATE OF APPROPRIATENESS

Calvary Church New Signage – 1832 Robinson Avenue Remodel
Presentation: The new signage was a big deal when it went up. The new signs do not have “Baptist” on them. The Church would like to add “a fellowship of Baptist believers” to the sign(s) so the community knows who they are. The second monument sign will be like the existing monument sign and will have no lighting.

Commission Discussion: The monument sign requires a sign permit. The window sign does not require a sign permit. However, the HDC must approve any signage viewable from the public right of way. There is no lighting planned for the small monument sign.

Community discussion: Will there lighting on the window sign? The answer; “no”, if there is no lighting now, then no new lighting will be placed on the sign. No new lighting has been proposed. The window sign will be vinyl lettering and not etching.

Motion made by Velton Daves to accept the signs as submitted with the addition of one condition.

Committee Conditions:
Signage shall be constructed/created as submitted to the commission.

Seconded by George Covington. Motioned approved unanimously.

Cason & Graddy New Outbuilding – 1823 Scott Street
Presentation: The 1927 house has been remodeled on the inside. The siding hasn’t been determined yet but it will be wood siding to match the existing. The look of the outbuilding will be similar to the house. A privacy fence surrounding the back of the lot is planned.

Commission Discussion: Half of the building shall be seen from the street so it would be proper to have the building made of the same materials as the house and maintain the same “look and feel” of the house. Sidewalk is broken. The applicant may desire to pave the area between the existing sidewalk and the street. The HDC expressed concern that the plans were still evolving and building plans subject to change. However, HDC approved based on guidelines used within the district to maintain the character of the property.

Community discussion: None

Motion made by Marianne Welch to accept the plan as submitted with the addition of one condition.

- Committee Conditions:
1. The outbuilding shall be constructed as shown in the submitted floor plans but may use a single garage door instead of two if desired.
 2. Driveway shall be concrete and may be a ‘ribbon’ driveway.
 3. The outbuilding rear and side setbacks shall be approximately 6 feet
 4. Trim around doors shall be wide to match the existing residence.
 5. The outbuilding shall be allowed with a 720 square feet maximum footprint.
 6. Siding materials to be chosen should be compatible with existing home and neighborhood pending final approval from planning department.

Seconded by George Covington. Motioned approved unanimously.

McAnear Residence Remodel – 320 Mitchell St.
Presentation: The house is small in and the desire is to renovate and add square footage. Two different front facade options were presented to the commission. The desire is to add a porch to the front of the house. Both options would change the character of the house to some extent. The proposal is to add on square footage that would bring the existing 744 square feet up to around 1000 square feet. The proposal would add a brick veneer on the bottom of the

house similar to renovations done at 1833 Johnston. A carport might be desired on the side of the house instead of an outbuilding at the back of the house. A privacy fence is proposed around the back yard.

Commission Discussion: The porch was a source of significant discussion as the addition of a porch would change the character of the house. The decorative eaves on the front gable should be preserved as it is a defining detail of the house. The commission wasn't sure about the brick veneer at the bottom of the house. Bricks would significantly change the structure since they were not there previously.

Community discussion: Neighbor spoke for letting the owner have a porch because he would like to have one in the future as well. Additional neighbors were also in support of the front porch on the proposed renovation. In the past, there was a carport on the side of the house but it was removed several years ago.

Motion made by Marianne Welch to table this request until the next meeting to allow more time to work out details for the carport, veneer, and privacy fencing.

Seconded by Velton Daves. Motioned approved unanimously.

DISCUSSION – 2016 HDC MEMBER NOMINATION AND SELECTION

In the past, the HDC started with 5 members. This was expanded to 12 members when the HDC and Old Conway Boards merged.

There was discussion of moving the board from its current 9 members down to 7 members to reduce the size of the board. The quorum for a 7 member board would be 4 members in attendance for the meeting.

Motion made by Mr. Trey Massingill to reduce the board size from 9 members to 7 members starting in calendar year 2016.

Seconded by Taylor Martin. Motioned approved unanimously

December Meeting

The December 28 meeting date is causing holiday conflicts. There could be a lack of quorum. Motion made by Marianne Welch to move the December meeting to the regularly scheduled January meeting on January 25th. Seconded by Trey Massingill. Motioned approved unanimously. More discussion ensued and a second vote taken and approved to allow HDC Staff to work with Ms. McAnear and the HDC to select the most appropriate date for the December meeting.

Adjourn

The meeting was adjourned by consensus.

1A MCANEAR RESIDENCE REMODEL - 320 MITCHELL STREET

OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

APPLICANT/OWNER

Laura McAnear
2 Broadmoor Drive
Conway AR 72034

SITE

Address. 320 Mitchell Street

Present Zoning. R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

Abutting Zoning. R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

Lot Area. 0.17 acre ±

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the east side of Mitchell Street 3 lots north of Bruce. It is surrounded by single family residential structures representing various styles and construction dates. These styles include ranch, minimal traditional, craftsman, and local vernacular.

General Description of Property and Proposed Development.

The existing structure is an approximately 750 square foot residence. The applicant would like to reconstruct the front façade and add a 6 foot deep porch, add on a 12' x 24' (288 s.f.) addition to the rear (east), add a deck, privacy fence, 13' wide driveway, and construct a detached 24' x 28' carport (672 s.f.).

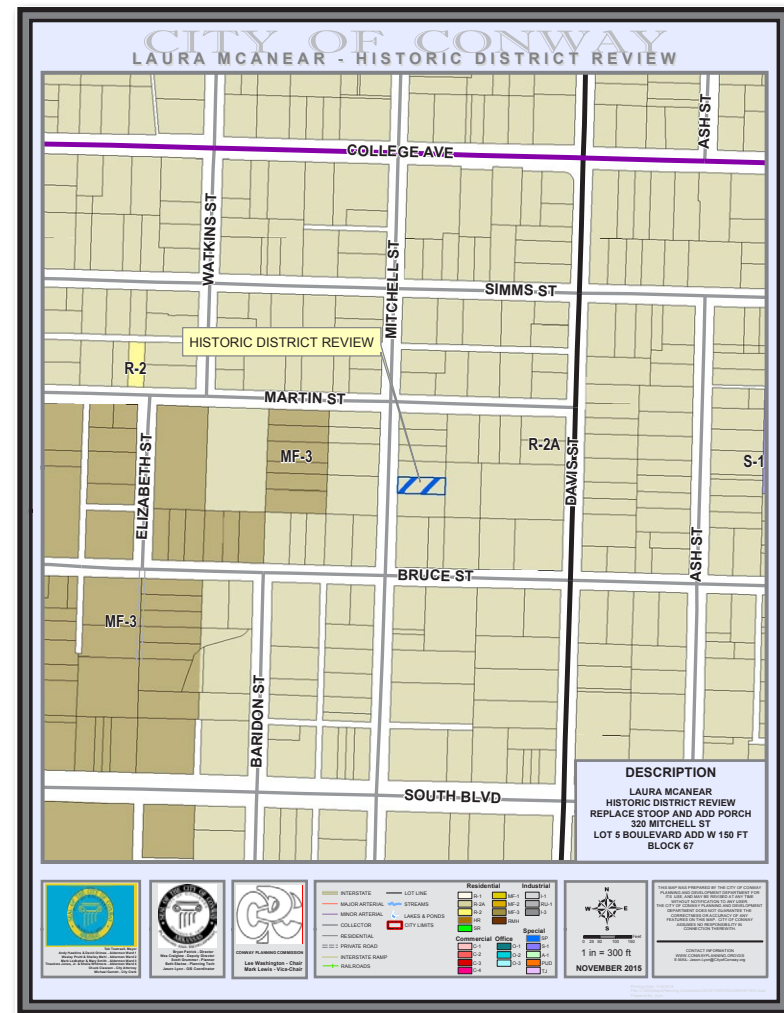
Setbacks. Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. For this area, the acceptable range measured from the property line is 11 to 15 feet. The proposed front setback of 16.5 feet is appropriate. Side setbacks will not be affected. The outbuilding has a rear setback of 15.5 feet and 5 feet on the east lot line.

Spacing. Established spacing distance pattern between area structures. The proposed spacing is appropriate and in keeping with other area structures.

Lot Coverage. The Old Conway District allows up to 60% impermeable lot coverage. The proposed impervious area is approximately 50%. This is appropriate.

Orientation. The direction in which the front of a building faces. The residence will appropriately face Mitchell Street.

Alley. There are no alleyways in the affected block.



Driveway/Parking. A 13 foot wide driveway is proposed on the south side of the lot. It is assumed that the driveway will be concrete. The concrete leads to a carport at the rear of the lot.

Sidewalks. There is no existing sidewalk along Mitchell Street. Sidewalk construction will be required.

Fences. A wooden privacy fence is proposed around the back yard.

Tree preservation. There are 2 significant trees; one at the center rear of the lot and one towards the rear on the south property line. The driveway and carport seem to be spaced far enough away from these trees to not impair them.

MASSING

Scale. The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The size of the additions and outbuilding is in scale with other area residences and outbuildings.

Height. The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines will not change.

Width. New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence's width will not change as proposed additions will be at the front and rear of the residence.

Directional expression. Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence will not change.

Footprint. The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's footprint will grow slightly but remains compatible with other area structures. The outbuilding is 672 s.f. Old Conway guidelines state that an outbuilding should be no larger than 30% of the residence's footprint. Currently, the residence is 750 s.f. The proposed additions would bring the footprint up to 1250 s.f. Considering the residence's footprint to lot area, it would seem appropriate to allow the 672 s.f. carport as it allows 2 cars. A strict interpretation of the 30% rule would only allow a single car carport.

Complexity of form. The level of detailing and breaks in wall planes of a structure. The residence has minimal detailing accomplished with wide window and door trim. The residence's wall planes are broken by a gabled front façade with a small gabled portico. There are also gables on the sides. The proposed rear addition would not affect the complexity of form. The applicant has proposed two possible front façades. Elevation A would change the current front to a new, more flat appearance by creating a new wide gable. Elevation B also pushes the double window wall forward, but adds a low angled roof to cover the porch area.

Façade, wall area, rhythm. Façades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence has an appropriate number of windows and doors.

DESIGN ELEMENTS

Style. The style should compliment the existing and area structures. The residence is a small minimal traditional bungalow/cottage with craftsman detailing.

Entries, Porches, and Porticos. Appropriate entry points are provided. Porches are to be a minimum of 6 feet in depth. The front porch shown is small, but 6 feet in depth. Columns width should have a solid appearance.

Doors and windows. The front door is shown as a solid panel door. Rear doors are shown as full glass patio doors and a 1/2 light door. Windows are shown with 3 lights over one in a craftsman style. The original craftsman style windows seem to be intact. These should remain if possible. Smaller matching privacy windows are shown on the right elevation for bathrooms.

Awnings. When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are shown.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks. Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The existing residence has minimal details accomplished through wide door and window trim and decorative "pork chop" eave returns. These details should be retained. The original wood siding appears to be in place. The applicant would like to add a brick band around the lower bout of the house and replace the wooden siding with a vinyl or similar wood shake siding above. The applicant has included a photo of 1833 Johnston with a similar façade treatment.

Shutters. No shutters are shown on the supplied drawings.

