



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

September 28, 2026 • 5:30pm • 1111 Main Street



City of Conway HISTORIC DISTRICT COMMISSION

September 28, 2026

MEMBERS

Jason Covington, Chairman
Ali Dyer, Vice-Chairman
Marilyn Moix, Secretary
Nathaniel Johnson Jr.
Junior Dixon
Joanna Nabholz
Brianna Wiggins

Call to Order.

Roll Call.

Approval of Minutes. August 24, 2026

Old Business

I. Public Hearing Items - Old Conway Design Overlay District

A. 124, 130, 136 Conway Blvd (HDR-0726-0117) Multi-family development

B. 1806 Washington Ave (HDR-0726-0101) Addition - **Withdrawn**

New Business

II. Public Hearing Items - Robinson Historic District

A. 1832 Robinson Ave (HDR-0926-0132) Porch Addition

III. Public Hearing Items - Old Conway Design Overlay District

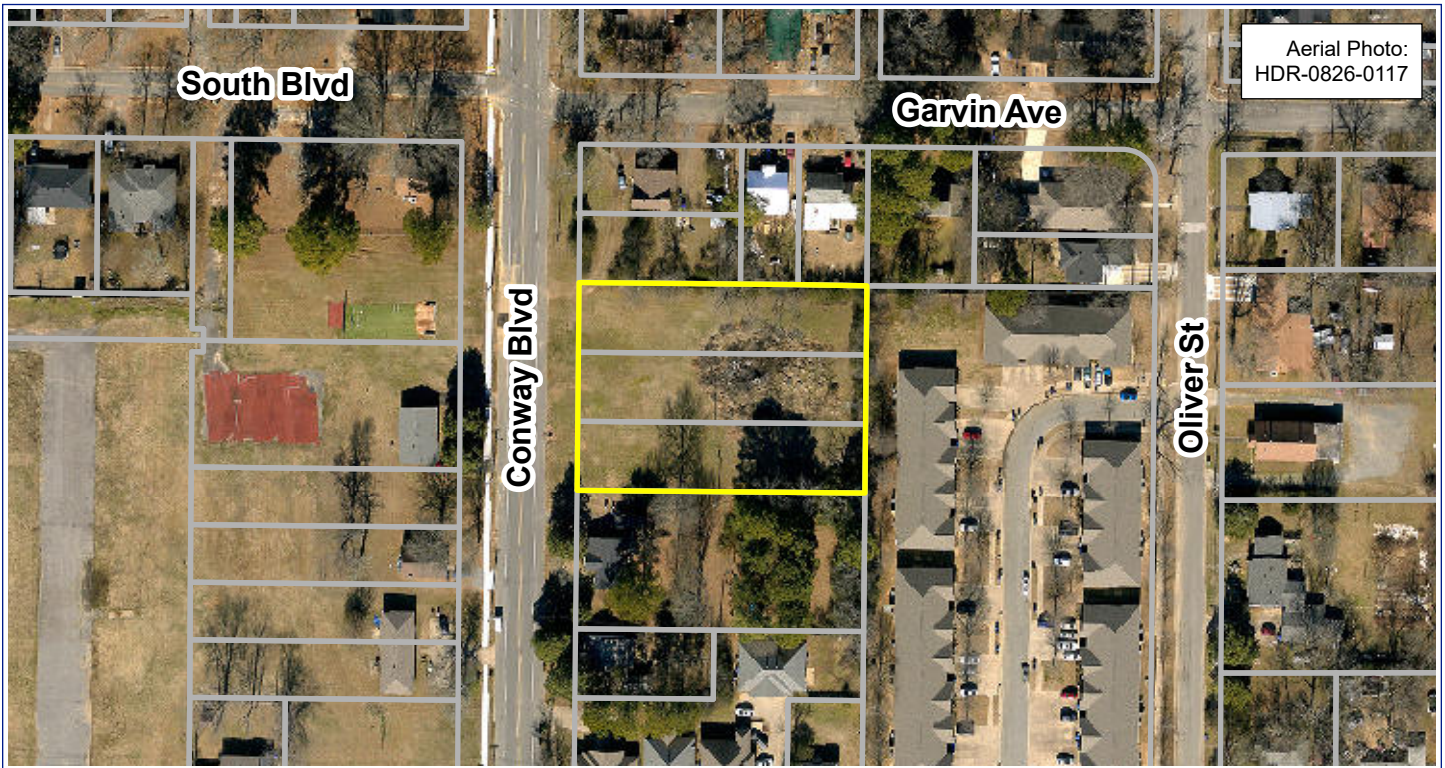
A. 1820 Mill St (HDR-0926-0133) New Single-family Residence

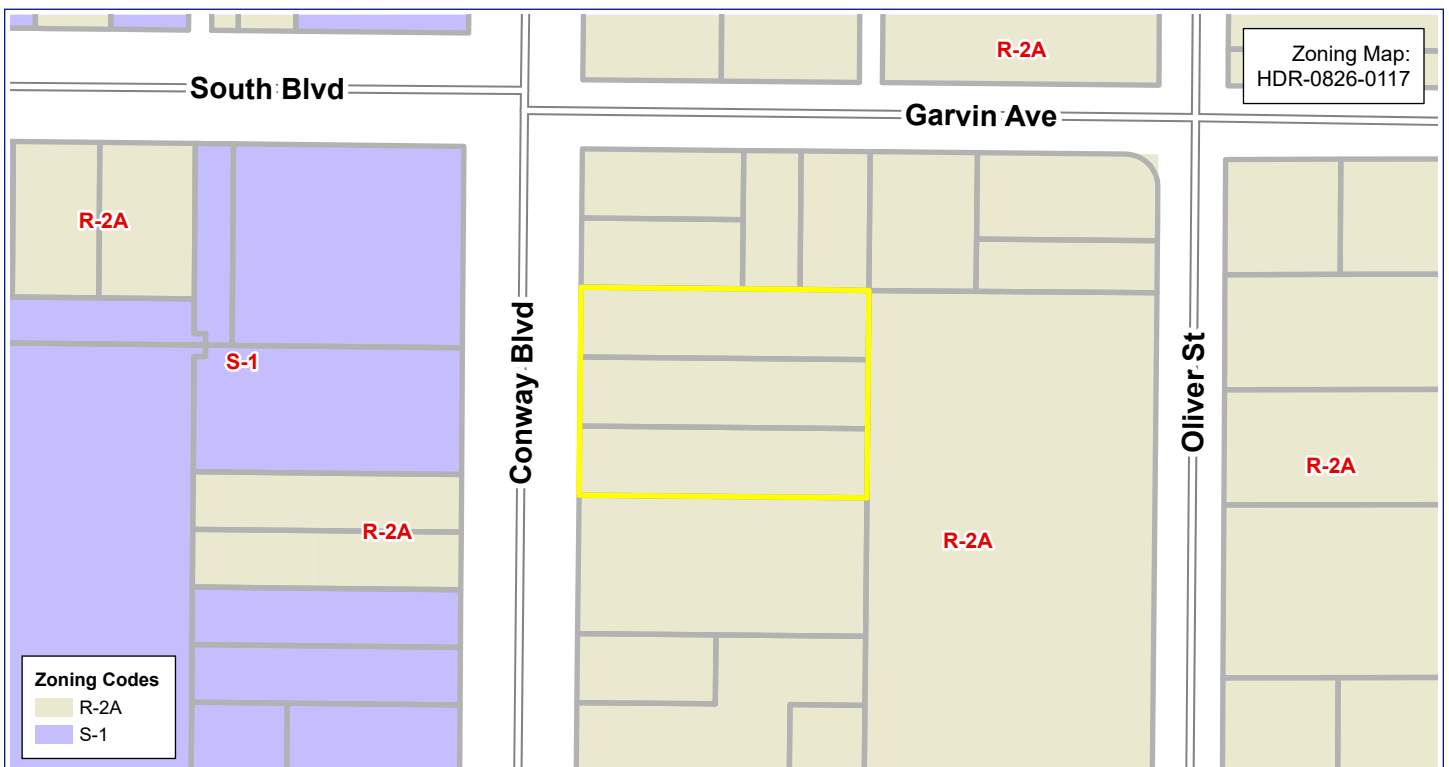
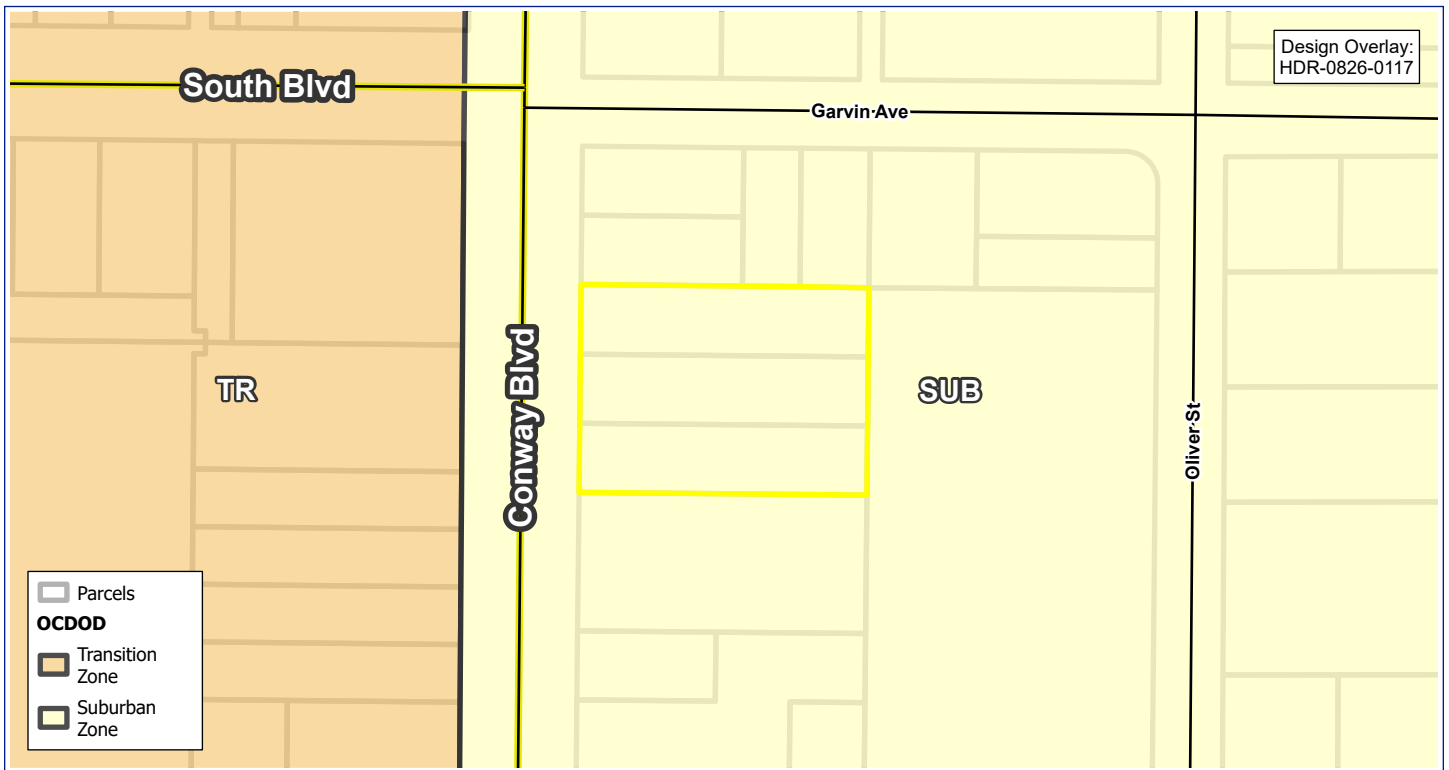
B. 1824 Mill St (HDR-0926-0135) New Single-family Residence

IV. Additional Business

A. Additional items as decided by the Commission

Adjourn.





