



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

August 24, 2026 • 5:30pm • 1111 Main Street



City of Conway HISTORIC DISTRICT COMMISSION

August 24, 2026

MEMBERS

Vacant, Chairman
Vacant, Vice-Chairman
Marilyn Moix, Secretary
Nathaniel Johnson Jr.
Jason Covington
Ali Dyer
Junior Dixon
Joanna Nabholz
Brianna Wiggins

Call to Order.

Roll Call.

Approval of Minutes. June 22, 2026

I. Elections

A. Election of Chair & Vice-chair to fill vacancies for the remainder of 2026

II. Public Hearing Items - Robinson Historic District

A. 1511 Caldwell St (HDR-0626-0092) Demolition

B. 1511 Caldwell St (HDR-0726-0100) New Single-Family Residence

III. Public Hearing Items - Old Conway Design Overlay District

A. 1806 Washington Ave (HDR-0726-0101) Addition - **Request for motion to postpone due to pending application requirements**

B. 124, 130, 136 Conway Blvd (HDR-0726-0117) Multi-family development

C. 1419 College Ave (HDR-0726-0110) Accessory Structure

IV. Additional Business

A. Additional items as decided by the Commission

Adjourn.

In accordance with Historic District Commission by-Laws, Article II, Section 2.05, *“The Commission shall meet and organize by electing from its members a Chairman, a Vice Chairman and a Secretary. The Chairman, herein referred to as the ‘Chair’, shall hold no other municipal office or appointment. Officer terms shall run from January to December.”*

Chair:

The Chair shall preside at all meetings and hearings of the Commission, shall sign all approved minutes and other appropriate documents on behalf of the Commission, and, in coordination with Planning staff, be responsible for the orientation and training of new members.

Vice-Chair:

The Vice-Chair assumes all duties of the Chair in the Chair's absence.

APPLICANT/AUTHORIZED AGENT

JT Dixon, Sowell Ferris Architects
1123 Front St Suite 1
Conway, AR 72032

OWNER

Matt Barnhardt, Trustee
Ashton NE14 Trust
P.O. Box 1167
Conway, AR 72033

**LOCATION**

Address. 1511 Caldwell St.

Present Zoning. O-2 (Quiet Office District), Asa P. Robinson Historic District (APRHD). Active Conditional Use Permit to allow single-family use in a O-2 district (CUP-0326-0033).

Abutting Zoning. North: C-1 (Central Business District) and R-2A (Two-Family Residential District); East: O-2; South: O-2; West: O-2 & R-2A.

Lot Area. 0.13 acres±.