Roof. The residence has asphalt shingles. New roofing should be a matching asphalt roof or similar.

Decks/Plaza Space. A deck is shown on the east side of the new addition. The deck is appropriately screened and cannot be seen from the public right of way.

Skylights. None are shown.

Mechanical Screening. HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

OPTION A

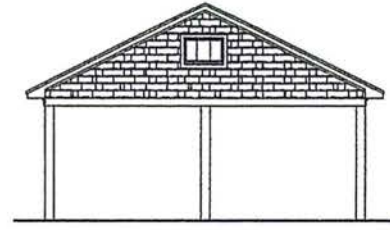


FRONT ELEVATION A

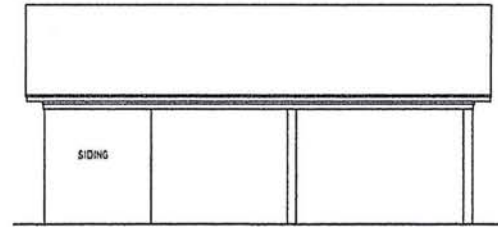
OPTION B



FRONT ELEVATION B



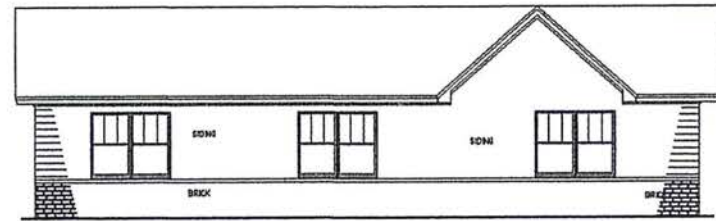
CARPORT



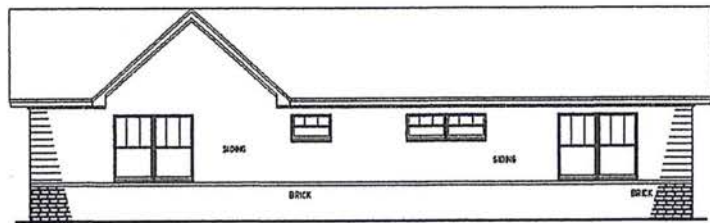
CARPORT SIDE



REAR ELEVATION

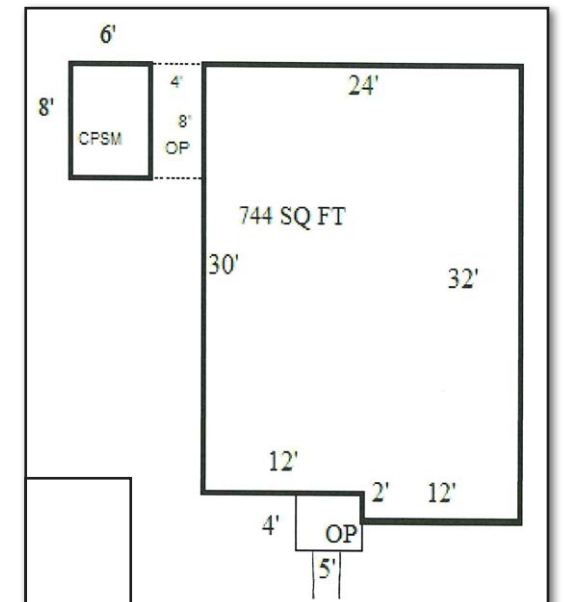


LEFT ELEVATION



RIGHT ELEVATION

Proposed design options



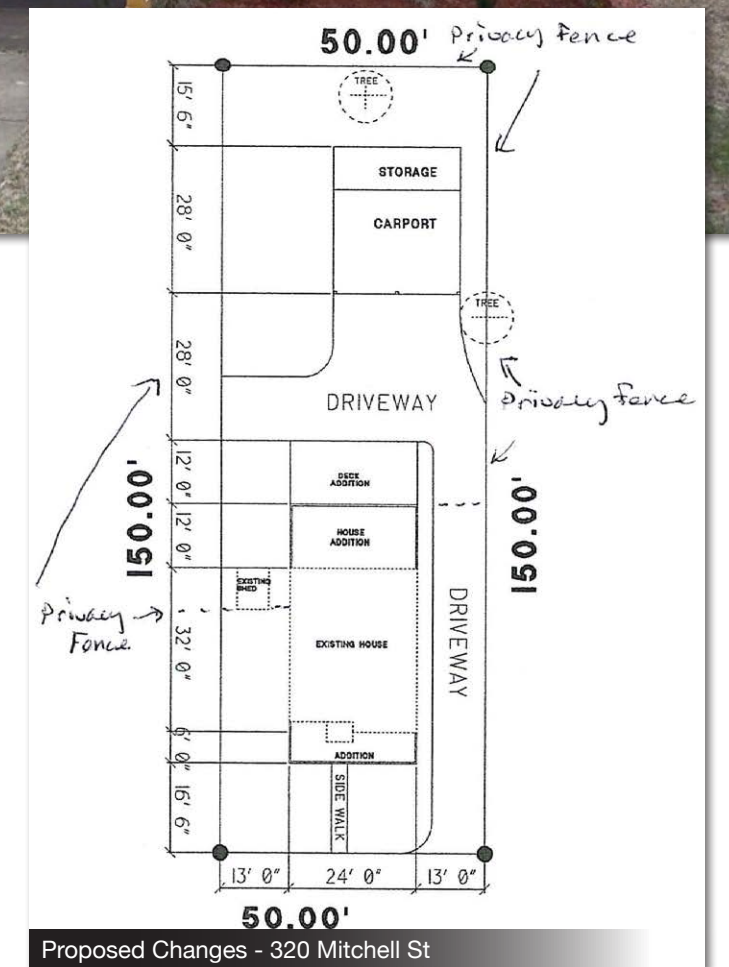
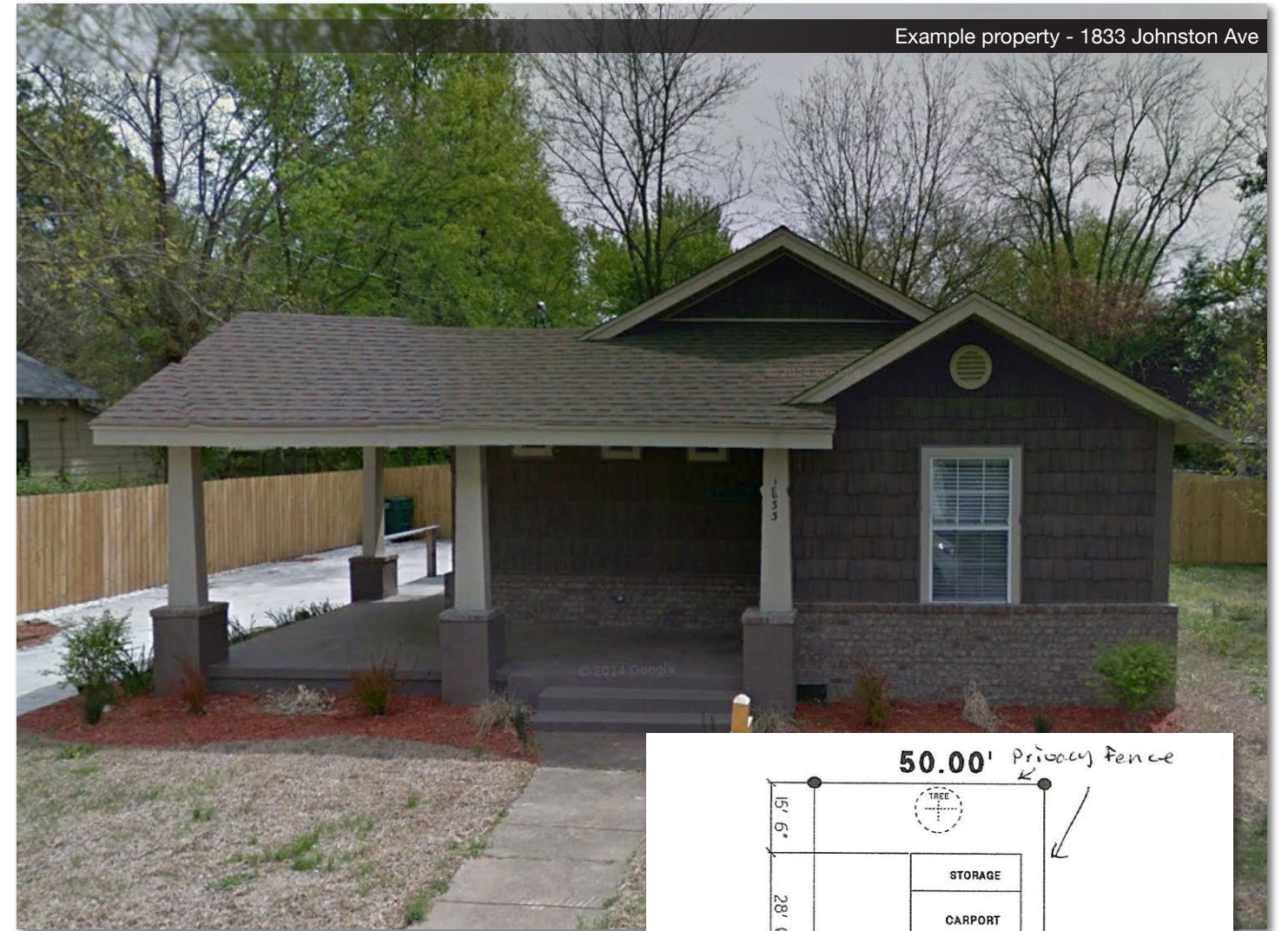
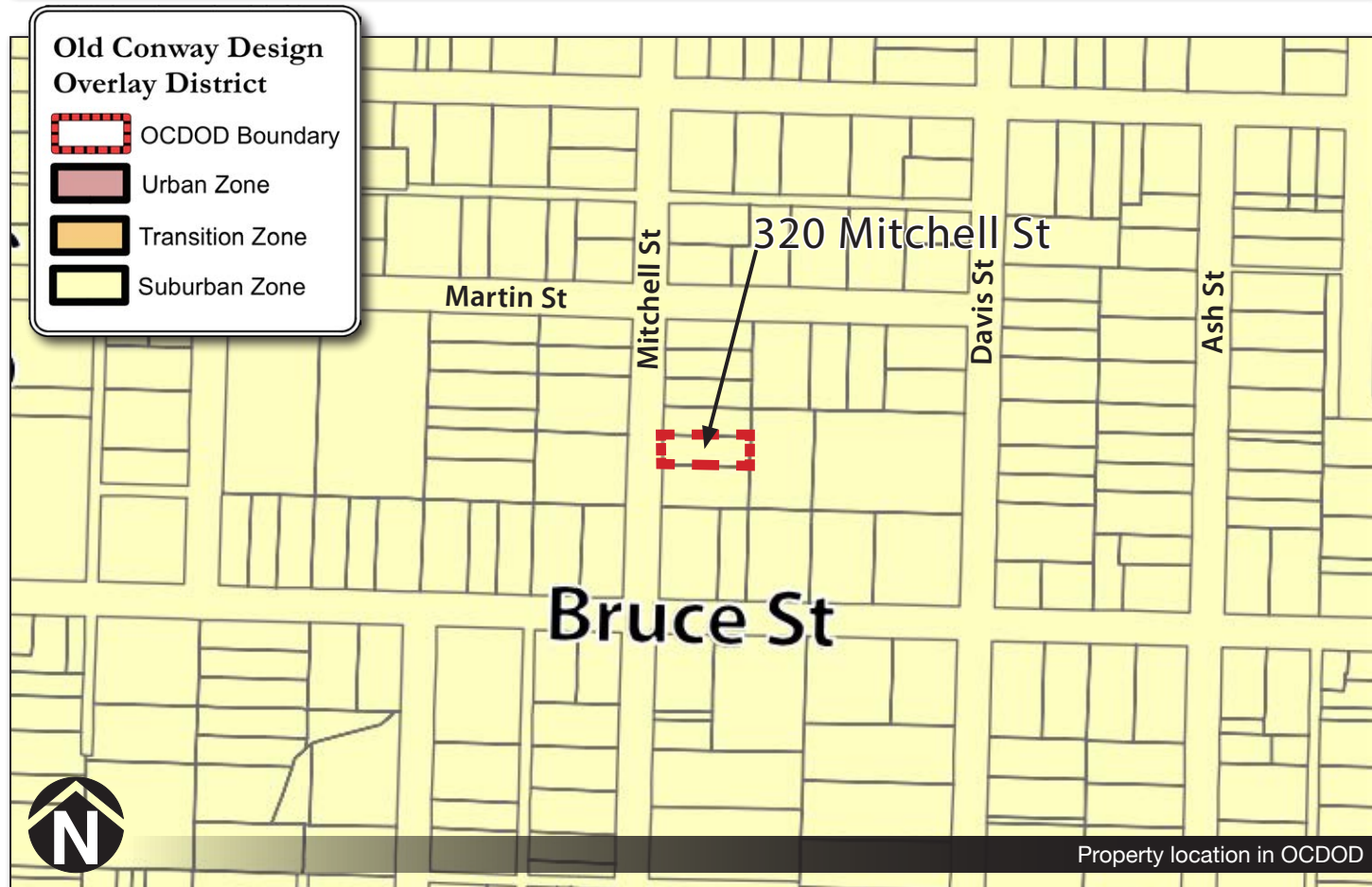
RECOMMENDATIONS