Old Conway Design Overlay District

Applicant

Miah Millan Interiors
1105 Deer St Ste. 6
Conway, AR 72032

Owner

Emporda Holdings LLC
3440 Sylvia Springs Dr
Conway, AR 72034

On August 24, 2026, the Historic District Commission (HDC) heard project HDR-0826-0117. Condition #2 recommended that prior to issuance of a Certificate of Appropriateness, updated elevations be submitted showing additional architectural detailing. The commission voted to table the item to the September 28, 2026 HDC meeting allowing the applicant time to update and submit the elevations to be reviewed at the public hearing. The applicant has submitted an updated site plan and elevations.

Where modifications are made to the August 24, 2026 staff report, text in underline format indicates text to be added, and text in ~~strikethrough~~ format indicates text to be deleted.

SITE

Address: 124, 130, 136 Conway Blvd.

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SR).

Abutting Zoning. North/South/East/: R-2A, OCDOD-SR; West: S-1 (Institutional District), OCDOD-Transition (TR) & R-2A, OCDOD-TR.

Lot Area. 1.03 acres ±.

Surrounding Area Structures. The property is in the OCDOD-SR district on the east side of Conway Blvd between Garvin Ave and Robins St. Area structures are of the plain-traditional style.

General Description of Property and Proposed Development.

The applicant proposes to construct six new ~~3,248sf~~ 3,450sf duplexes across three platted lots. There is a conditional use permit on the property allowing for up to 12 dwelling units per acre (CUP-0826-0102). The density conforms with the conditional use permit.

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area.

The average front setback for the area is 20', based on five homes on the same block. The applicant should have a setback within the range of 17' and 23'. The applicant is proposing a front setback of 23' and 24'.

Given that measurements are aerial, 23' and 24' is appropriate.

Side: 6' minimum in all residential zones.

Per the Conway Zoning Code, the applicant is required to have a 20' landscape buffer between development and adjacent residential properties. The applicant is showing the 20' setback/buffer on both side yards.

Rear: 5' or 15' from the centerline of alleyway in residential zones.

The applicant is showing a 57' rear setback.

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The block is characterized by single-family home development spaced intermittently between vacant lots. This unique layout makes it difficult to apply uniform spacing criteria to new development.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is ~~52%~~ 59%. The proposal conforms.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front doors of the structures face inward to the site and do not follow the orientation of entries along Conway Blvd. Their orientation is to accommodate a centralized driveway and parking area between buildings in a multi-family development. The western elevations ~~could be enhanced to create a more dynamic street facing façade, more characteristic of a front rather than side façade. contain architectural detailing characteristic of a front façade and will contribute to the visual rhythm as perceived from the public realm.~~ This ~~could be~~ will be accomplished with ~~dormers, awning, steep,~~ dormers, awning, steep, ~~and/or a wrap around porch windows and a functional portico.~~

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

There is a shared driveway/parking area internal to the site. The proposed material is concrete. ~~30~~ 20 parking spaces are proposed. According to the Conway Zoning Code, the recommended minimum number of parking spaces for multi-family development is 18 spaces and the maximum is 48. The number of parking spaces is appropriate.

Sidewalks. Sidewalks are required for new construction projects.

Conway Blvd is a major arterial. The standard sidewalk width on a major arterial is 10' sidewalks with 7.5' of greenspace. The applicant should coordinate with the Conway Department of Transportation to determine the appropriately sized sidewalk for the area, which could be smaller than 10', but in no instance smaller than 5' wide. 5' sidewalks are shown on the site plan, and the permissibility of this width will be confirmed during the Site Development Review (SDR) process.

Fences/Walls. Fences shall be no more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards as deemed appropriate. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone. The upper two feet of privacy fencing should have 50% opacity, provided by a lattice or grid pattern of wood or iron.

Condition #9 of CUP-0825-0102 requires privacy fencing along all interior property lines. ~~The site would benefit from both iron (or aluminum mimicking iron) and wood fencing to integrate the development into the neighborhood, rather than disconnecting it. The project is conditioned with a fencing suggestion to be considered~~

Old Conway Design Overlay District

~~by the applicant and HDC. The applicant has indicated installation of a 6' tall wood, privacy fence along the interior property lines and a 5' tall powder coated aluminum fence along the Conway Blvd property frontage.~~

Tree preservation. Any trees over 8" in diameter or greater must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

No trees are shown on the site plan. There may be some existing trees along the property lines. Existing trees which are not diseased/damaged must be retained. There is 180ft of street frontage. Six canopy trees must be planted along the Conway Blvd frontage. The applicant must also meet the criteria for landscaping in the Conway Zoning Code for Site Development Review.

M a s s i n g

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structures is greater than those of surrounding development as these are six, two story duplexes in an area characterized by one-story, single-family development and vacant lots. It is unlikely that multi-family development could be constructed on this lot in keeping with the scale of the neighborhood.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

Because most of the structures in the area are single-family homes, the height/width/directional expression of the proposed multi-family, duplex development does not relate to historic patterns in the neighborhood. The height is 30' and two stories. Residences in the area are one story, but a one-story differential between existing and proposed is permissible per the guidelines.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprints will cover ~~27%~~ 21% of the lot area. The average ratio of building footprint to lot area of 5 structures on the same block is 6%.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structures will contain a level of detailing and form that is compatible with the patterns of the area. ~~However, all six buildings should be differentiated in detailing and wall breaks to enhance the site's overall complexity of form. Otherwise, the development will consist of six identical structures which do not relate to the scale and footprint of the neighborhood. Differentiated buildings may enhance the aesthetic, which may mitigate the impact of size and scale. The applicant is proposing to differentiate the six buildings through material changes across buildings. No two buildings are identical.~~

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The front façades face the site internally and the Conway Blvd facing

facades are shown as the side elevations. The Conway Blvd facing elevations ~~do not~~ contain 25%-40% windows. The Conway Blvd facing elevations ~~should have been~~ adjusted to mimic front façades and ~~for~~ have architectural detailing that enhances the streetscape. ~~Additional windows should be included. At the August 24, 2026 HDC meeting, neighbors noted privacy concerns due to the height of the structures. As a result, the façades facing adjacent properties to the north and south have been modified with false windows articulated by non-operable shutters in substitution of glazed windows. This prevents a blank façade while protecting the privacy of residents in adjacent single-story, single-family residences.~~

D e s i g n E l e m e n t s

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area is characterized by plain-traditional architecture. The new design is reflective of a new traditional style home.

Entries, Porches, and Porticos, Doors and windows, Awnings.

Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed.

The front porches are only 2' deep and do not conform. However, for a multi-family development, their size and style is appropriate. Entries contain decorative elements.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

Lighting is not shown on the elevations.

M a t e r i a l s a n d D e t a i l i n g

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

The applicant is proposing ~~brick and "lap" siding, multiple siding types, all of which conform to OCDOD standards. The following siding types are proposed:~~

- *Hardie Shingle Siding*
- *Hardie Board + Batten*
- *Red Brick*
- *Hardie Plank Lap Siding*
- *Cream Brick*

The type of lap siding is not specified but must conform with requirements stated above.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical

Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Shutters are proposed and they ~~must be~~ are sized so that they could fit over the windows if operable. The applicant is proposing a gable

Old Conway Design Overlay District

roof and the roofing material type is ~~not specified~~ architectural shingles.

Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

~~No HVAC equipment is shown on the site plan. HVAC equipment is shown along the rear side of each building which faces the northern and southern property lines.~~

Conditions

1. Applicant must obtain all applicable building permits if/when a Certificate of Appropriateness is granted.
2. ~~Prior to issuance of a Certificate of Appropriateness, the following shall be submitted to Planning Staff for review (Additional HDC review may be required):~~
 - a. ~~Updated elevations with directional labels (north, south, east, west)~~
 - b. ~~Additional detailing on the western elevations fronting Conway Blvd, in the form of a dormer, additional windows, and a porch/portico to provide an elevation more characteristic of a front, rather than side elevation~~
 - i. ~~Street facing elevations must have a minimum of 25% windows~~
 - c. ~~Architectural detailing that differentiates the buildings between each other in the form of material changes~~
 - d. ~~Porches at least 6' deep~~
2. Sidewalks with greenspace shall be installed prior to issuance of a Certificate of Occupancy. The required width shall be determined by Conway Department of Transportation and shown on the plans submitted for Site Development Review (SDR).
3. Any fencing along Conway Blvd shall be iron or aluminum mimicking iron. There shall be brick columns at the north and south ends of the iron/aluminum fence. The fence shall then transition to a 6' tall wooden fence with the upper two feet composed of 50% opaque lattice which will continue along the interior property lines. An elevation showing this fence shall be provided with the SDR application and approved by Planning Staff prior to stamping SDR plans.
4. Healthy, mature trees over 8" in diameter must be retained and shown on the SDR landscaping plan.
5. Six canopy trees shall be planted along Conway Blvd. If the project enters the landscaping phase and the city is in a water curtailment period, the applicant shall coordinate with City Staff and a horticulturalist (or similar professional) to determine the best planting and management to ensure success of plantings.
 - a. This may include landscaping deferment
 - b. This may incorporate alternative plantings/landscaping
 - c. This may lead to different species or types of plantings (ex. seedling vs sapling)
 - i. Such coordination may require an amendment Certificate of

Appropriateness to be issued by either the Administrative Official or the HDC

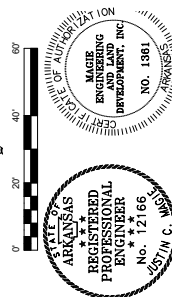
6. Additional landscaping requirements as outlined in Article X of the Conway Zoning Code and CUP-0825-0102 are required and will be enforced through SDR and building permit finals.
7. Siding shall be brick, stone, wood, or Hardieboard/LP Smartside type siding and each building shall be differentiated through the use of differing, permissible material types.
8. Shutters shall be sized so that if operable they could fit over the windows.
9. Roofing shall be ~~asphalt~~ architectural shingles.
10. Driveway shall be concrete, pavers, or permeable paving.
11. Lighting shall be downward and inward toward the property.
12. HVAC equipment shall be screened from public view.
13. The height of the structures shall be shown on the elevations submitted for building permit review.