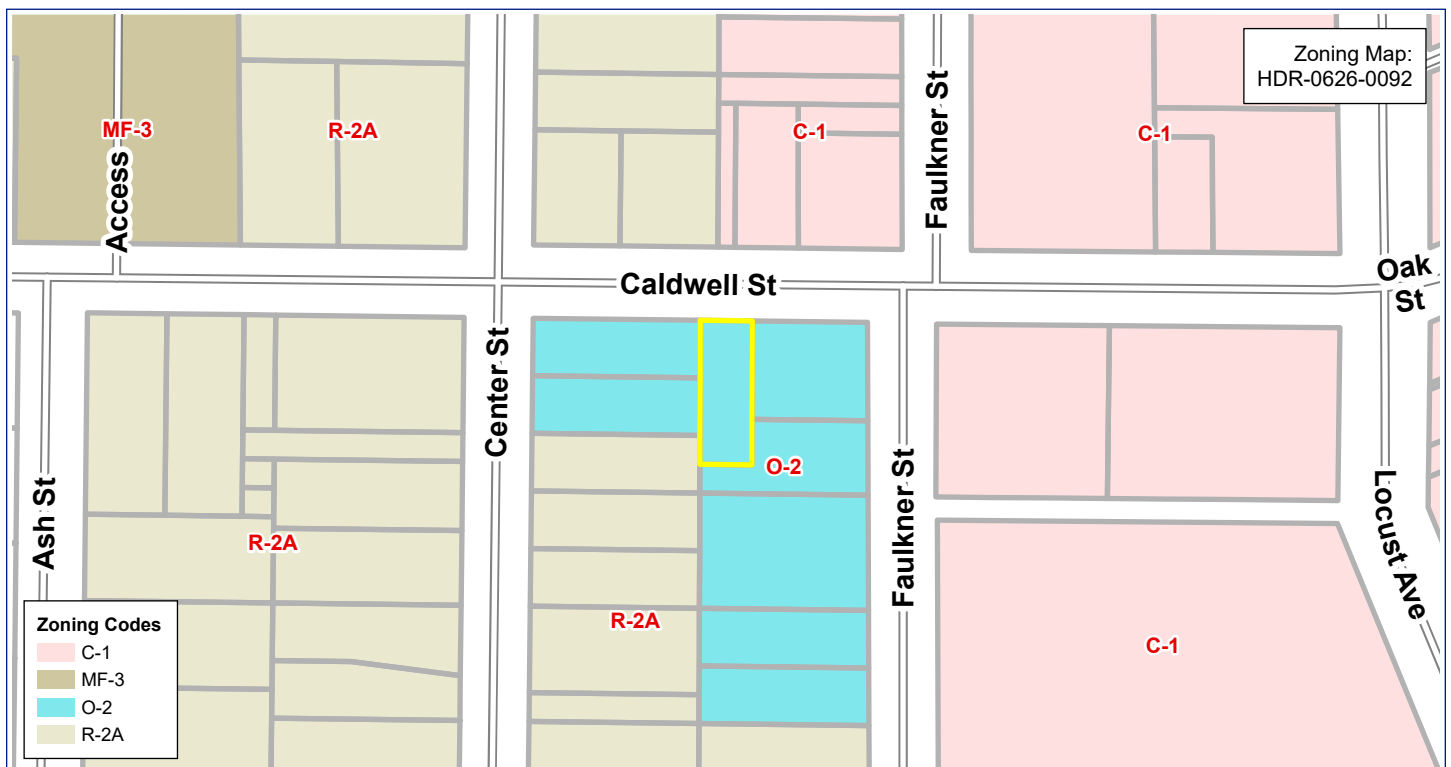
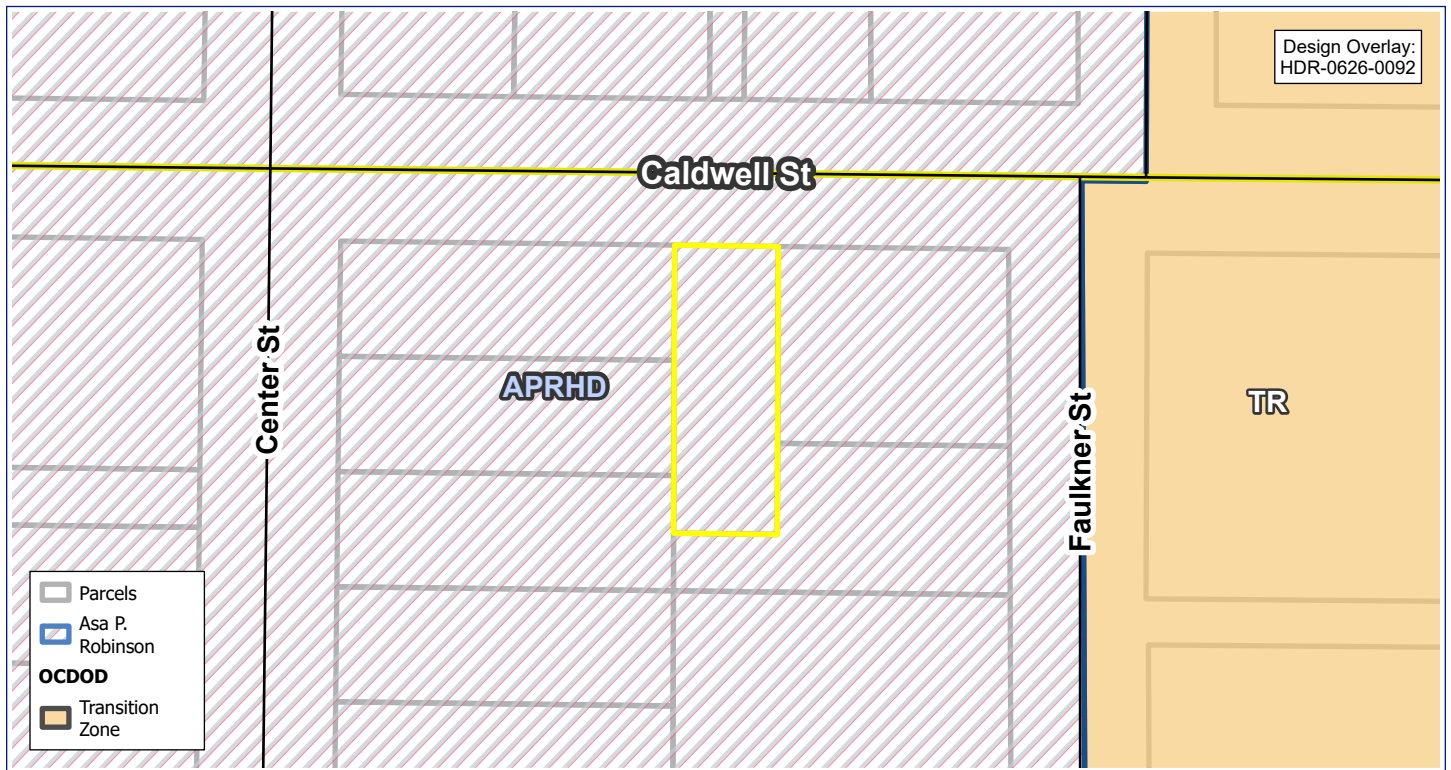
Surrounding Area Structures.