The proposed residence and outbuilding should blend appropriately with surrounding residences.

1. The residence shall be constructed as shown in submitted plans. Or modified as prescribed by the HDC.
2. Driveway shall be concrete.
3. The residence's front setback shall be approximately 16 feet from the front property line. Outbuilding setbacks shall be approximately five (5) feet from the south property line and fifteen (*15) feet from the east property line.
4. Original windows should be preserved and reused as much as possible. External or internal storm windows are allowed.
5. Porch columns shall be a trimmed out to approximately eight (8) inches by eight (8) inches.
6. The two significant trees as shown shall be preserved.
7. Siding materials as used at 1833 Johnston shall be used.
8. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
9. A four (4) foot sidewalk shall be constructed along Mitchell Street.

Existing Structures - 320 Mitchell St

1A MCANEAR RESIDENCE REMODEL - 320 MITCHELL STREET



2A WEAVER NEW RESIDENCE - 1937 WEEMS STREET

**OLD CONWAY DESIGN OVERLAY DISTRICT
CERTIFICATE OF APPROPRIATENESS REVIEW**

APPLICANT/OWNER

Reed Weaver
1335 Salem Road
Conway AR 72034

SITE

Address. 1937 Weems Street

Present Zoning. R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

Abutting Zoning. R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

Lot Area. .15 acre ±

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the south side of Weems Street 1 lot east of Watkins. It is surrounded by single family residential structures with mostly minimal traditional and ranch styling.

General Description of Property and Proposed Development. The applicant is proposing to construct an approximately 1900 s.f. (under roof) single family residence.

Setbacks. Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. For this area, the acceptable range measured from the back of curb is 23 to 43 feet. The proposed front setback of 25 feet from the back of curb is appropriate. Side setbacks are shown appropriately at 6 feet. The rear setback is a generous 50 feet.

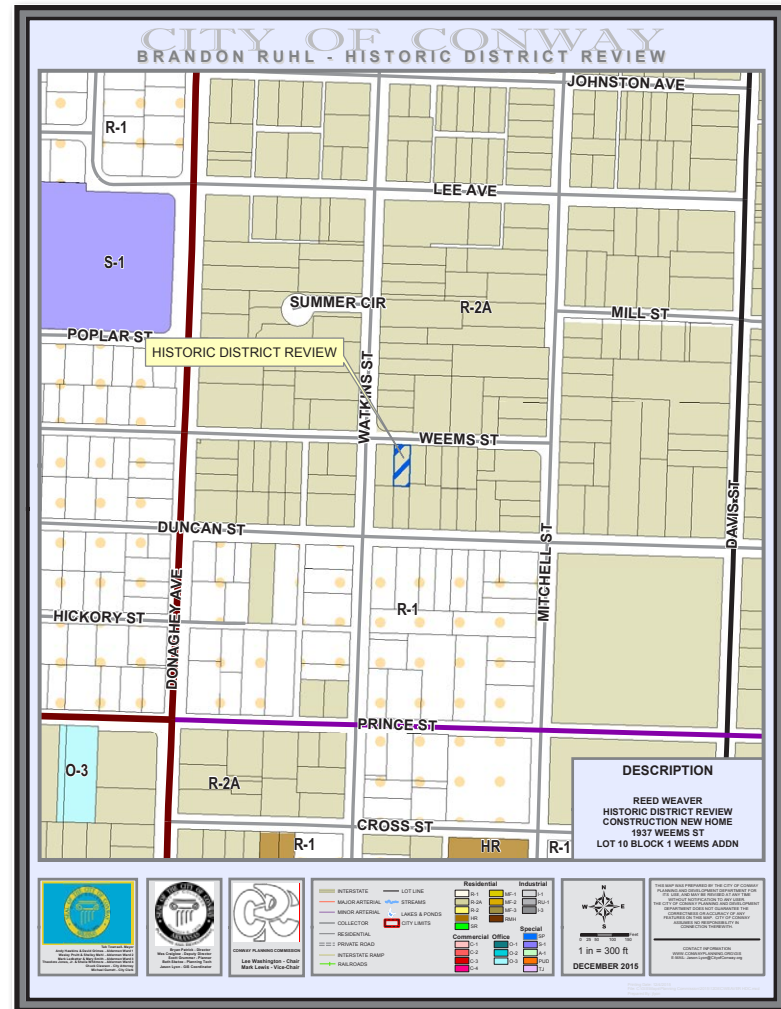
Spacing. Established spacing distance pattern between area structures. The proposed spacing is appropriate and in keeping with other area structures.

Lot Coverage. The Old Conway District allows up to 60% impermeable lot coverage. The proposed impervious area is well over this percentage and is appropriate.

Orientation. The direction in which the front of a building faces. The residence will appropriately face Weems Street.

Alley. There are no alleyways in the affected block.

Driveway/Parking. A 10 foot wide driveway is proposed. It is assumed that the driveway will be concrete. The driveway leads to a carport on the west side of the lot.



Sidewalks. There is no existing sidewalk along the Weems Street frontage. Sidewalk construction will be required. Sidewalk construction will be required.

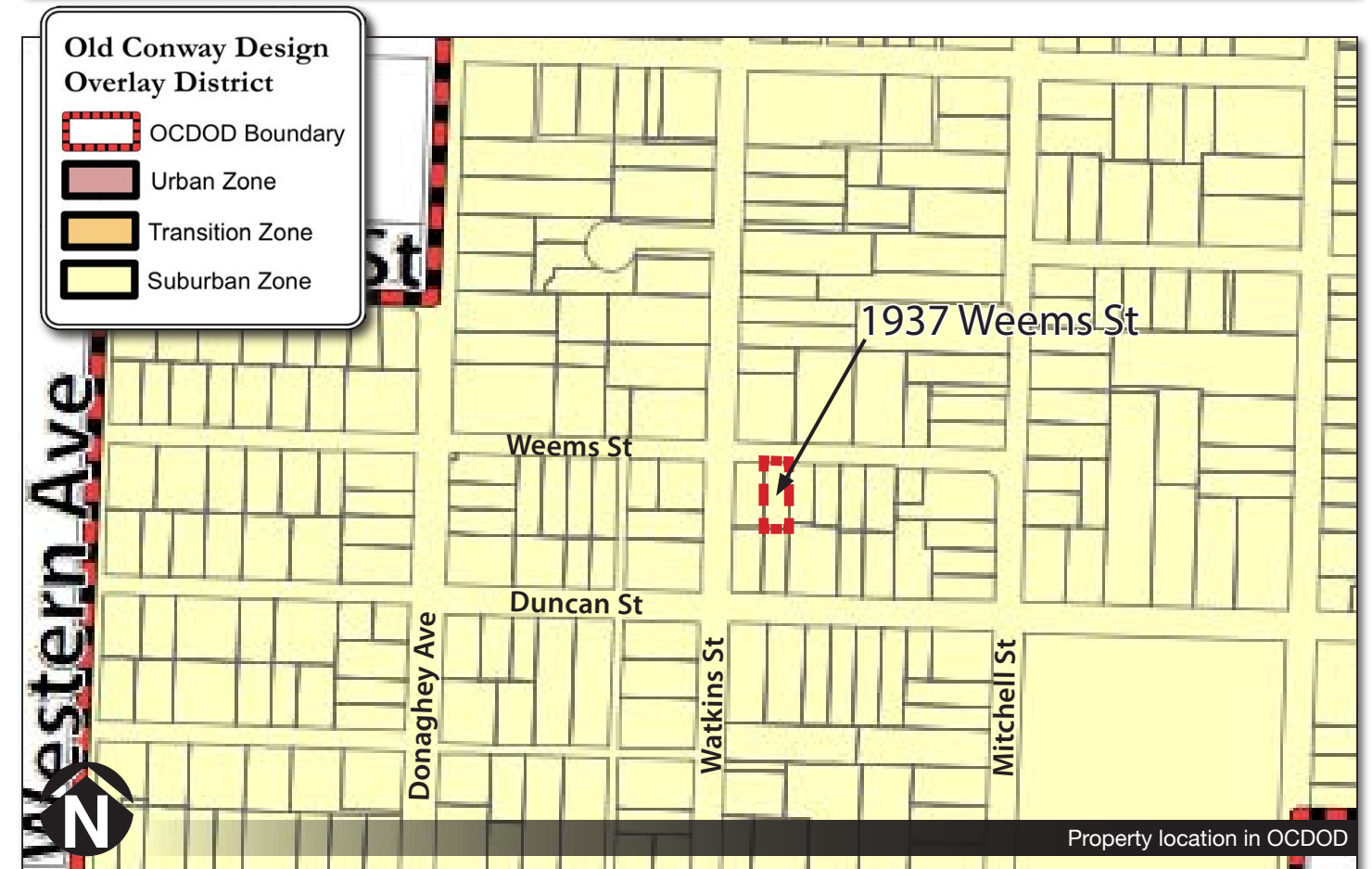
Fences. No fencing is shown in the supplied drawings. There is an existing chain link fence that should be removed.