VICINITY MAP
SCALE: 1"=200'

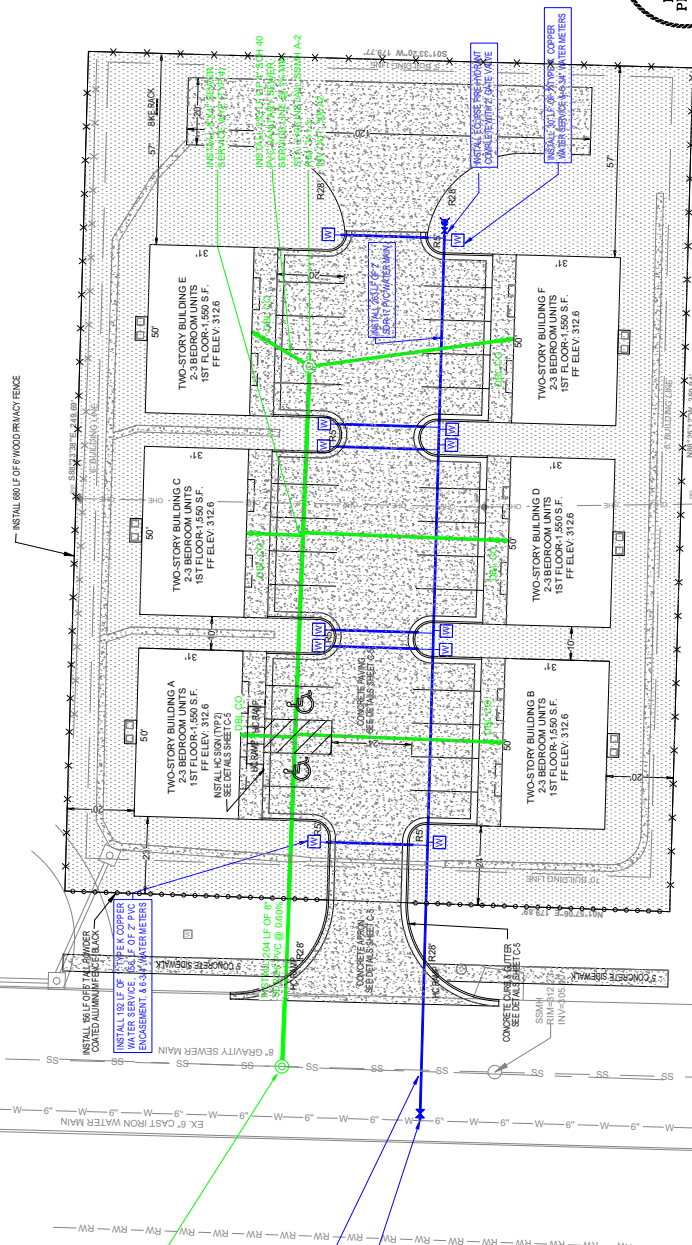
LEGAL DESCRIPTION:
LOTS 3, 4, & 5 BLOCK 4
JAVIES & GARVIN ANNEX TO
THE CITY OF CONWAY.

DEVELOPER:
EDUARD MILLAN
(870) 490-2418
105 DEER ST, SUITE 6
CONWAY, AR 72032

[illegible]

PURSUANT TO THE CONWAY ZONING ORDINANCE, THIS DEVELOPMENT REVIEW PLAN WAS GIVEN APPROVAL BY THE PLANNING DIRECTOR OF THE CITY OF CONWAY, ARKANSAS. ALL CONDITIONS OF APPROVAL HAVING BEEN COMPLETED, THIS DOCUMENT IS HEREBY ACCEPTED AND THIS CERTIFICATE EXECUTED UNDER THE AUTHORITY OF SUCH REGULATIONS.

ANNE TUCKER, PLANNING DIRECTOR



STA. 0+00 INSTALL 55MM A-1
OVER EXISTING SUBGRADE
FIN: 311.1
INV IN: 305.2
INV OUT: 305.0

AREA = 45,014 S.F. = 1.03 ACRE
AREA (GFA) = 9,300 S.F. (21%)
COVERAGE AREA (LCA) = 17,203
PERMEABLE SURFACE
= 26,500 S.F. (60%)
18,511 S.F. (41%)
G.LOT SLOPES WILL RANGE FROM 1% TO 5%

REQUIRED
MIN: 18
MAX: 48

NOT DIRECTED INWARD TOWARD THE SITE AND NOT
D THE SURROUNDING AREAS.
NOT CREATE A GLARE OR SIGNIFICANT LIGHT
ROUNDING NEIGHBORHOODS.

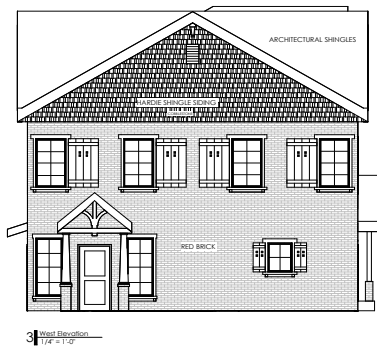
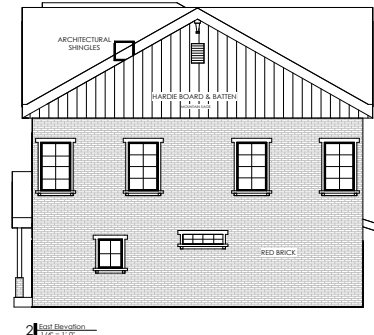
EMENT
EQUIPMENT WILL BE INSTALLED ON THE ROOF AND SHALL
BE VISIBLE FROM THE HIGHWAY/STREET RIGHT OF WAY
AND SHALL BE THE PROPERTY OF THE CITY OF CHICAGO.

SOILS INFORMATION, INCLUDING STRIPPING,
BRIDGING, ETC., REFER TO A
ENGINEER.

ON THESE PLANS ARE NOT GUARANTEED.
ALL FIELD VERIFY LOCATIONS, SIZES, TYPES,
OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
CALL PRIOR TO DIGGING (811).

OSAL WILL BE ACCOMPLISHED USING A CITY
WIVED INDIVIDUAL TRASH CAN. CONTACT CONWAY
TMENT 501-450-8155.

*REFERENCE FLOOR PLAN 1



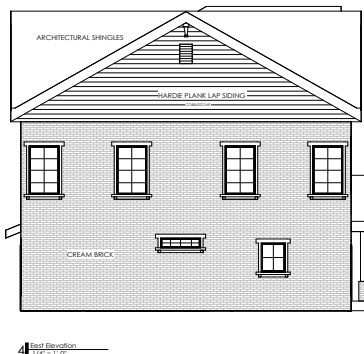
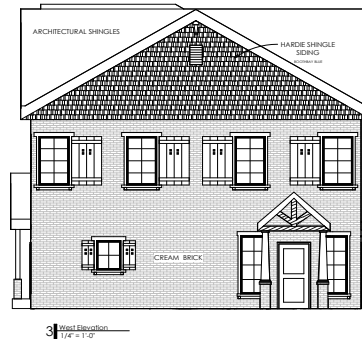
Conway Blvd Duplex Project
Elevations (Building A)

Sage & Stone Homes

Elevations (Building A)

Date: September 11, 2026
Drawn by: Amy Ling
A104
Scale: 1/4\"/>

*REFERENCE FLOOR PLAN 2



Conway Blvd Duplex Project
Elevations (Building B)

Sage & Stone Homes

Elevations (Building B)

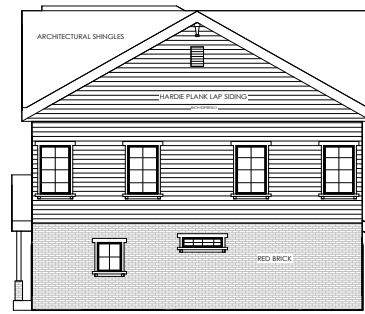
Date: September 11, 2026
Drawn by: Amy Ling
A105
Scale: 1/4\"/>



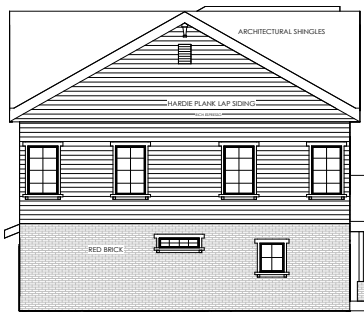
*REFERENCE FLOOR PLAN 3



1 South Elevation
1/4" = 1'-0"



3 East Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"



MIAH MILLAN
Interiors

Miah Milan Interiors
870.490.0108
miahmilandesign@gmail.com
www.miahmilandesign.com

Conway Blvd Duplex Project Elevations (Building E)

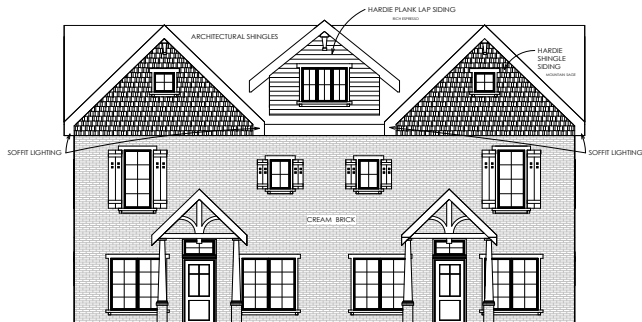
Sage & Stone Homes

Elevations (Building E)

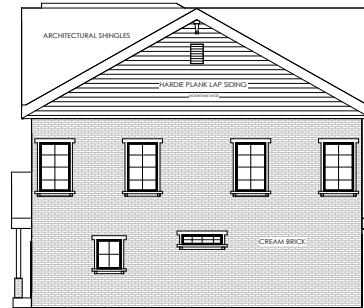
Date: September 11, 2026
Drawn by: Arny Ling
A108

Scale: 1/4" = 1'-0"

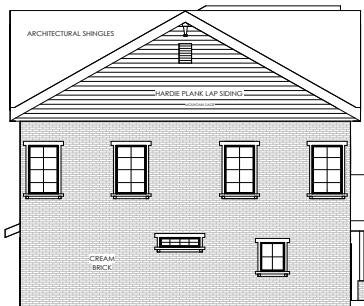
*REFERENCE FLOOR PLAN 3



1 South Elevation
1/4" = 1'-0"



3 East Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"



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Interiors

Miah Milan Interiors
870.490.0108
miahmilandesign@gmail.com
www.miahmilandesign.com

Conway Blvd Duplex Project Elevations (Building F)

Sage & Stone Homes

Elevations (Building F)

Date: September 11, 2026
Drawn by: Arny Ling
A109

Scale: 1/4" = 1'-0"