West – 1517 Caldwell – W.B. Wilson House - c.1904 (Queen Anne/Eastlake; Non-Contributing).

East – 1507 Caldwell - c.1924 (Colonia Revival; Contributing).

North – 1512 A&B Caldwell - c.1940 (Plain/Traditional; Contributing).

South – 837-839 Faulkner - c.1936 (Plain-Traditional/Ranch; Contributing).



General Description of Property and Proposed Development. On March 30, 2026, the Historic District Commission approved a remodel Certificate of Appropriateness for the subject property (HDR-0326-0033). Also approved through HDR-0326-0033 was the demolition of an outbuilding.

A conditional use permit was granted to utilize the existing structure as a single-family residence on April 28, 2026 (CUP-0326-0033).

Building permits were issued for the remodel work on June 5, 2026 (BR-0626-0839). Once construction was initiated, it became apparent that extensive termite damage had occurred. As a result, the applicant reached out to Planning and Building staff requesting information regarding demolition of the structure. According to the applicant, the damage is so extensive that the existing structure cannot be salvaged and must be replaced.

The structure was built in 1923 and is a non-contributing structure. It is referred to as the "Brooks House" and is characterized as "Bungalow/folk Victorian style" in the 2020 survey documents.

The 2020 Survey documents do not specify the reason that the structure was determined to be "non-contributing". The architectural comments noted on the survey document are:

"Replacement porch columns and decorative brackets-not original. Rear shed is not original."

There were no known threats to the property noted on the survey document in 2020. The termite damage was not evident until siding, flooring, sheetrock, etc. were removed.

DEMOLITION

Demolition of a building which contributes to the historic or architectural integrity of the district should not occur, unless:

1. Public safety and welfare requires the removal of a building or structure as determined by the building or code inspector and concurring reports commissioned by and acceptable to the HDC from a structural engineer, architect, or pertinent professional. The building official and pertinent reports shall specify the deficiencies of the structure that cause the structure to be unsafe and an imminent threat to public safety.

The applicant has provided photographic evidence showing the extent of the termite damage. The applicant has also provided a "Structural Condition and Safety Report" detailing the extent of the damage, the manner in which it compromises the integrity of the structure, and the infeasibility and impracticality of rehabilitating any remaining viable components.