Tree preservation. There are 2 significant trees; a 24" pecan centered in the front of the lot and an 18" oak towards the rear east property line. With diligent tree preservation methods, these trees seem to be spaced far enough away from new construction to not impair them.

MASSING

Scale. The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The size of the new residence is in scale with other area residences.

Height. The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines are appropriate. The first floor height should be minimally 9 feet floor to ceiling.



Width. New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence's width is appropriate.

Directional expression. Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence is appropriate.

Footprint. The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's footprint is appropriately scaled in relation to other area structures.

Complexity of form. The level of detailing and breaks in wall planes of a structure. The residence has appropriate detailing accomplished with wide window and door trim. The residence's wall planes are broken by a gabled front façade and a small porch. Gables are also used on the sides. The floor plan shows a carport with rear storage areas. The perspective view does not show the carport. A staff created sketch shows the roof line and carport side elevation.

Façade, wall area, rhythm. Façades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence has an appropriate number of windows and doors.

DESIGN ELEMENTS

Style. The style should compliment the existing and area structures. The residence is a modern interpretation of a minimal traditional bungalow/cottage with craftsman detailing.

Entries, Porches, and Porticos. Appropriate entry points are provided. Porches are to be a minimum of 6 feet in depth. The front porch shown is small, but 6 feet in depth. Porch column width has a solid appearance. The column width should also be used on carport columns.

Doors and windows. The doors and windows shown have muntin dividers creating two over two windows. Simple one over one windows would be more appropriate than windows with false dividers.

Awnings. When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are shown.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

MATERIALS AND DETAILING

Architectural Details, Siding, and Bricks. Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence has detailing provided through wide door and window trim and open rafter tails over the front porch. These features add traditional detailing. The applicant has not provided the type of siding material. Fiber cement siding is preferred.

Shutters. No shutters are shown on the supplied drawings.

Roof. An asphalt roof is shown.

Decks/Plaza Space. No deck is proposed.

Skylights. None are shown.

Mechanical Screening. HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

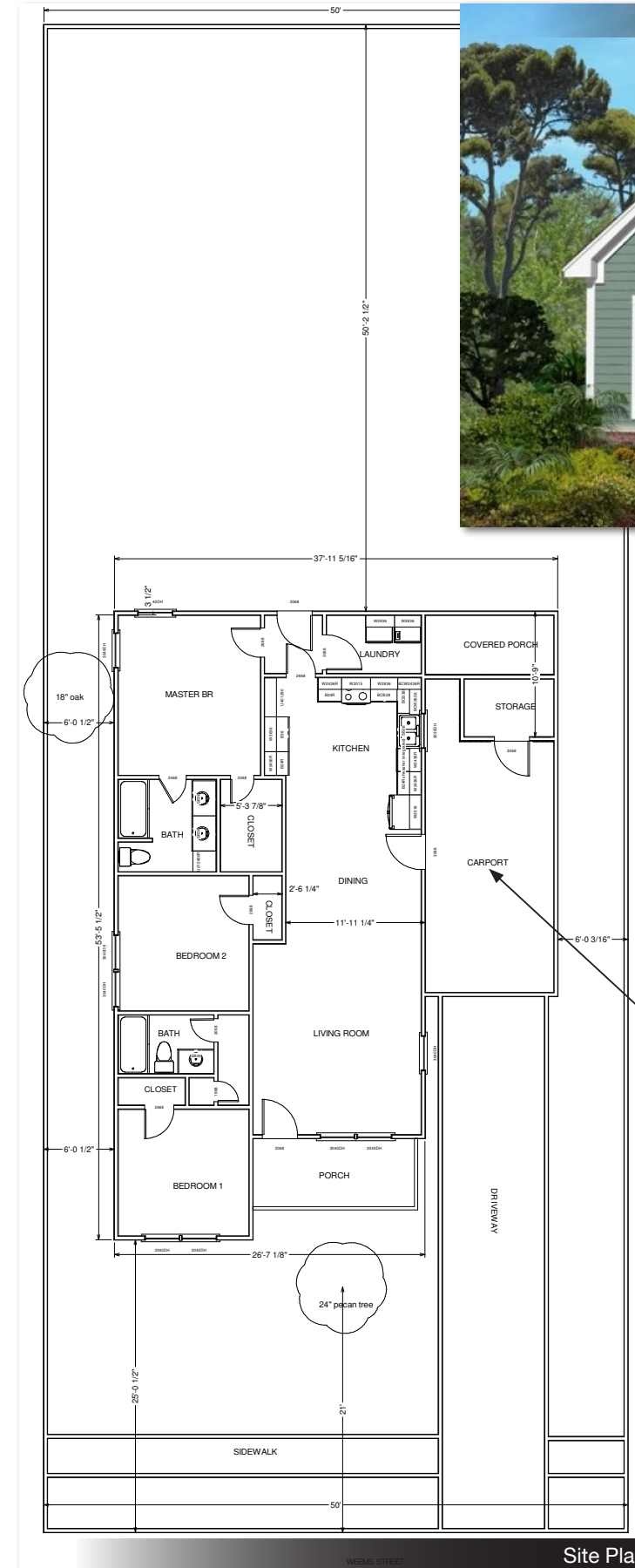
RECOMMENDATIONS

The proposed residence should blend appropriately with surrounding residences.

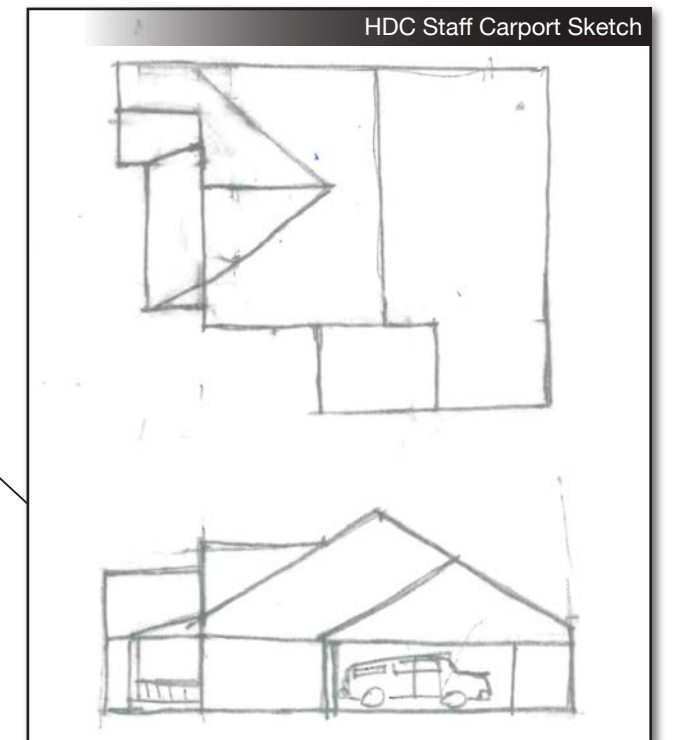
1. The residence shall be constructed as shown in submitted plans.
2. Driveway shall be concrete.
3. The residence's front setback shall be approximately 25 feet from the back of curb.
4. Porch columns including carport columns shall be a trimmed out to approximately 8 inches by 8 inches.
5. Floor to ceiling height shall be 9 foot minimum.
6. The two significant trees as shown shall be preserved.
7. Siding material?
8. A 10 foot concrete driveway shall be constructed as shown. A "ribbon" drive may also be used.
9. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
10. A 4 foot sidewalk shall be constructed along Weems Street.



Proposed Design



Site Plan



HDC Staff Carport Sketch

3B DALY'S STEAKHOUSE + LOFTS - 910 & 912 FRONT STREET

OLD CONWAY DESIGN OVERLY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

APPLICANT
Brandon Ruhl, Architect
Taggart Architects
4500 Burrow Drive
North Little Rock AR 72116

OWNER
Sam McFadin
McFadin Global, Inc.
535 Enterprise Avenue
Conway, AR 72034

SITE
Address. 910 & 912 Front Street

Present Zoning. C-1 (Central Business District). The property is within the Old Conway Design Overlay Urban District.

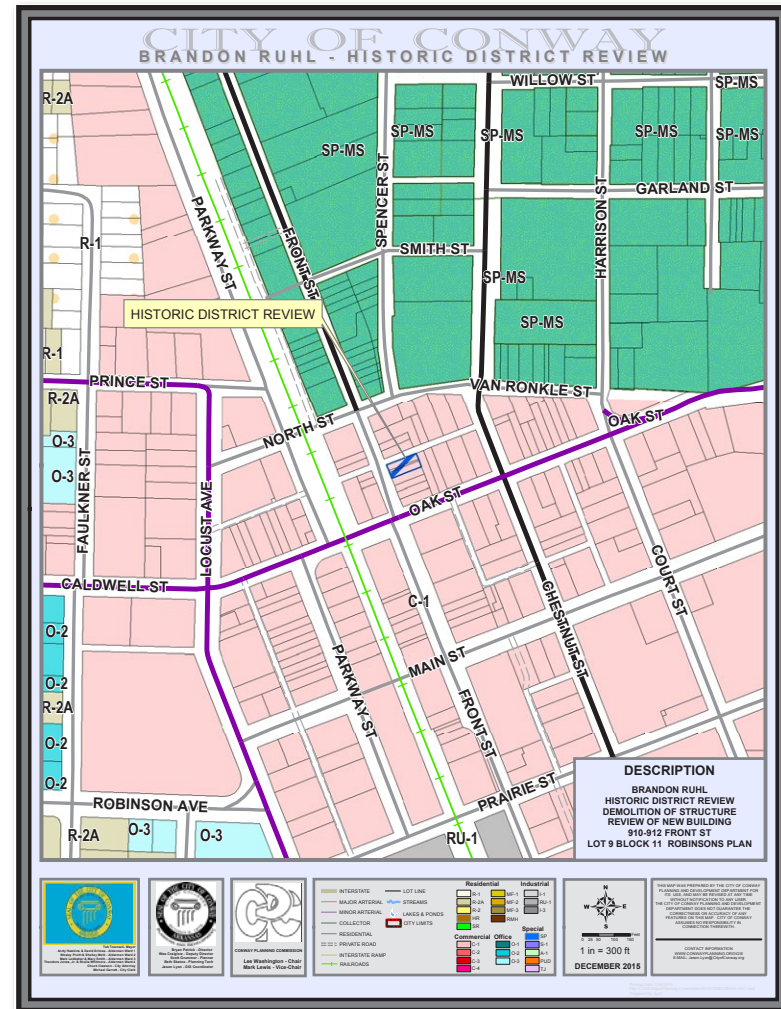
Abutting Zoning. C-1 (Central Business District) in the Old Conway Design Overlay Urban District.

Lot Area. 0.11 acre ±

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Urban District on the east side of Front Street on the south side of Bates Furniture and north side of Crossman Printing.