View of subject property looking E



View of subject property looking NE



Adjacent property to the N



Adjacent property to the W

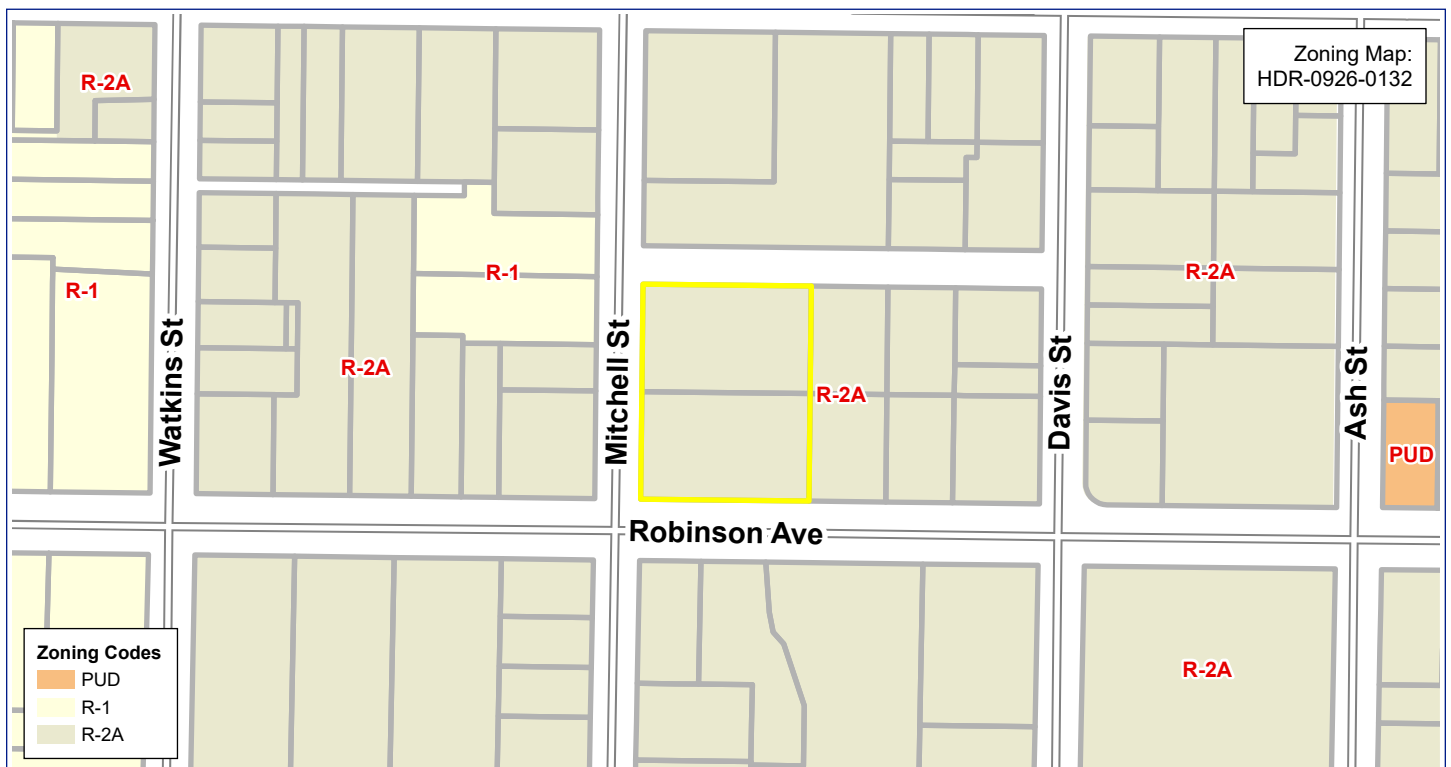
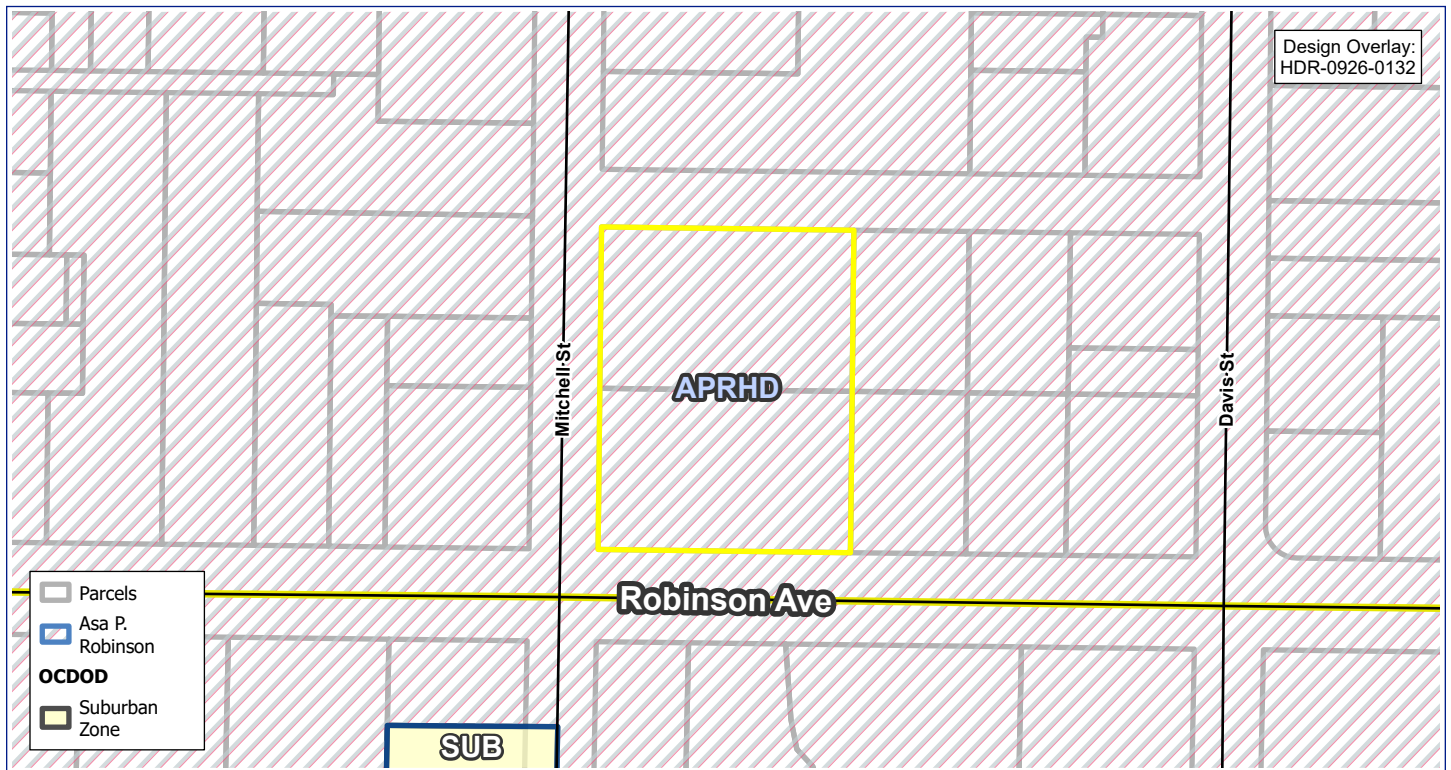


Adjacent property to the S



Properties adjacent to the W





Robinson Historic District

Applicant

Keller Johnson
P.O. Box 1251
Conway, AR 72033

Owner

City Church Conway
1950 South Blvd
Conway, AR 72034

Location Information

Address: 1832 Robinson Ave

Present Zoning. R-2A (Two-Family District), Asa P. Robinson Historic District (APRHD).

Abutting Zoning.

North/East/South: R-2A, APRHD.

West: R-2A & R-2 (Low Density Residential), APRHD.

Lot Area. 1.4 acres±.

Surrounding Area Structures.

West – 1904 Robinson Ave - c.1924 (Craftsman; Non-Contributing).

West – 853 Mitchell Ave - c.2020 (New Traditional; Non-Contributing).

East – 1822 Robinson Ave – Hardin Stark House - c.1906
(Colonia Revival; Contributing).

North – 1837 Caldwell St – Smith House - c.1924 (Mediterranean Revival/English Revival, Individually Listed).

South – 1837 Robinson Ave – M.W. Harton House - c.1927 (Colonial Revival, Non-Contributing).

General Description of Property and Proposed Development. The applicant is proposing to add a canopy to the northeast entrance of City Church. The canopy will be attached to the primary structure. It is roofed, with wood posts and stone veneers at post piers. It is open on three sides.

City Church is noted on the 2020 RHD survey document as being a contemporary structure built in 1965. The following is noted under "Historic Context":

"Built after its 1st auditorium & church building were destroyed by 1965 tornado".

New Construction & Add'ns

Setbacks. Front setback: New construction shall be located between 85% and 115% of the average front setback distance established by the existing adjacent historic structures. If all buildings along a block have similar setbacks, that setback line shall be respected. Secondary Front (adjacent to street): 8 feet minimum; Side: 6 feet minimum in all residential zones; Rear: 3 feet or 15 feet from centerline of alleyway in residential zones.

The addition is along the eastern side of the existing structure and must conform to side yard setbacks. It is proposed at 93' from the eastern property line and conforms. There is an existing outbuilding <4' from the proposed canopy. Because the canopy is open on three sides and therefore the 10' separation between a primary and accessory structure does not apply.

Additions. Construct new additions so that there is the least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged or obscured.

The character defining features will not be impacted by the addition of the canopy. The roofline is characterized by multiple eaves. This addition will

follow the same rhythm as the existing roofline variations and will not compromise the existing structure.

Design new additions so that the overall character of the site, site topography, character-defining site features, trees, and significant district vistas and views are retained.

The addition is internal to the site and is mostly obscured by the existing structure. It will be partially visible from Robinson Avenue. It is not visible from the public realm. It is being constructed within an already impacted, impervious area where there is parking and a concrete walkway. It will not impact the character of the site, site topography, character-defining site features, trees, and significant district vistas or views.

The design of a new addition shall follow the regulations for new construction for all elevations that are prominently visible.

This elevation is not prominently visible. The scale of the addition will not obscure or detract from the existing structure.

Locate a new addition on an inconspicuous elevation of the historic building, usually the rear one.

The addition is at the side of the structure and is inconspicuous.

Limit the size and scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.

The size and scale of the addition will not overpower the existing building. The height from grade to tie beam is 10'.

Design an addition to be compatible with the historic building in mass, materials, color and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.

The addition is compatible with the existing building in terms of location, height, scale, and materials. The proposed roofing material is metal which matches the roofing material of the existing structure.

It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.