General Description of Property. The property has two commercial buildings; the “Dryer Shoe Building” and the “Downtown Pentecostal Church”. The buildings were constructed around 1880? as Cole’s Grocery (Dryer building) and Hinton’s Store (former church). The Dryer building has major structural problems and is leaning at the northwest corner at least 18 inches out of plumb from the parapet to the ground. The church building’s framing is dependent on the Dryer building as its roof joists are set into brick pockets on the Crossman building and the Dryer building. As the Dryer building leans north and out, the joists are being pulled from the supporting wall. The north wall of the Dryer building is also buckling and bulging northward into the alleyway.

The current and previous owners hired engineers to explore the possibility of reinforcing and straightening the structures. The cost estimates on reinforcing methods is not economical. Therefore, the owner would like to demolish the buildings and construct a new similar structure in its place. The buildings are in the Old Conway Design Overlay, so HDC approval is not necessary for demolition. However, the HDC must approve the new structure’s design. The new building will house a restaurant on the ground floor and 5 loft apartments on the second floor.



The property is in the Old Conway urban district and is subject to the Old Conway overlay urban design standards.

URBAN DESIGN STANDARDS

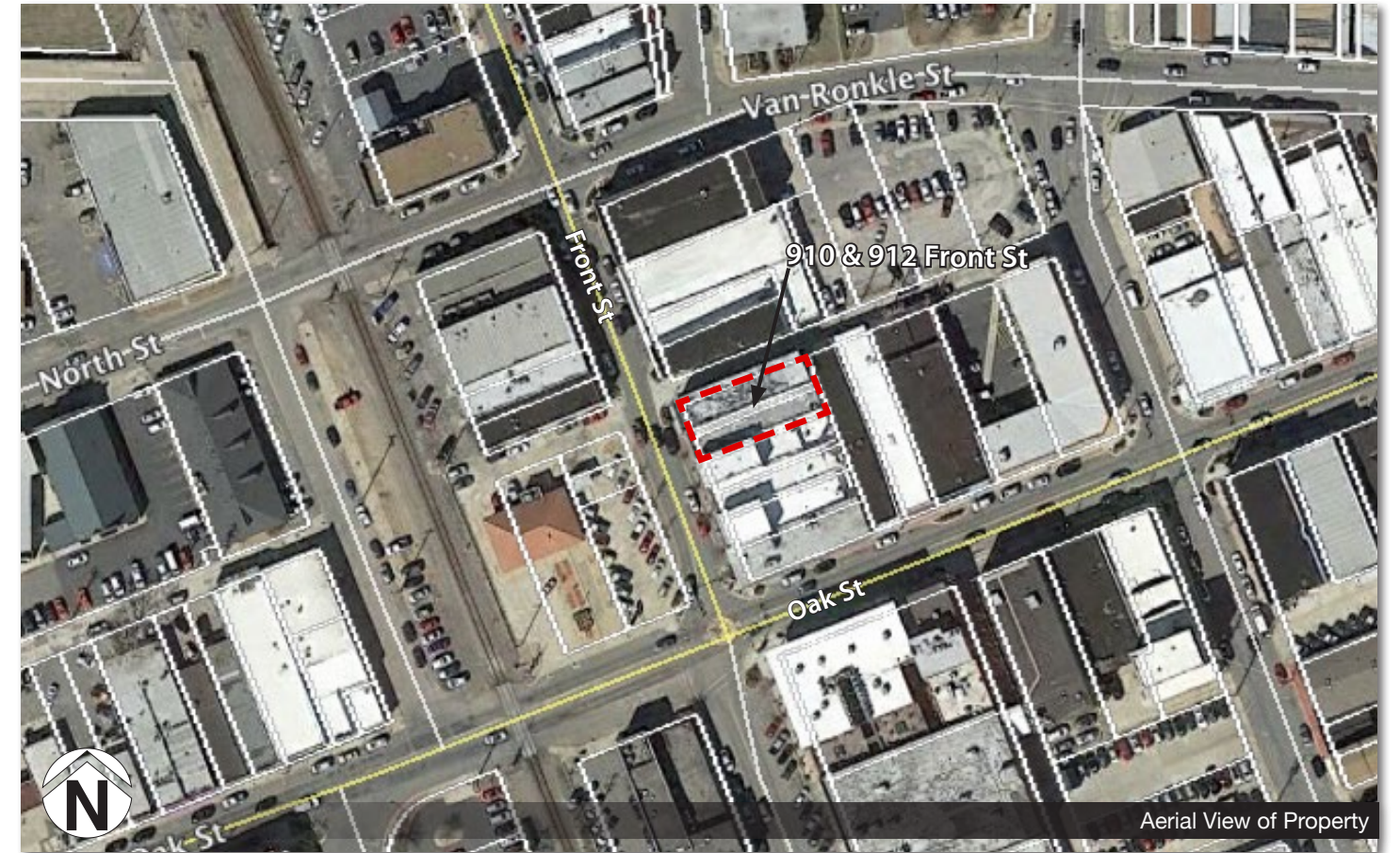
Setbacks. Urban design standards require that 80% of the building’s façade be within 3 feet of the property line. The new structure will be built 100% on the property line.

Spacing. Established spacing distance pattern between area structures. The proposed spacing is in keeping with other downtown commercial structures.

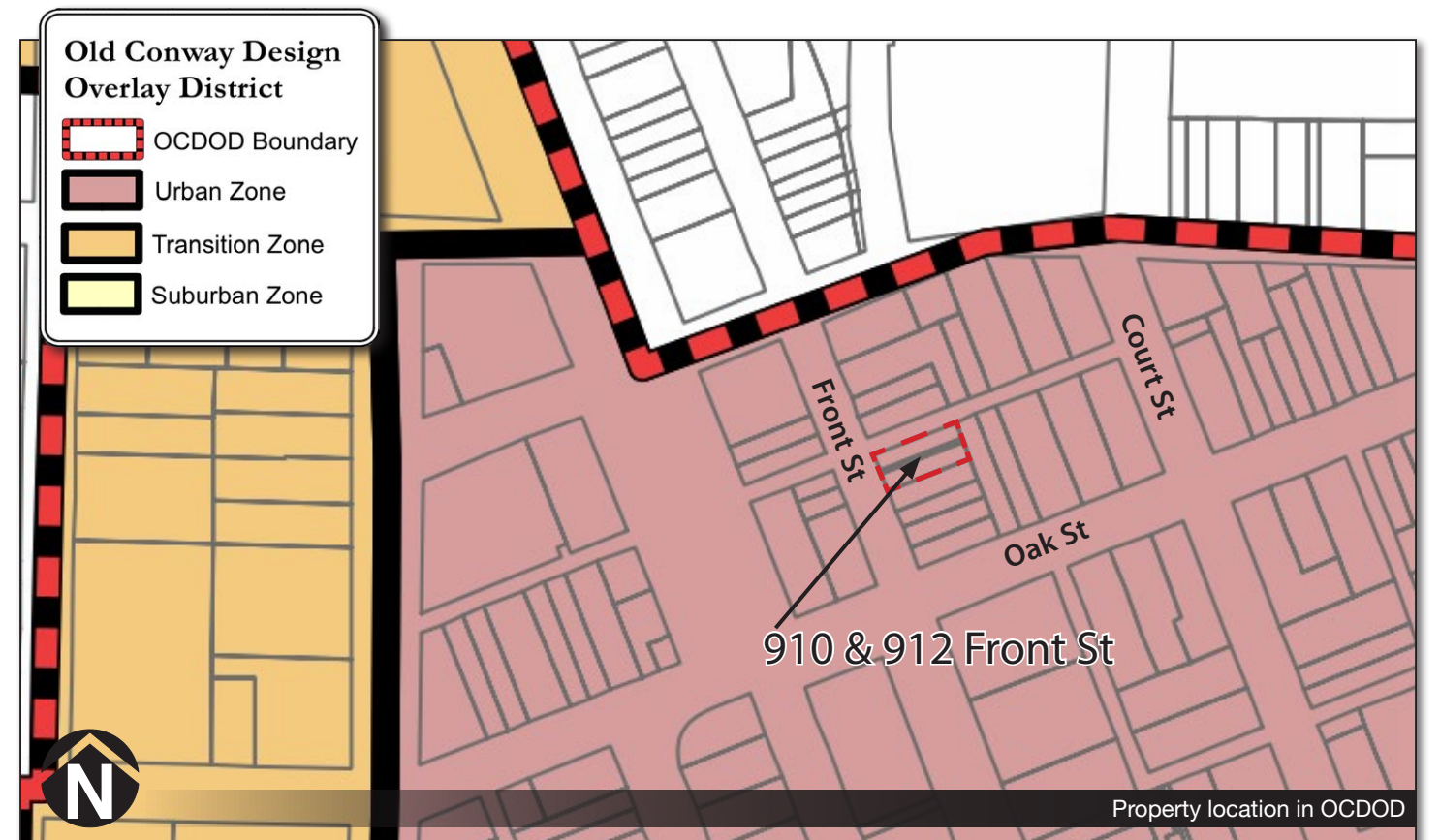
Orientation. The direction in which the front of a building faces. The structure will appropriately face Front Street.

Alley. There is an alleyway on the north side of the property. Alley will be unaffected by the new structure.

Landscaping and Paving. Outdoor ground plane abutting the public right of way shall be paved with concrete or other high quality material. The sidewalk along Front Street was renovated with the typical downtown Conway sidewalk streetscape several years ago. No changes are needed or proposed.



Aerial View of Property



Property location in OCDOD

3B DALY'S STEAKHOUSE + LOFTS - 910 & 912 FRONT STREET

Fences. Fences must be constructed of metal, brick, or stone. No fencing is proposed.

MASSING

Scale. The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The size of the new structure is in scale with other neighboring structures.

Building Height. Building façades must be 2 story minimum. Ground floor height must be 15 feet minimum floor to ceiling. Both of these requirements are met.

Lot Coverage. The Old Conway Urban District allows up to 100% impermeable lot coverage. The proposed impervious area is well below this percentage.

Vehicular Access Points. Curb cuts shall be no greater than 20 feet in the urban zone. No curb cuts are proposed.

Off Street Parking. Except in the most critical of circumstances, locating surface parking lots at block corners shall not be permitted. Where a parking lot must abut a public sidewalk, a visual buffer shall be provided through the use of a wall or fencing along the sidewalk edge. No parking is proposed.

Loading Docks. All loading docks shall be screened from pedestrian view. A combination of doors, gates, walls, fencing, and/or landscaping shall be used to shield the loading dock from view. No loading dock is proposed. Alley will be used for deliveries.

Dumpsters. Trash dumpsters shall be further screened by use of a gate and structure which complements the design of the primary building through the use of similar materials, colors, finishes, and architectural details. Dumpster enclosures shall be constructed of masonry materials with an interior clear dimension of 15 feet by 15 feet. No dumpster enclosure is proposed. It is unclear where trash collection will occur. There is a common dumpster area in the alley to the east. Sanitation Dept. review will be part of the later development review process.

Façade Articulation. A minimum of 35% of each upper story shall be windows. Windows shall be proportioned to appear vertical, even when combined to form horizontal bands around the structure.