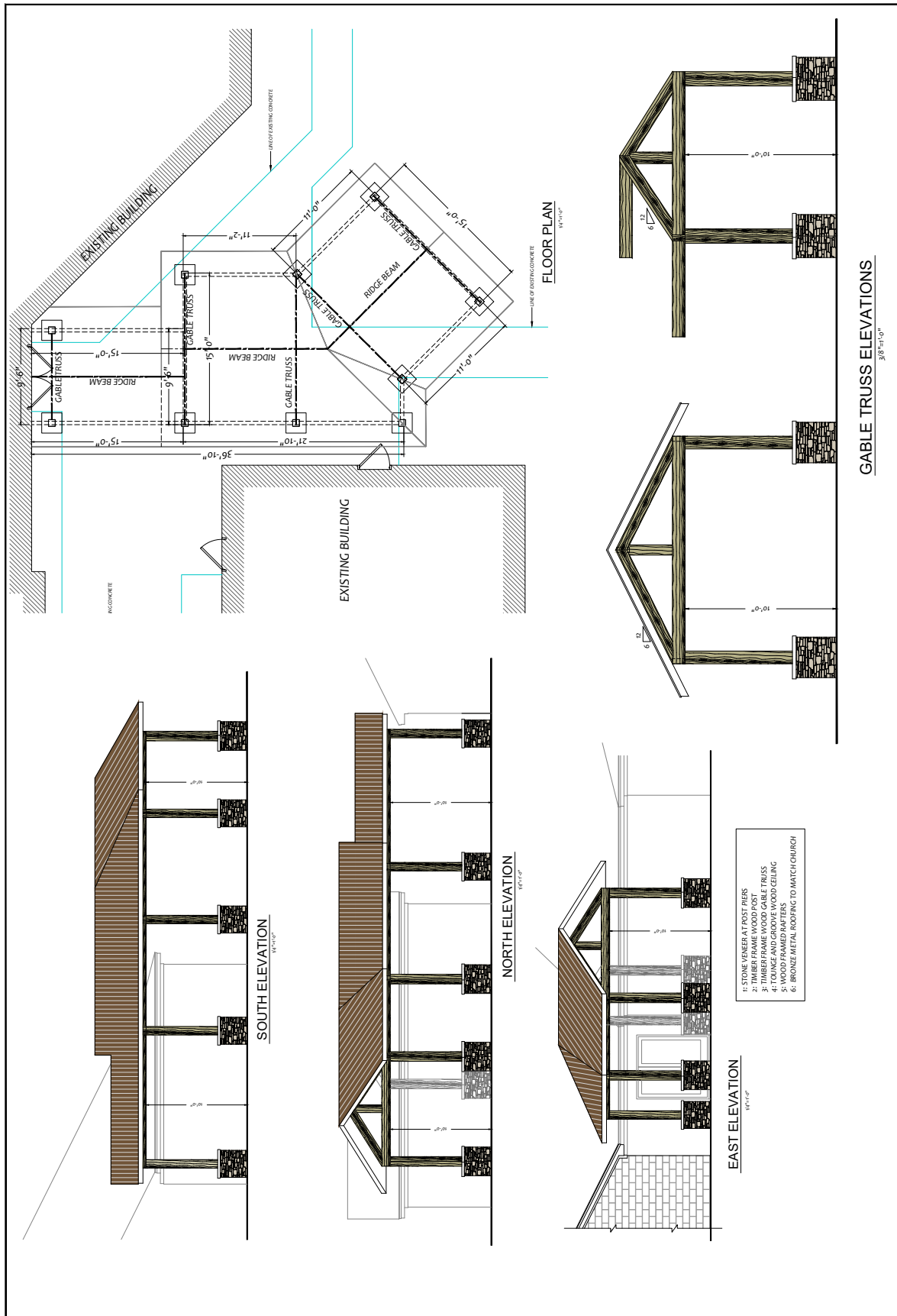
The addition will not detract from the overall historic character of the principal building and will not require the removal of any building element.

The addition shall be constructed in such a manner that if removed in the future, the essential form of the historic structure would be unimpaired.

The canopy addition could be easily removed and will have its own roof line.

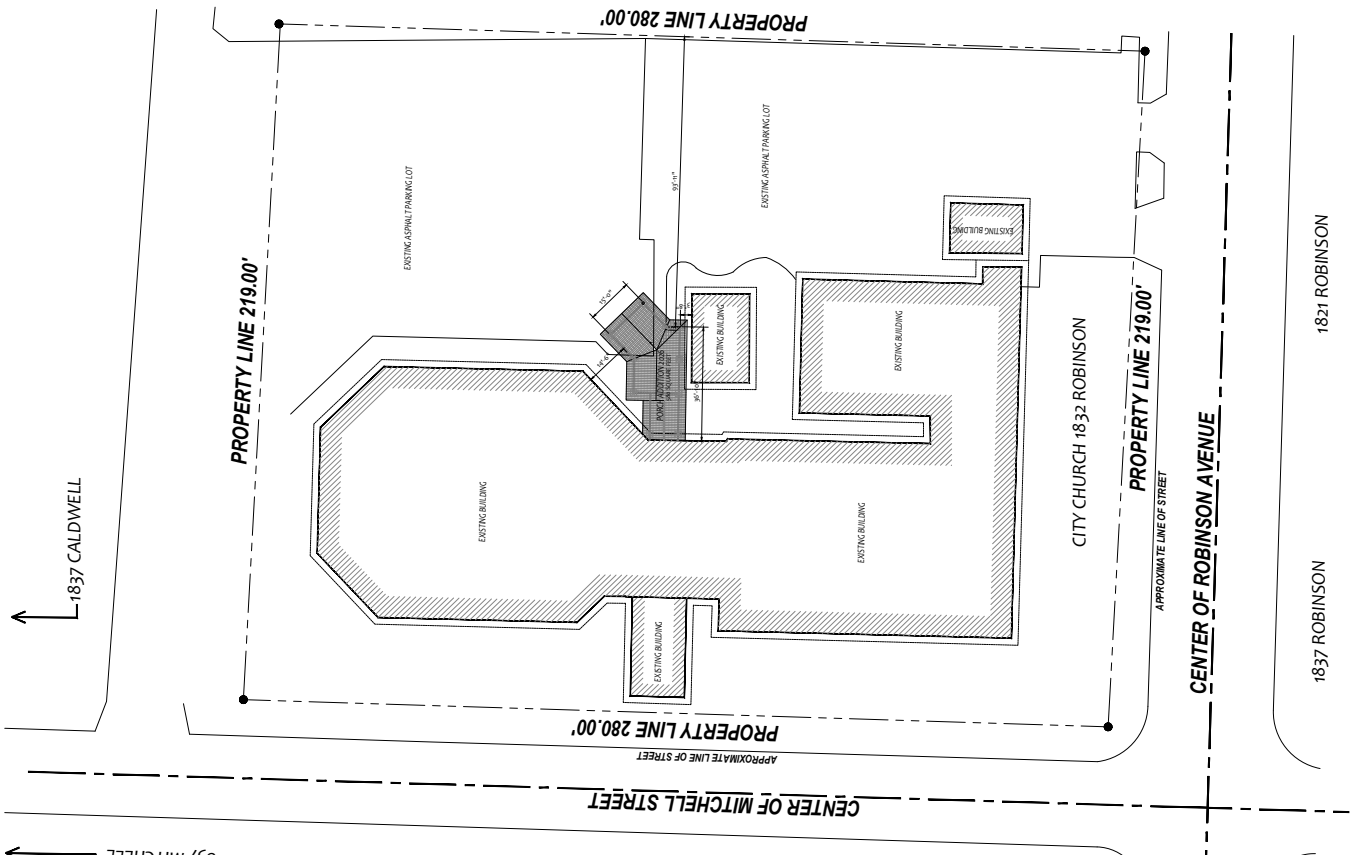
Conditions

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
2. Materials and detailing shall match that shown on the elevations
3. If the existing sidewalk is damaged during construction, it must be repaired.
4. Lighting shall be inward, downward, and shrouded to stay within the bounds of the property.





CITY CHURCH 1832 ROBINSON



SITE LAYOUT
1"=20'

1822 ROBINSON

1821 ROBINSON

1837 ROBINSON



View of project area facing W



View of subject property from Robinson Ave facing NW



Property adjacent to the E



Adjacent property to the N

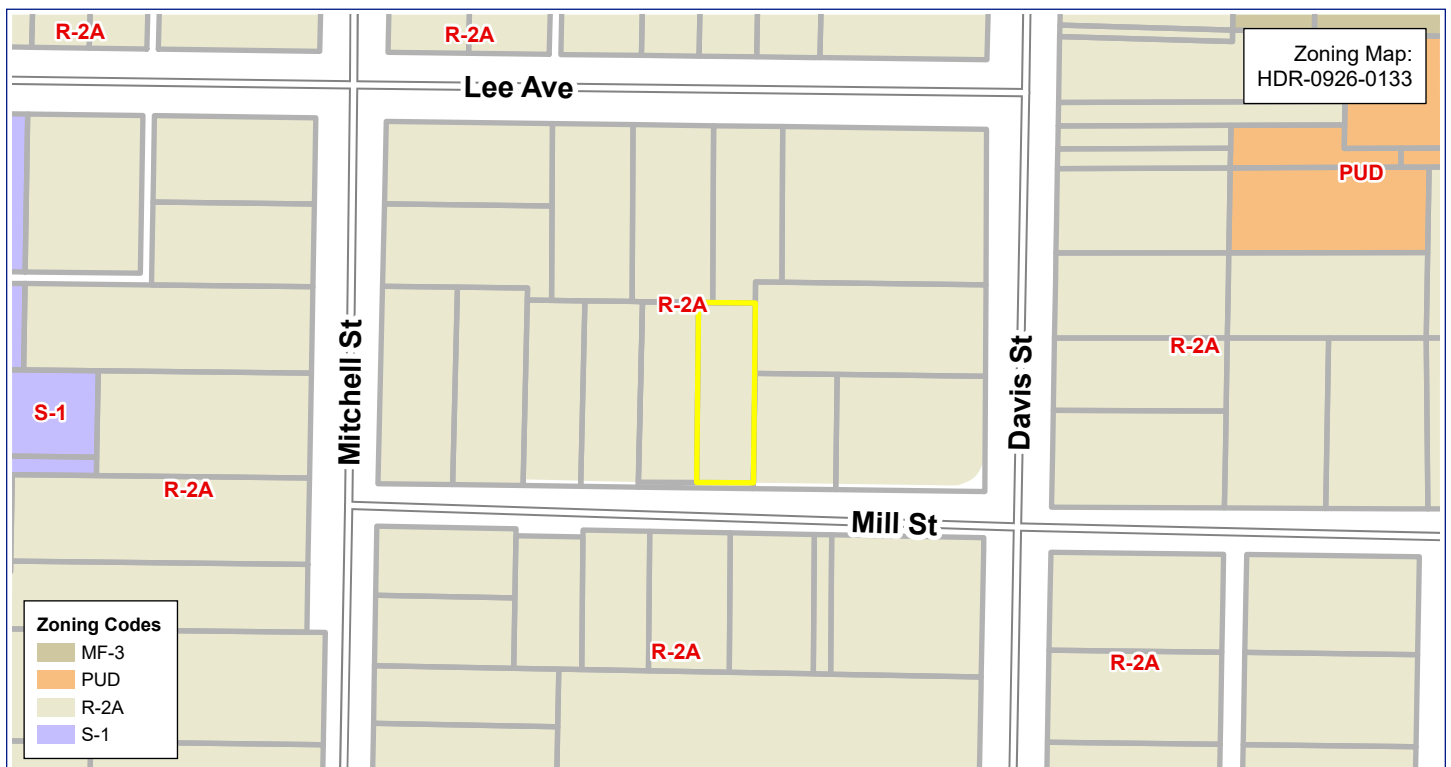
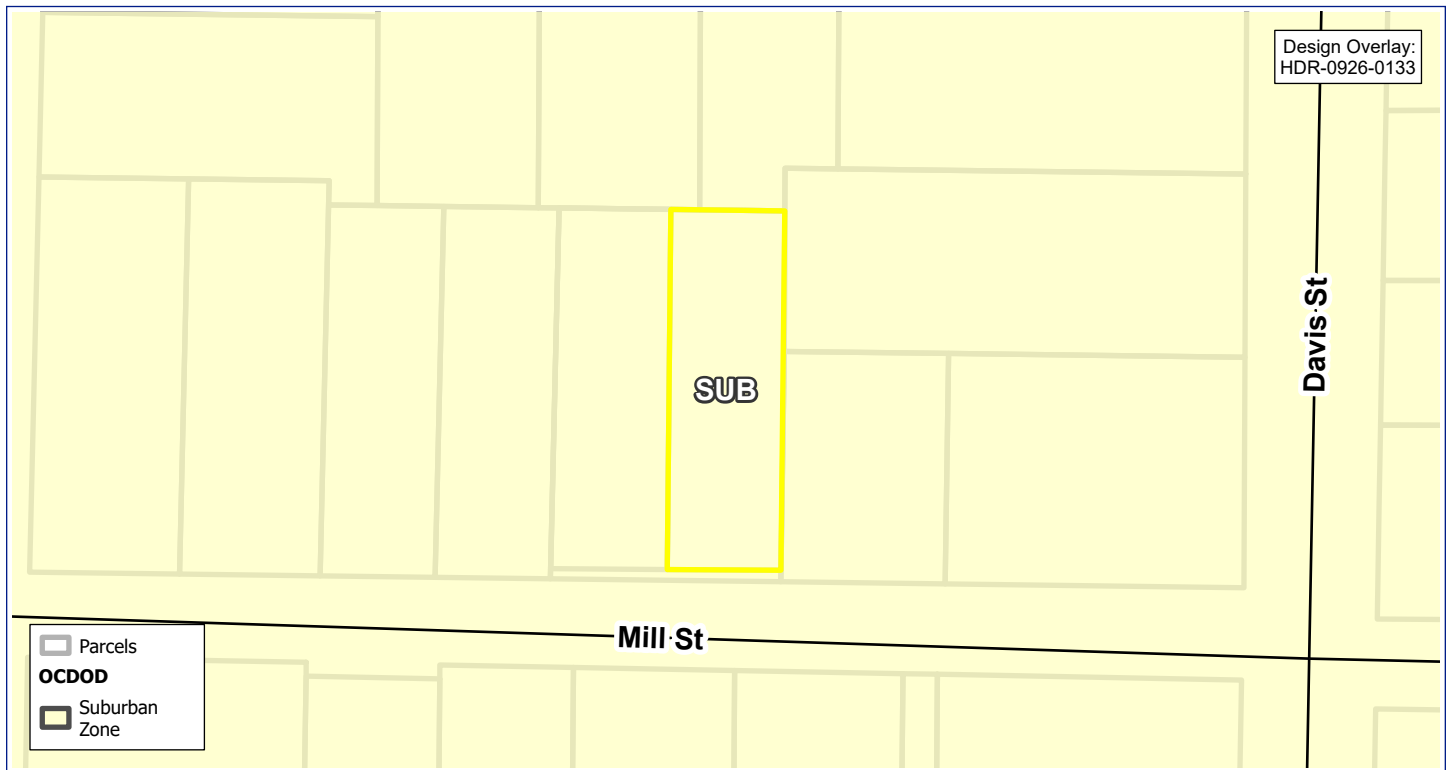


Adjacent property to the W



Adjacent property to the SW





Old Conway Design Overlay District

Applicant/Owner

Jermaine Orr
5130 Barn Owl Cv
Conway, AR 72034

SITE

Address: 1820 Mill St

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SR).

Abutting Zoning. North/South/East/West: R-2A, OCDOD-SR.

Lot Area. 0.18 acres ±.

Surrounding Area Structures. The property is located in the OCDOD-SR south of Mill St between Mitchell St and Davis St. Area structures consist of a mix of single-family homes in Craftsman, Gable, Ranch, contemporary, and minimal traditional styles.

General Description of Property and Proposed Development.

The application is proposing to construct a new 2,165sf single-family residence with front and rear porches and an attached carport. Also proposed is a concrete driveway and a concrete pad which abuts the carport to the rear. This is an infill development. The style of the proposed residence is reflective of a traditional ranch style home, with certain craftsman/bungalow characteristics.

Replat of Lot 226D Fidler's Survey created two new lots (SUB-0426-0057). The applicant is requesting to construct single-family residences on each lot under two separate applications (HDR-0926-0133 & HDR-0926-0135). This proposal is for a single-family residence on Lot 1 of the subdivision.

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. Side: 6' minimum; Rear: 5' or 15' from the centerline of alleyway in residential zones.

The average front setback for the area is 30', based on five homes on the same block. The applicant must set back the residence between 25' and 35' from the front property line. The applicant is proposing a front setback of 25'8". The proposed structure is 6'6" from the western side property line and 13'10-5/16" from the eastern side property line. The rear setback is 47'10". The proposal conforms.

To enhance the streetscape rhythm and to imitate incremental rather than planned development, the front setback on Lot 1 (1824 Mill St) could differ from that of Lot 2 (1820 Mill St).

Outbuilding Setbacks. Front: Rear of Principal Building; Side: 3 feet minimum; Rear: 5ft minimum

No outbuilding is proposed.

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The proposal conforms.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

The approximate footprint of the residence and the driveway is 3,365sf. The maximum permitted to meet the 60% lot coverage standard is 4,704sf. The proposal conforms.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door of this structure faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The applicant is proposing an attached carport at the rear of the lot.

Alley. There is no alley access to these lots.

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged. Driveway widths shall be between 10 and 15 feet in width.

The applicant has indicated a driveway off Mill St. near the eastern property line. A concrete driveway is proposed. It is 9' wide at the street and widens to 11' at its termination.

Sidewalks. Sidewalks are required for new construction projects.

A 5' sidewalk and 5' of greenspace is proposed. The sidewalk appears to be proposed at back of curb while the greenspace abuts the property line. The configuration must be switched with the greenspace between the sidewalk and the back of curb.

Fences/Walls. Fences shall be no more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards as deemed appropriate. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone. The upper two feet of privacy fencing should have 50% opacity, provided by a lattice or grid pattern of wood or iron.

No fencing is proposed. If any fencing is constructed it must meet this standard.

Tree preservation. Any trees over 8" in diameter or great must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

It appears that two trees are vulnerable to removal because of construction. On tree is proposed for planting along the street frontage.

M a s s i n g

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The proposal is for a single-story structure which is similar to most residences in the neighborhood. The width at approximately 29' will not be out of scale of the pattern of the neighborhood as the other

Old Conway Design Overlay District

structures are between approximately 30' and 50' wide. The proposed design respects the orientation and type of home found in the area.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprint will cover around 27% of the site which is similar to other structures on similarly sized lots in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structures will contain a level of detailing and form that is compatible with the patterns of the area with eaves, porches, and materials which complement the design.

Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. The total area of windows on a residential façade visible from the public realm shall be in a range of 25-40% of the total surface area. Window and door openings should relate to the size and proportions contained in the surrounding area.

Including the front door, the front façade contains approximately 25% windows and conforms. The right elevation which will be partially visible from the public realm is approximately 20-25% and the left elevation is approximately 10% windows.

Design Elements

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, modern, and contemporary elements. The design of the proposed residence seems to reflect a traditional ranch home with craftsman/bungalow characteristics.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

A front porch with a 6' depth is proposed and meets the requirements. Windows should have wide trim. The style of the home is not ornate and does not warrant special decorative elements at the entry.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

Lighting is proposed on porches and the front elevation.

Materials and Detailing

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

The applicant is proposing Hardie siding with brick accents as well as shake siding on the front façade eave.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

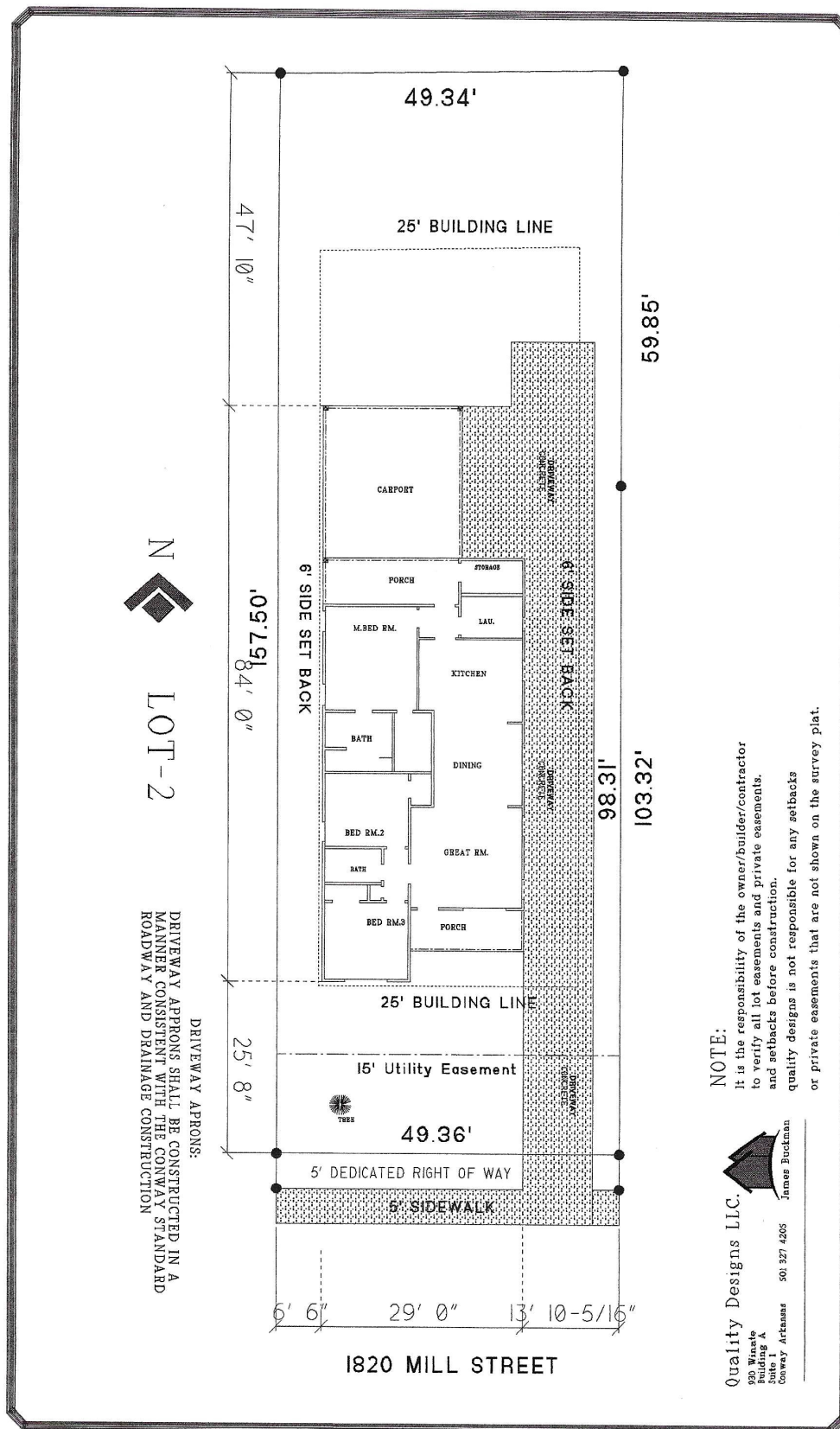
The applicant is proposing a gable roof with architectural shingles. This is compatible with surrounding homes.

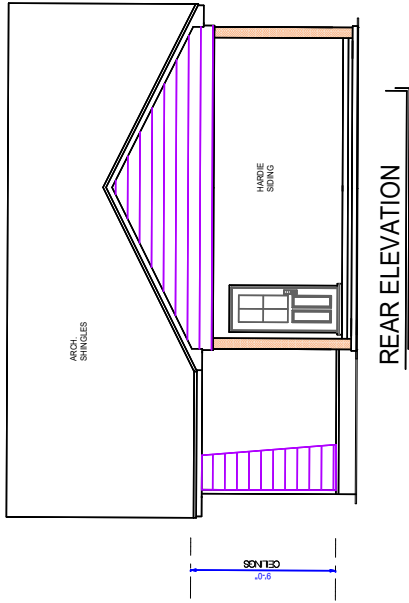
Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

No HVAC equipment is shown on the site plan.