Façades shall be broken down into distinct twenty to thirty foot "modules" or "bays" from side to side. The modules can follow structural, historical, aesthetic, or functional dimensions. Large unarticulated walls are discouraged, and shall have either a window or a functional public access (such as a door or passageway) at least every ten feet. Façades exceeding fifty feet in length shall be visually broken down into bays through the use of architectural elements such as pilasters, reveals, or other



3B DALY'S STEAKHOUSE + LOFTS - 910 & 912 FRONT STREET

three-dimensional surface modulations. Building façade designs shall respect the historical context of Old Conway with a clear ground floor, body, and cornice line (i.e. “base, body, and cap”). Designs should be contextual to adjacent buildings, including their cornice lines and horizontal banding. The use of traditional façade components is encouraged and includes parapets caps, cornices, transoms, awnings, storefronts, kickplates, recessed entries, and sign bands. The proposed façade will replicate the existing historic façade. The new façade is appropriate.

Ground-Level Façade Detail. A minimum of 2/3 of the first story façade shall be windows. First story windows shall be a maximum of three feet above the ground. Windows should be used to display products and services and maximize visibility into storefronts. The proposed ground level meets the guidelines and is appropriate.

Building Materials. Of the total amount of glass on the first story façade(s), a minimum of 85% shall be transparent. The remaining 15% may be stained, frosted, or otherwise non-transparent glass. Tinted or reflective glass is discouraged at ground level. All floors other than ground level may utilize window transparency as desired.

Building materials (other than glass) shall include brick, stone, concrete, architectural metals, stucco/plaster, and wood trim. Historically, these are among the most widely-used, identifiable, and longest-lasting materials within Conway’s Urban Zone, and therefore the most desirable for all projects. All materials shall be highly durable, attractive, and easily maintained, especially at street level where pedestrians come in contact with the building. Prohibited materials shall include wood siding, pressed wood siding, composite siding, vinyl siding, and all forms of sheet metal sheathing. Exterior insulated finishing systems (EIFS) are discouraged. (EIFS) shall only be applied in upper story areas or other areas not susceptible to impact damage. These materials are not contextual to Old Conway and are generally perceived to be less permanent in nature, therefore they are not appropriate for use within the Urban Zone. The structure will have a brick front façade. The alley side of the structure is shown with a stucco material. Confirmation of alley side material is needed.

Building Entries. Main pedestrian entries shall be located on the street to generate pedestrian traffic on the sidewalk. Building entries shall be emphasized with architectural features, changes in the façade plane, different massing, or unique materials and finishes.

The primary pedestrian entry to each building shall be along the street frontage. For buildings that front on two streets, entries shall be located along each frontage or at the corner if the building is at an intersection.

Any use confined to a building’s upper floors (such as with a mixed-use structure) shall be provided at least one entry located along street frontage to further promote street life. These should

be designed as separate entries and distinguished from ground-level uses with architectural details, materials, colors, lighting, signage, and/or paving, so that it is clear which entries are public and which are private. The structure plans show appropriate recessed entries for the restaurant and lofts on the Front Street façade.

Overhead Cover. Where desired or required, overhead cover shall be a minimum of eight feet above the sidewalk grade. No cover shall project beyond the curb line of the street. Overhead cover which requires structural support to rest within the right-of-way (i.e. arcades, colonnades, balconies, etc.) shall require approval of encroachment by the Conway City Council. Public trees located within the right-of-way take precedence to all overhead cover designs and shall be provided all necessary growing room. An awning meeting the above guidelines is proposed.

Exterior Building & Accent Lighting. The use of moving, blinking, or strobe lights is prohibited. No lighting is shown other than signage.

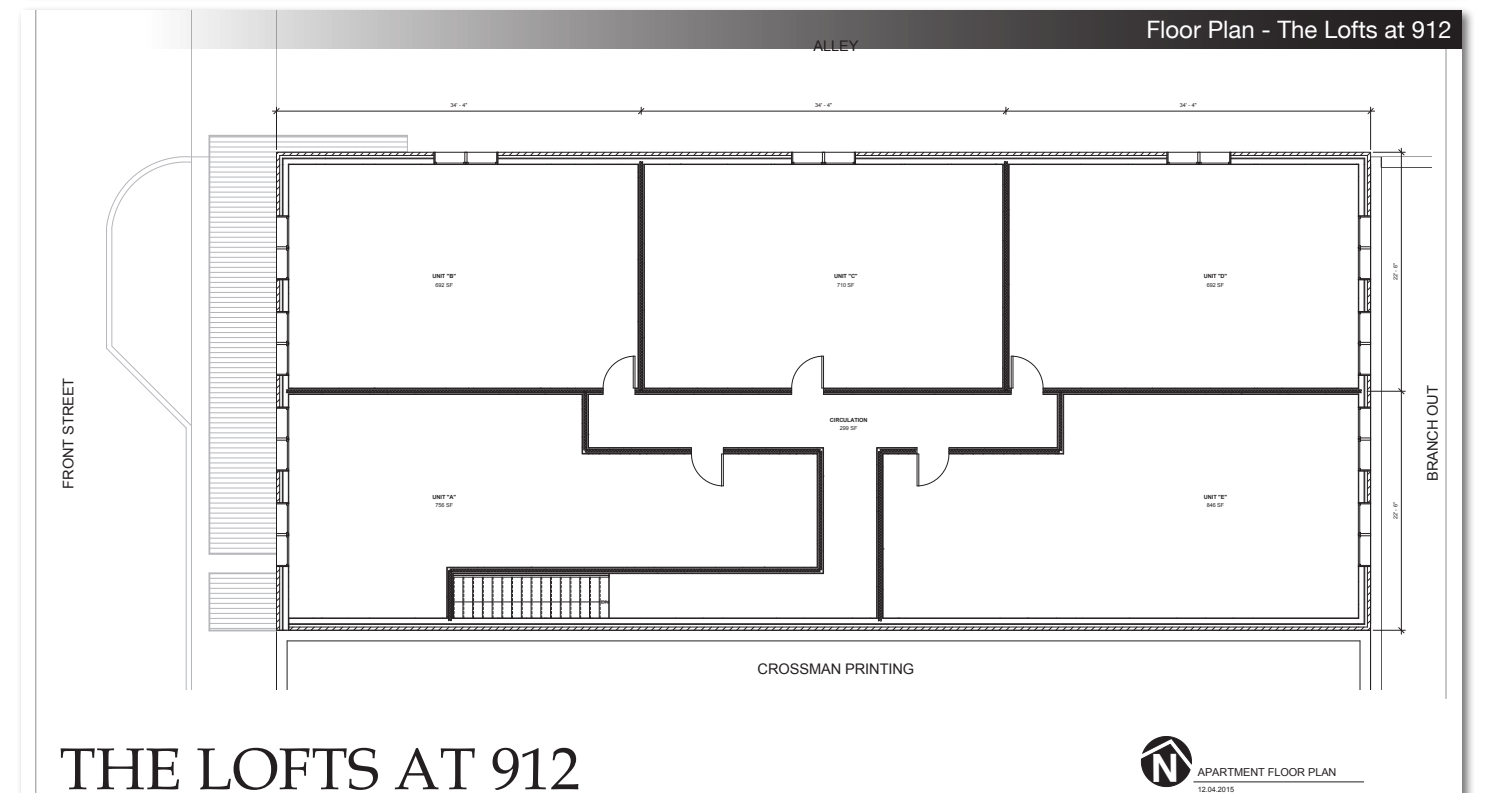
Sidewalks. Sidewalks shall be provided along all street frontages and located within the public right-of-way. Sidewalks shall extend from the structure’s façade outward to the existing curb line of the street. Where public sidewalk improvements are necessary, they shall be paved with terrazzo, concrete pavers, concrete, stone, brick, tile, or another high quality hardscape material. Asphalt and loose paving are not permitted. The sidewalk is existing and was renovated within the last few years.

Mechanical Screening. HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. No HVAC equipment is shown on the submitted plans. It is assumed that mechanical equipment will be roof mounted.

RECOMMENDATIONS

The proposed downtown commercial should blend appropriately with other surrounding structures.

1. The structure shall be constructed as shown in submitted plans.
2. Alley way façade wall material shall be...
3. Sanitation service area and appropriate screening shall be determined as part of the Planning Department development review.



4A PRIME CARE ADDITION & REMODEL - 812 W OAK STREET

OLD CONWAY DESIGN OVERLAY DISTRICT CERTIFICATE OF APPROPRIATENESS REVIEW

APPLICANT

Randy Ripley, Architect
 Black Corley Owens + Hughes PA
 219 W South Street
 Benton, AR 72015

OWNER

Tim Weaver
 Womack Properties
 400 S Main Street, Suite 100
 Searcy, AR 72143

SITE

Address. 812 Oak Street (Former Arvest Bank - NBA Bank)

Present Zoning. C-3 (Highway Shopping District). The property is within the Old Conway Design Overlay Urban District.

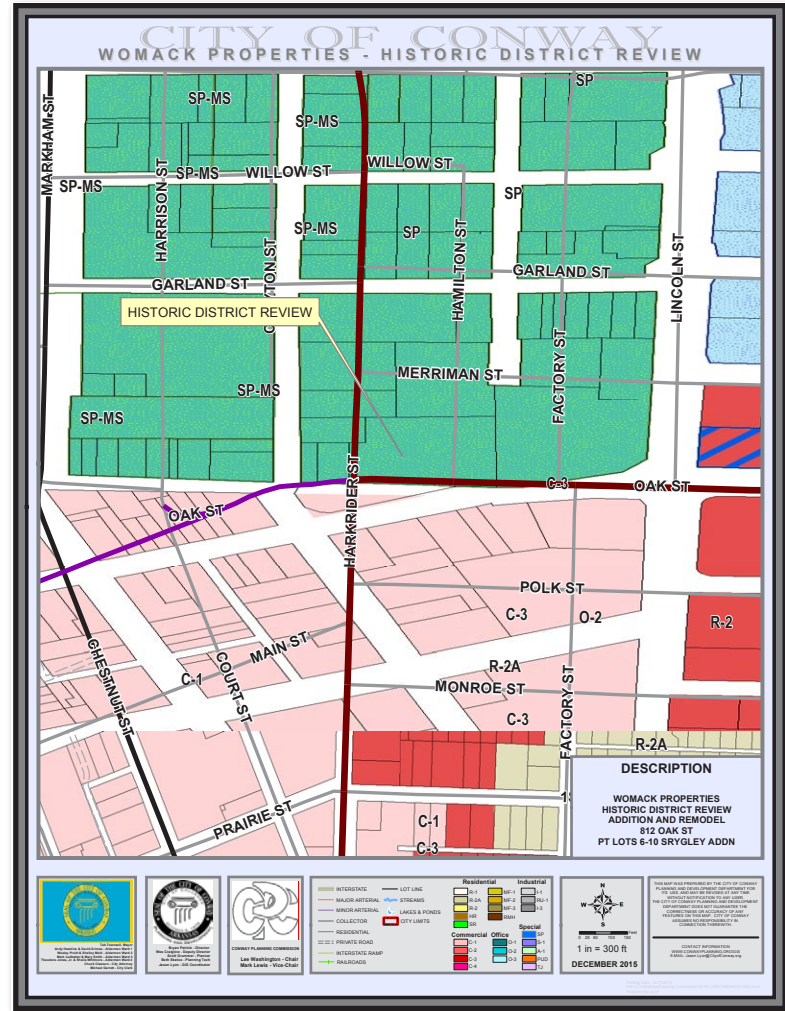
Abutting Zoning. C-3 (Highway Shopping District) in the Old Conway Design Overlay Urban District.