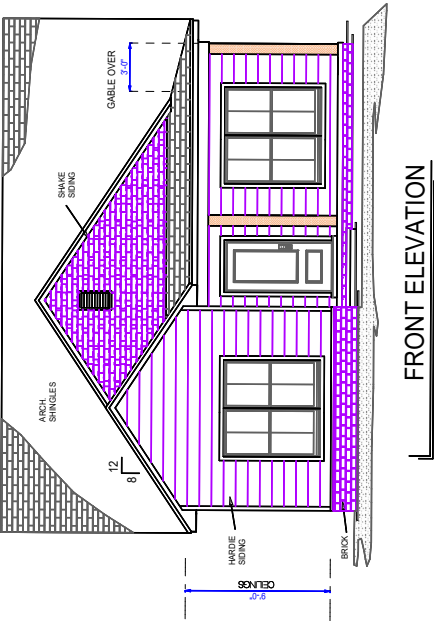
Conditions

1. Applicant must obtain all applicable building permits if/when a Certificate of Appropriateness is granted.
2. Prior to issuance of a Certificate of Appropriateness, the applicant shall provide a site plan showing:
 - a. Significant trees to be removed and to be retained
3. Fencing shall be no more than 6 feet tall and is only allowed in rear yards or side yards as deemed appropriate. Privacy fences shall be setback from the front façade at least one-half the distance between the front and rear walls of the structure with it transitioning down to 3.5 feet tall as it transitions to the front and/or side yard. Fences may be constructed of wood or a wood-like material.
4. One tree shall be planted. If beneath the power line it shall be an understory tree and if away from the power line it shall be a canopy tree. Any significant trees removed must be replaced at a 1:1 ratio.
5. Driveway shall be concrete, pavers, or permeable paving and shall not exceed 15' in width.
6. A 5' sidewalk with greenspace between the back of curb and the sidewalk. Greenspace should be 6.5' in width but a lesser amount may be considered if right-of-way and street configuration cannot accommodate this width. In no instance shall a sidewalk less than 5' be permissible.
7. Lighting shall be downward and inward toward the property.
8. HVAC equipment shall be screened from public view.

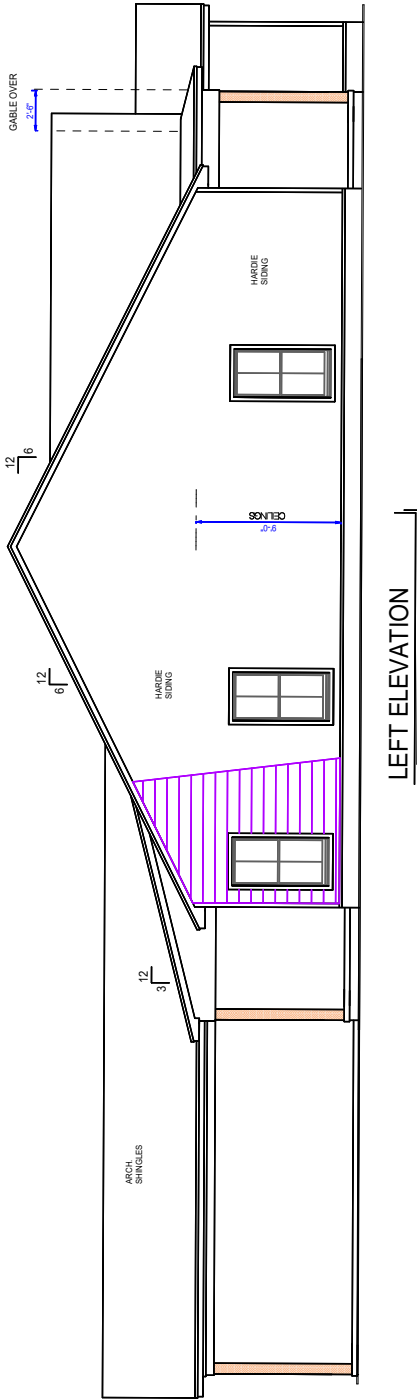




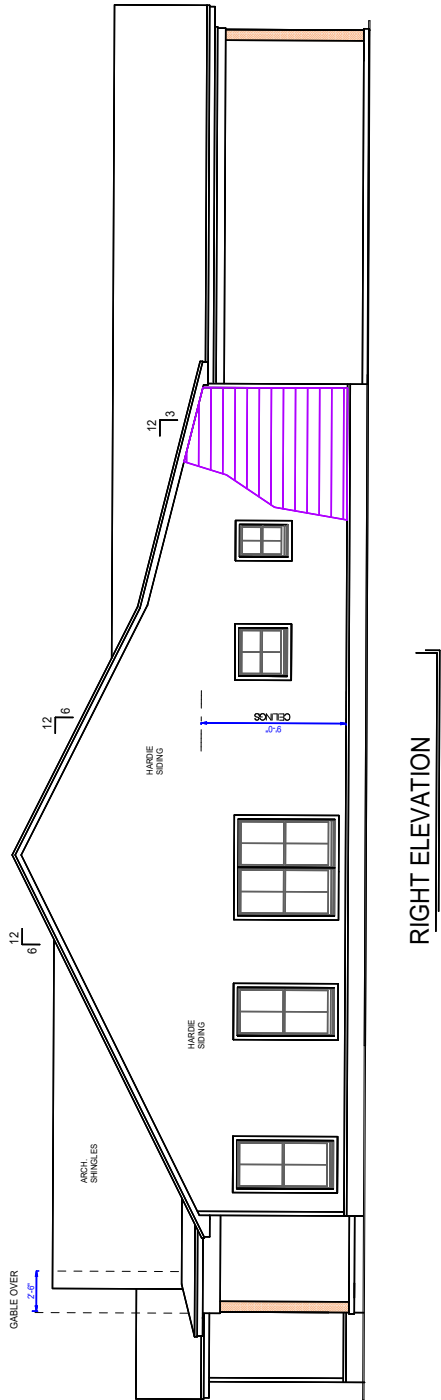
REAR ELEVATION



FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



View of subject property facing N



Looking W down Mill St



Adjacent property to the E



Adjacent property to the S

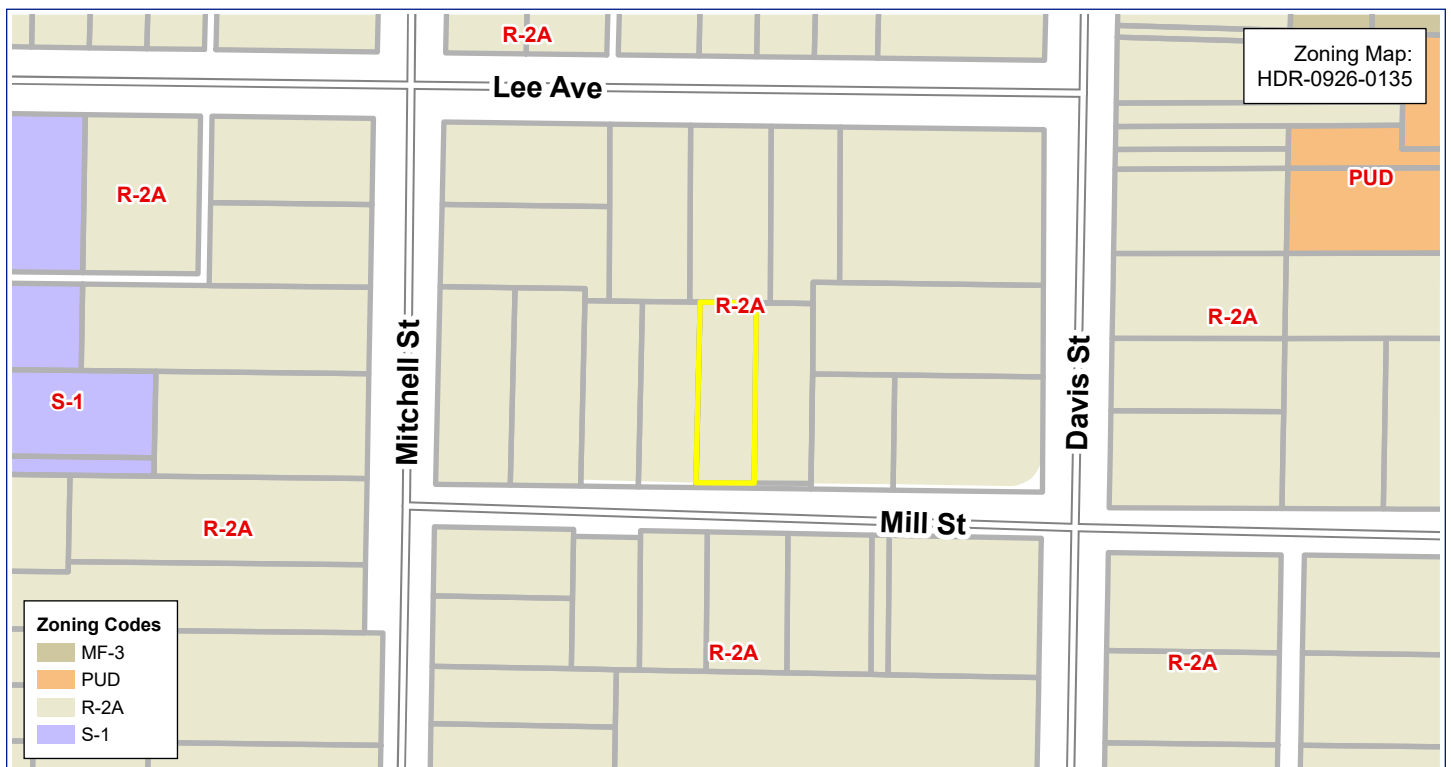
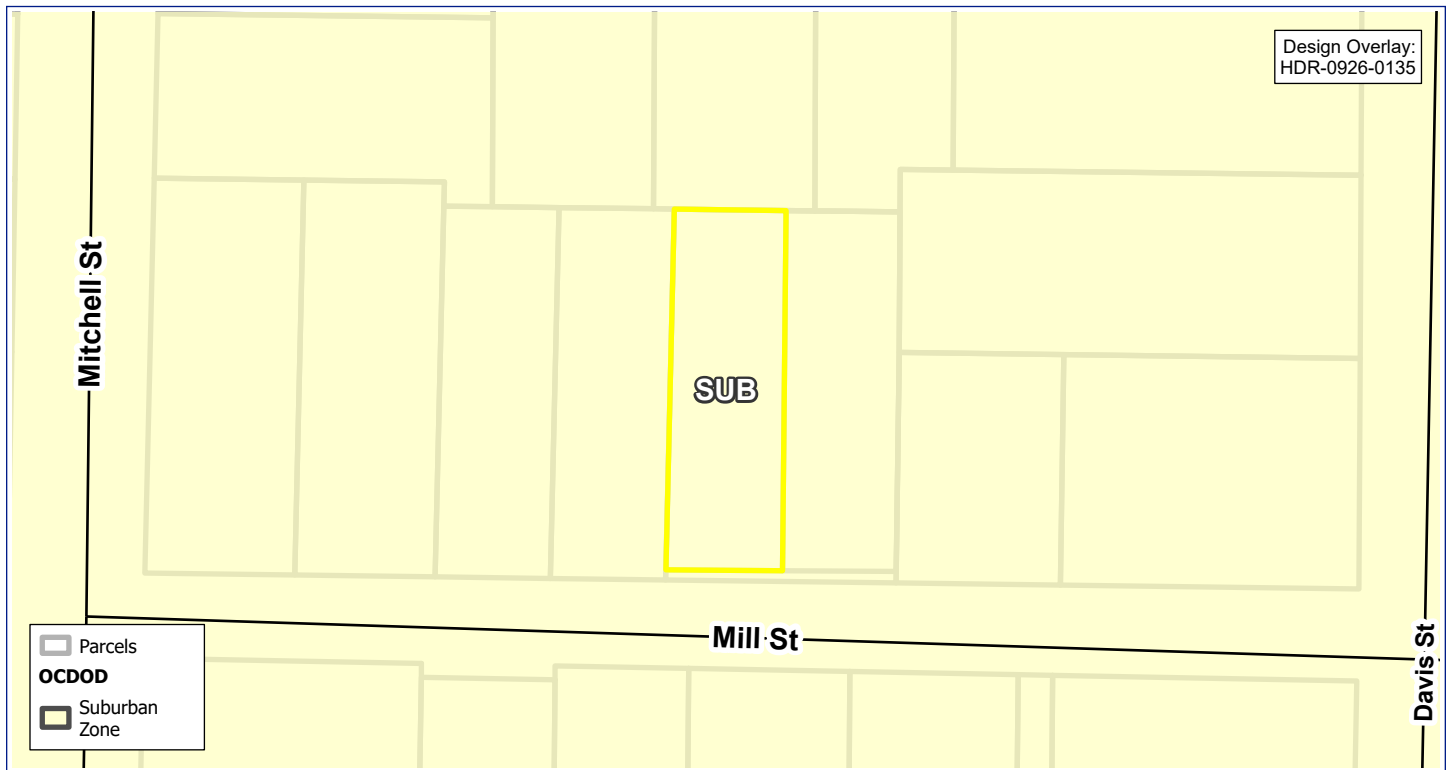


Adjacent property to the W



Looking SE from project site





Old Conway Design Overlay District

Applicant/Owner

Jermaine Orr
5130 Barn Owl Cv
Conway, AR 72034

SITE

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Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SR).

Abutting Zoning. North/South/East/West: R-2A, OCDOD-SR.

Lot Area. 0.18 acres ±.

Surrounding Area Structures. The property is in the OCDOD-SR south of Mill St between Mitchell St and Davis St. Area structures consist of a mix of single-family homes in Craftsman, Gable, Ranch, contemporary, and minimal traditional styles.

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Old Conway Design Overlay District

between approximately 30' and 50' wide. The proposed design respects the orientation and type of home found in the area.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprint will cover around 28% of the site which is similar to other structures on similarly sized lots in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

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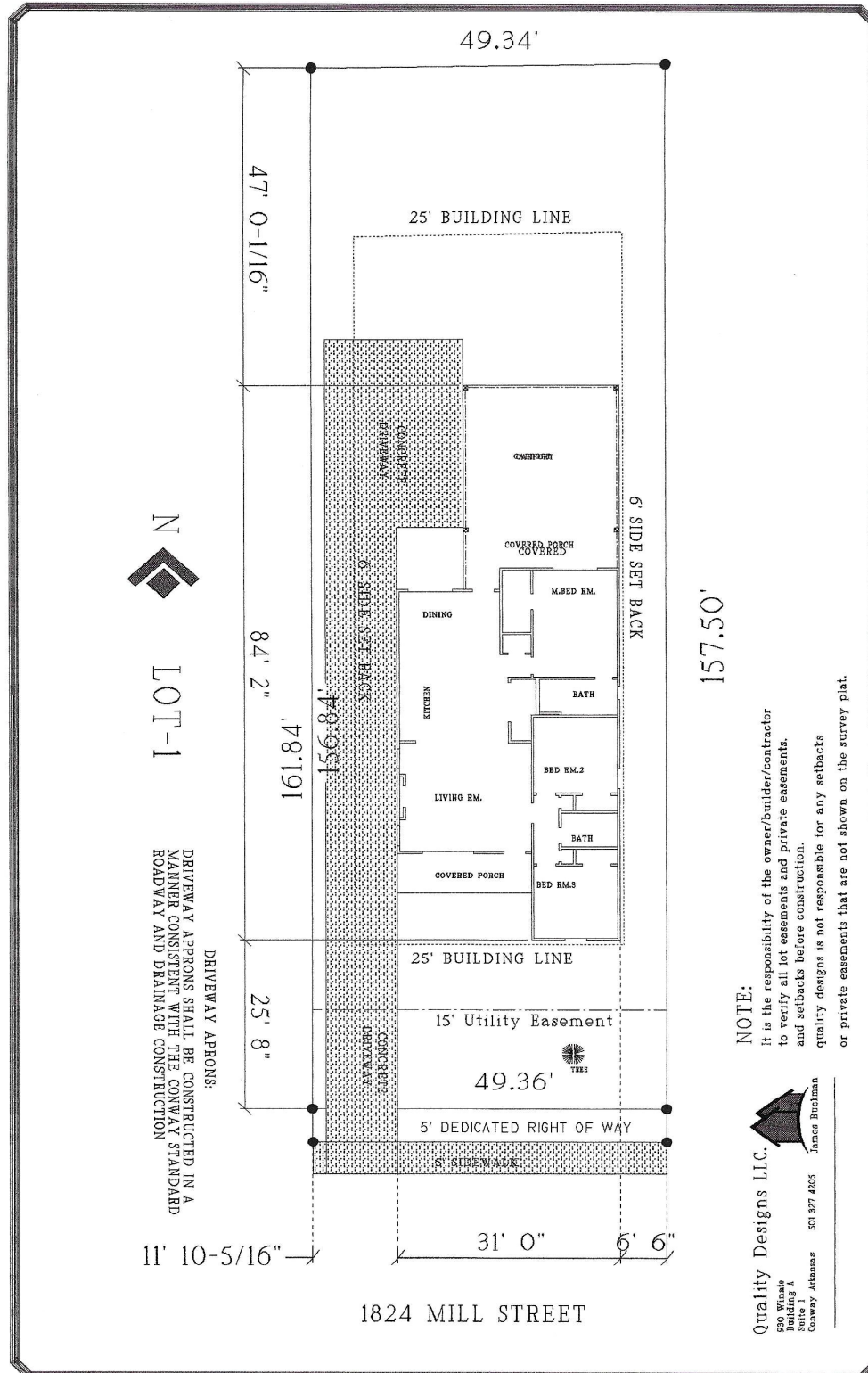
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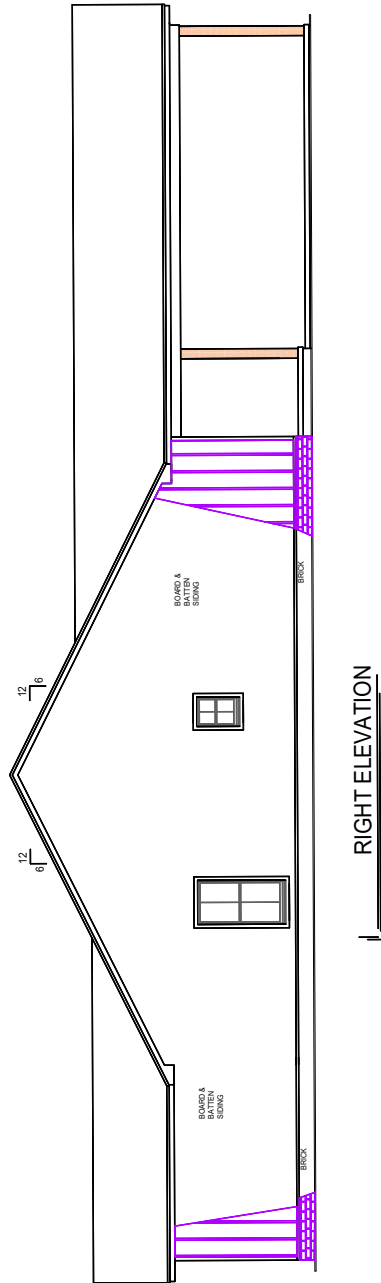
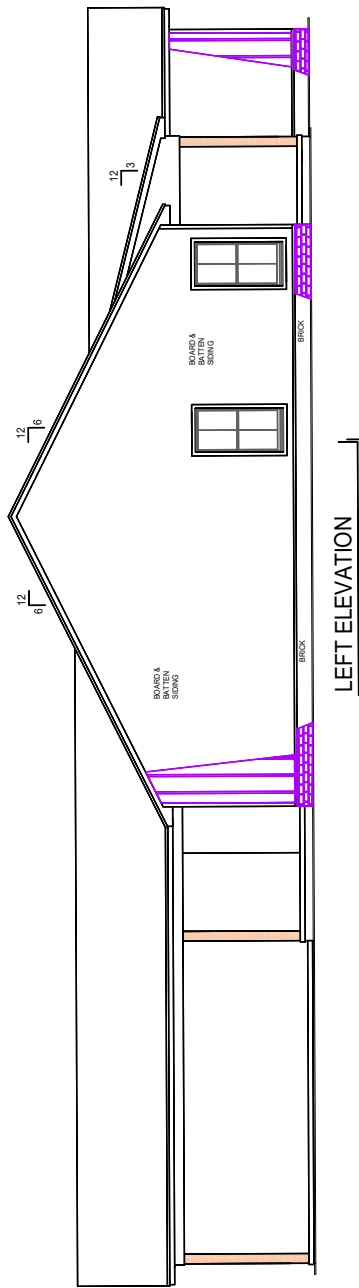
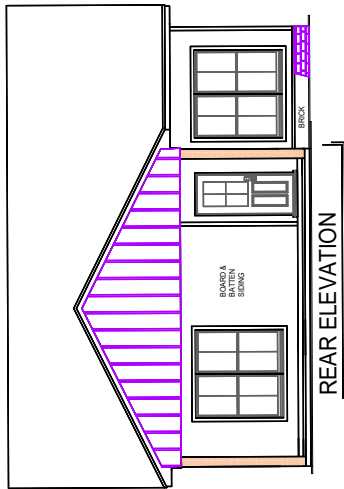


NOTE:

It is the responsibility of the owner/builder/contractor to verify all lot easements and private easements, and setbacks before construction. Quality designs is not responsible for any setbacks or private easements that are not shown on the survey plat.

Quality Designs LLC.

280 W. Main
Building 4
Suite 1
Conway Arkansas 72034
James Buchman
501 327 4205





View of subject property facing N



Looking W down Mill St



Adjacent property to the E



Adjacent property to the S



Adjacent property to the W



Looking SE from project site

The following items, which do not require public hearings or Historic District Commission action, have been reviewed and approved by the Director of Planning & Development and are being reported to the Historic District Commission as required.

Item

- Administrative approval of a fence at 2022 Weems St (HDR-0926-0134)