Lot Area. .68 acre ±

Surrounding Area Structures. The property is located at the northeast corner of Oak and Harkrider Streets. Across Oak Street, is the new CVS Pharmacy constructed to urban design standards. To the North, is the Baker Drug building; across Harkrider, is Walgreens; and to the east, is Taziki's. The structures along the north side of Oak Street are typical 20th century "strip development". This was the case on the south side of Oak. Recent projects including CVS, MedExpress, Arvest, and the Factory Street office project have literally turned the corner and brought downtown urban development east along Oak Street.

General Description of Property and Proposed Development.

The former National Bank of Arkansas was acquired and operated by Arvest Bank until their new Oak Street location was completed a few months ago. The property is in the Old Conway urban district and is subject to the Old Conway overlay urban design standards. Ideally, the building would be demolished or added onto in such a way as to continue the progression of urban commercial structures east down Oak and/or north along Harkrider. However, the property is an older more "suburban" design. As a remodel and addition, appropriate compromise to create a more "urban" structure from the "suburban" design is in order.



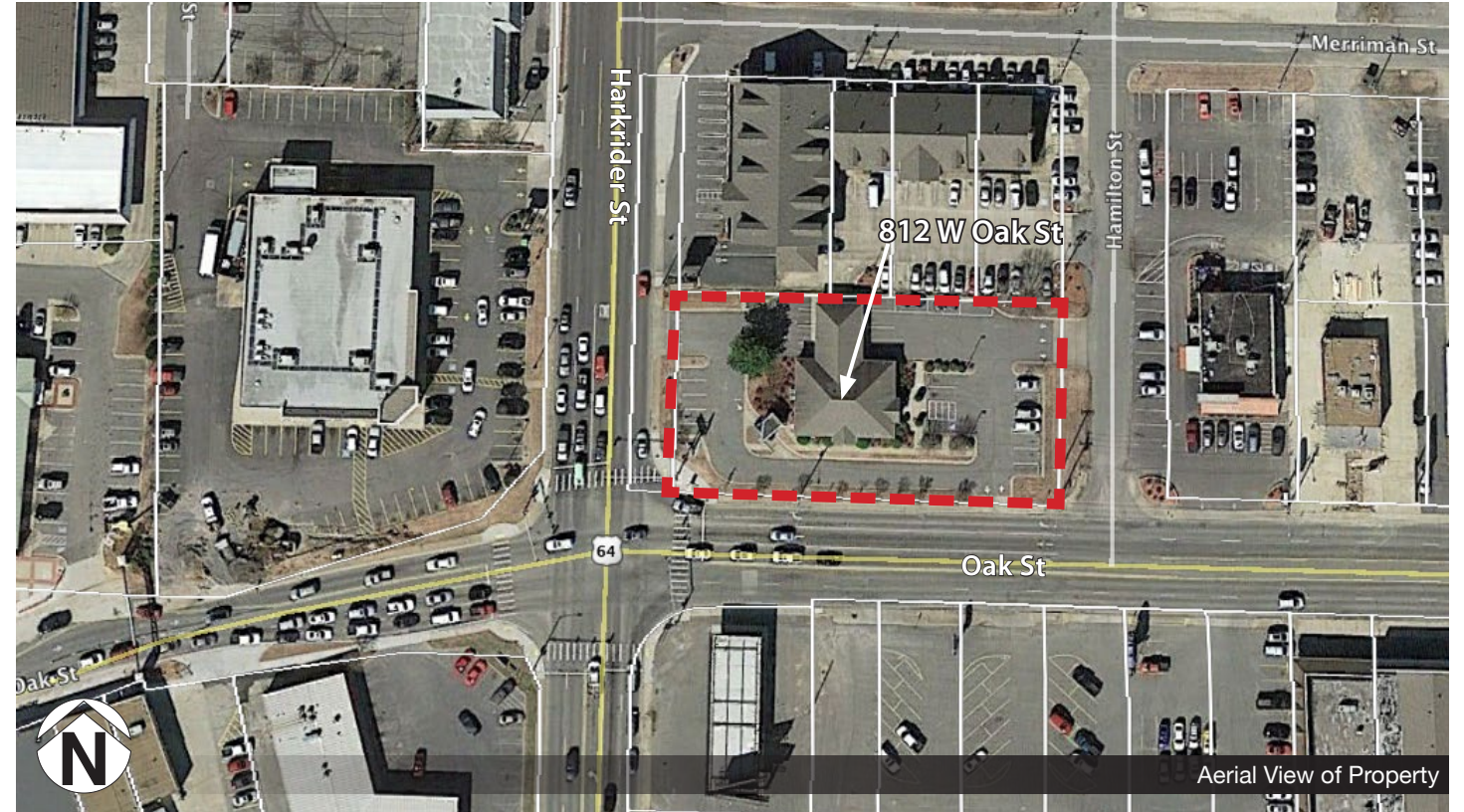
The applicant plans to "refresh" the exterior of the building, expand the building to the north (teller drive through area), change the roof line/materials, and add a new entry/waiting room onto the south side of the building (Oak Street).

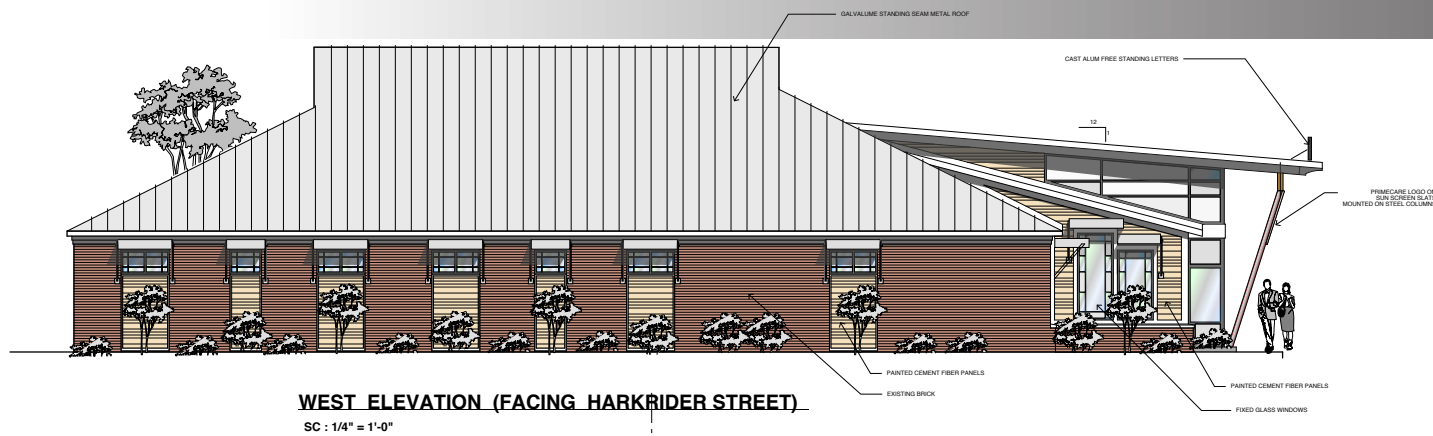
URBAN DESIGN STANDARDS

Setbacks. Urban design standards require that 80% of the building's façade be within 3 feet of the property line. This remodel will trigger platting of the property. Platting will require the dedication of an additional 10 feet of Oak and Harkrider Streets right of way. As proposed, the south side waiting room addition's roof will be around 3 to 4 feet from the new property line or around 22 feet from the existing curb within the appropriate setback.

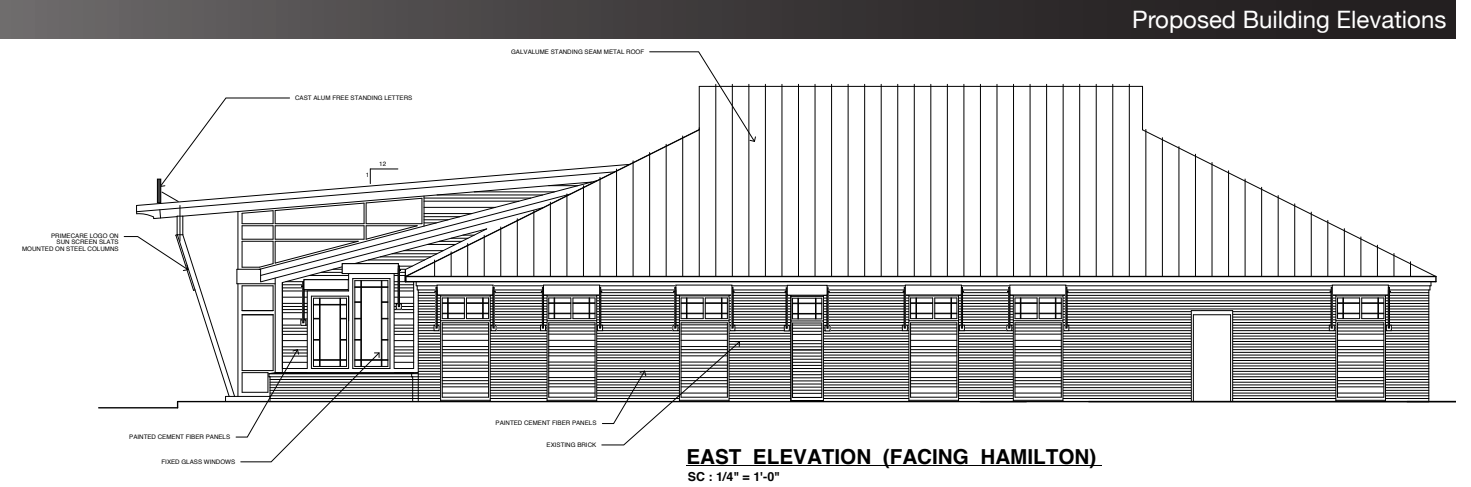
Spacing. Established spacing distance pattern between area structures. The proposed addition will decrease the structure spacing to the north. However, this new spacing is consistent with other area structures. Orientation. The direction in which the front of a building faces. The structure will appropriately face Oak Street.

Alley. There are no alleyways on this block.

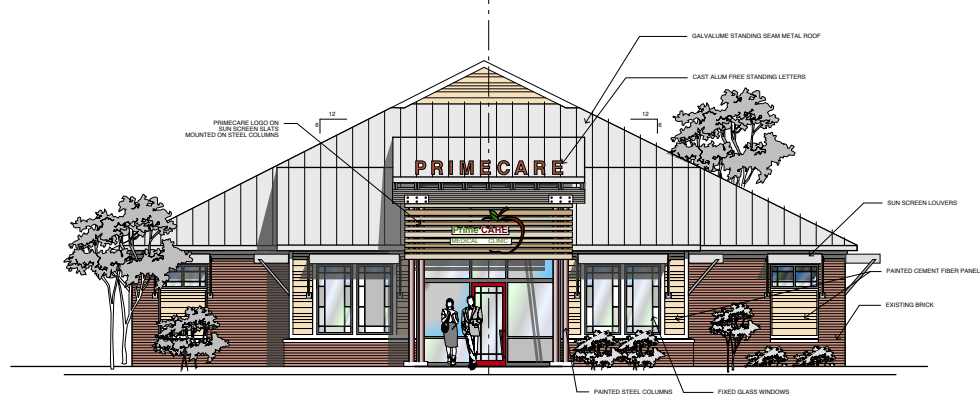




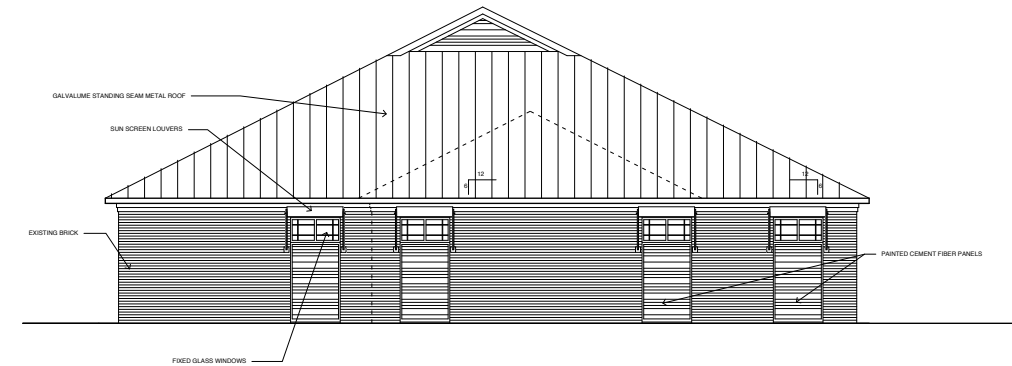
WEST ELEVATION (FACING HARKRIDER STREET)
SC : 1/4" = 1'-0"



EAST ELEVATION (FACING HAMILTON)
SC : 1/4" = 1'-0"



SOUTH ELEVATION (FACING OAK STREET)



NORTH ELEVATION
SC : 1/4" = 1'-0"

remodel project, compromise is sought to provide a more urban environment while using the existing structure and parking. The Staff site plan sketch recommends the closing of the Oak Street drive aisle, construction of a 14 foot +/- sidewalk and planters along Oak Street, 14 foot +/- sidewalks and a low screening wall along Harkrider. The applicant may wish to decrease the proposed building size on the north and retain the rear drive aisle. This would be acceptable.

Loading Docks. All loading docks shall be screened from pedestrian view. A combination of doors, gates, walls, fencing, and/or landscaping shall be used to shield the loading dock from view. No loading dock is proposed.

Dumpsters. Trash dumpsters shall be further screened by use of a gate and structure which complements the design of the primary building through the use of similar materials, colors, finishes, and architectural details. Dumpster enclosures shall be constructed of masonry materials with an interior clear dimension of 15 feet by 15 feet.

A dumpster enclosure is proposed at the northeast area of the site. If serviced by a dumpster, a masonry dumpster enclosure must be constructed per development review standards.

Façade Articulation. A minimum of 35% of each upper story shall be windows. Windows shall be proportioned to appear vertical, even when combined to form horizontal bands around the structure.

Façades shall be broken down into distinct twenty to thirty foot "modules" or "bays" from side to side. The modules can follow structural, historical, aesthetic, or functional dimensions. Large unarticulated walls are discouraged, and shall have either a window or a functional public access (such as a door or passageway) at least every ten feet. Façades exceeding fifty feet in length shall be visually broken down into bays through the use of architectural elements such as pilasters, reveals, or other three-dimensional surface modulations. Building façade designs shall respect the historical context of Old Conway with a clear ground floor, body, and cornice line (i.e. "base, body, and cap"). Designs should be contextual to adjacent buildings, including their cornice lines and horizontal banding. The use of traditional façade components is encouraged and includes parapets caps, cornices, transoms, awnings, storefronts, kickplates, recessed entries, and sign bands.

These regulations pertain more to a true urban downtown façade. The proposed addition would add articulation and a more vertical element to the Oak Street façade.

Ground-Level Façade Detail. A minimum of 2/3 of the first story façade shall be windows. First story windows shall be a maximum of three feet above the ground. Windows should be used to display products and services and maximize visibility into storefronts.

As a remodel of a "suburban" office structure, these regulations are not applicable.

Building Materials. Of the total amount of glass on the first story façade(s), a minimum of 85% shall be transparent. The remaining 15% may be stained, frosted, or otherwise non-transparent glass. Tinted or reflective glass is discouraged at ground level. All floors other than ground level may utilize window transparency as desired.

Building materials (other than glass) shall include brick, stone, concrete, architectural metals, stucco/plaster, and wood trim. Historically, these are among the most widely-used, identifiable, and longest-lasting materials within Conway's Urban Zone, and

therefore the most desirable for all projects. All materials shall be highly durable, attractive, and easily maintained, especially at street level where pedestrians come in contact with the building.

Prohibited materials shall include wood siding, pressed wood siding, composite siding, vinyl siding, and all forms of sheet metal sheathing. Exterior insulated finishing systems (EIFS) are discouraged. (EIFS) shall only be applied in upper story areas or other areas not susceptible to impact damage. These materials are not contextual to Old Conway and are generally perceived to be less permanent in nature, therefore they are not appropriate for use within the Urban Zone.

The structure has brick façades. New high windows with fiber cement accent panels are proposed for the examination rooms. The new entry area is mainly glass. A standing seam metal roof is proposed.

Building Entries. Main pedestrian entries shall be located on the street to generate pedestrian traffic on the sidewalk. Building entries shall be emphasized with architectural features, changes in the façade plane, different massing, or unique materials and finishes.

The primary pedestrian entry to each building shall be along the street frontage. For buildings that front on two streets, entries shall be located along each frontage or at the corner if the building is at an intersection. Any use confined to a building's upper floors (such as with a mixed-use structure) shall be provided at least one entry located along street frontage to further promote street life. These should be designed as separate entries and distinguished from ground-level uses with architectural details, materials, colors, lighting, signage, and/or paving, so that it is clear which entries are public and which are private.

The structure plans show an appropriate Oak Street entry. However, to better connect to Oak Street and "announce" the entry, a more vertical treatment is encouraged. A more vertical feature could be easily seen while traveling down Oak Street and match the height of the new CVS. A change in the slope of the entryway roof from down to up would emphasize the entry. However, this creates roof drainage technical challenge. A "tower" feature or other means could also be used.

Overhead Cover. Where desired or required, overhead cover shall be a minimum of eight feet above the sidewalk grade. No cover shall project beyond the curb line of the street. Overhead cover which requires structural support to rest within the right-of-way (i.e. arcades, colonnades, balconies, etc.) shall require approval of encroachment by the Conway City Council. Public trees located within the right-of-way take precedence to all overhead cover designs and shall be provided all necessary growing room.

Decorative awnings are shown above the windows. The front entry roof extends over the sidewalk to offer some weather protection.

Exterior Building & Accent Lighting. The use of moving, blinking, or strobe lights is prohibited. No lighting is shown.

Sidewalks. Sidewalks shall be provided along all street frontages and located within the public right of way. Sidewalks shall extend from the structure's façade outward to the existing curb line of the street. Where public sidewalk improvements are necessary, they shall be paved with terrazzo, concrete pavers, concrete, stone, brick, tile, or another high quality hardscape material. Asphalt and loose paving are not permitted. The above regulations more directly relate to a typical downtown urban structure.

There is an existing 5 foot sidewalk along Oak and Harkrider. Because the sidewalk is abutting the curb, it does not offer a feeling of protection from passing cars. A modified version of the Council approved Oak Street sidewalk plan is shown on the staff site plan sketch. As sketched, the initial phase of a wider sidewalk is created along with streetscape tree planters. No additional concrete behind the planters is required at this time. When the street(s) are widened or a more urban structure is



WEST ELEVATION (FACING HARKRIDER STREET)



SOUTH ELEVATION (FACING OAK STREET)

constructed, these wider sidewalks and planters can be used and added to in order to create the complete sidewalk/planter approved plan. An example of the complete sidewalk is seen across the street at CVS. Green space is allowed behind the planters at this point due to the "plaza" look that results. The new Arvest Bank was required to provide the full sidewalk plan. The resulting plaza is not the desired affect.

Mechanical Screening. HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

HVAC equipment is shown on the east side of the structure. These units should be screened with shrubs and/or fencing.

Signage. The site plan shows 3 signs; the existing pylon, a monument sign on Harkrider, and a monument sign at the corner of Hamilton and Oak. Conway sign regulations allow 3 free standing signs (1 per street frontage). The existing pylon sign will likely be in the street right of way after platting causing its removal. A conforming monument sign could be used in its place. The HDC has limited freestanding signage in this area to 6 feet tall maximum and 36 square feet in area. Signs may not be placed in the street right of way. The proposed sign locations are shown in the street ROW. If these locations are desired, City Council approval is needed.

RECOMMENDATIONS

HDC Staff recommends approval of the Certificate of Appropriateness with the following conditions:

1. The structure shall be constructed as shown on submitted elevations and staff site sketch. (Or with modifications per HDC)
2. The front setbacks shall be allowed at approximately 0 - 10 feet from the new right of way/property line
3. More vertical feature at front entrance is required. Height should match the CVS. Planning staff may approve during Planning development review.
4. Curb cuts on Harkrider and Hamilton shall be reduced to 20 foot widths
5. Construct sidewalks, planters, and low screening wall as shown on site sketch plan. The design of these sidewalks and features shall be based on Council approved Oak Street sidewalk plan and cross section.
6. Hamilton Street head-in parking shall be determined appropriate through coordination with the City Engineer during Planning Staff development review.
7. Sanitation service area and appropriate screening shall be determined as part of the Planning Staff development review.
8. If the pre-existing non-conforming (grandfathered) pylon sign is located in the street right of way after platting, it must be removed. (3) monument signs, 6 feet high maximum and 36 square feet in area may be placed at the 3 street frontages. In no case, may there be more than 3 freestanding signs.
9. HVAC screening is required per development review standards.
10. Planning Department Staff shall be allowed to make adjustments to these approved plans due to the many possible technical details in retrofitting this property. However, the intent as shown must be retained



2016 SCHEDULED MEETING DATES

<u>MONTH</u>	<u>MEETING DATE</u>	<u>SUBMISSION DEADLINE</u>
January	Monday, January 25	Friday, January 8
February	Monday, February 22	Friday, February 5
March	Monday, March 28	Friday, March 11
April	Monday, April 25	Friday, April 8
May	Monday, May 23	Thursday, May 5
June	Monday, June 27	Friday, June 10
July	Monday, July 25	Friday, July 8
August	Monday, August 22	Friday, August 5
September	Monday, September 26	Friday, September 9
October	Monday, October 24	Friday, October 7
November	Monday, November 28	Thursday, November 10
December	Wednesday, December 28 ¹	Friday, December 9

Conway Historic District Commission meetings begin at 6:00 pm typically on the fourth Monday of each month and are held in the first floor conference room of City Hall at 1201 Oak Street, Conway, Arkansas. The agenda with supporting information for each meeting is posted at <http://www.cityofconway.org/pages/conway-historic-district-commission/>

¹ Meeting moved due to Christmas Day Observance