2. Where economic hardship (no reasonable return on or use of the building exists) has been demonstrated and proven. *The existing structural components are not salvageable as they have rotten and succumb to termite damage. The return on investment was not analyzed as it is not applicable.*

3. Where rehabilitation is undesirable due to severe structural instability or deterioration that has been documented and proven. *The applicant has provided a visual and written narrative documenting the severity of the structural instability.*

4. The building has lost its original architectural integrity and is deemed as no longer contributing to the district. *This is a non-contributing structure.*

5. No other reasonable alternative is feasible, including relocation of the building. *The structure would likely collapse if relocated. Relocation is not a feasible alternative.*

6. To ensure public safety and welfare. *The structure is not habitable.*

GUIDELINES

Before demolition, record significant structures through archival photographs and/or detailed architectural drawings as specified by the HDC.

Photographs before siding was removed were taken for HDR-0326-0027. The applicant has provided drawn elevations as well.

Before demolition, work with the HDC and other interested parties to salvage usable architectural materials and features.

It is recommended that the original windows be salvaged and incorporated into the new construction and/or provided to another historic preservation project.

Before demolition, submit a site plan to the commission illustrating proposed site development or plantings to follow demolition. After demolition, plant or develop the site promptly as approved in the proposed site plan.

There is a concurrent HDC application for the proposed redevelopment (HDR-0726-0100). The proposal is for a single-family residence similar in size, style, and orientation to the structure being proposed for demolition. Should the application be approved, the applicant will have two years to re-develop according to the Certificate of Appropriateness.

During demolitions, ensure the safety of any adjacent properties, and historic resources. Also, during and after demolition, protect trees on the site from damage due to compaction of the soil by equipment or materials.

The project is conditioned to ensure protection of trees. The applicant must follow demolition permit requirements.

After demolition, clear the site promptly and thoroughly.

The applicant intends to rebuild immediately. The project is conditioned to ensure debris removal.

CONDITIONS

1. Applicant must obtain all applicable building/demolition permits if/when a Certificate of Appropriateness is granted.
2. Usable architectural materials and features shall be salvaged as is feasible and utilized in new construction or provided for other preservation projects.
3. Trees shall be protected from compaction and removal during demolition.
4. After demolition, the site shall be cleared of debris.



Structural Condition and Safety Report

Project: 1511 Caldwell Street, Conway, AR

Date: 08.18.2026

Prepared By: Sowell Ferris Architects

Purpose

This report has been prepared at the request of the Historic District Commission to document the deficiencies observed within the existing structure and to describe the conditions that contribute to the structure being unsafe and an imminent threat to public safety.

Existing Conditions

A visual inspection of the exposed portions of the structure revealed extensive deterioration of the existing wood framing. The deterioration is consistent with prolonged termite infestation, with additional evidence of significant decay and moisture-related deterioration.

The following conditions were observed:

- **Extensive termite damage to wall framing:** Multiple wood studs and framing members have been severely compromised by termite activity. Portions of the wood members have been reduced to a loose, porous material with extensive voids and loss of structural material. In several locations, the remaining wood is severely deteriorated and no longer appears capable of reliably performing its intended structural function.
- **Significant deterioration of floor framing:** Exposed floor framing shows extensive damage to floor joists and associated framing members. The existing floor joists were observed to consist primarily of approximately 2x4 and 2x6 members. In addition to their relatively small size, several members have substantial deterioration and loss of their original cross-section, with portions appearing fragmented, damaged, or missing altogether.
- **Deteriorated wall-to-floor connections:** The areas where the floor framing bears on or connects to the exterior wall framing exhibit significant deterioration. The supporting wood members are substantially damaged, compromising the ability of the framing to safely transfer floor loads to the supporting structure.
- **Deteriorated sill and lower wall framing:** The lower portions of the wall framing contain extensive decay and insect damage. In several



locations, the wood has deteriorated to the point that portions of the framing can no longer provide reliable bearing or fastening surfaces.

- **Undersized roof framing:** The existing roof framing was observed to consist of approximately 2x4 and 2x6 wood members. These relatively small framing members provide limited capacity and would require evaluation based on their actual spans, spacing, species, grade, and roof loading. Given the age and condition of the structure, combined with the observed deterioration, the existing roof framing would require substantial evaluation and likely replacement to provide a reliable modern structural system.
- **Inadequate floor-to-ground clearance:** In areas where the floor system was exposed, there was insufficient clearance between the underside of the floor framing/finish floor assembly and the soil below. The limited separation from the ground creates an environment susceptible to moisture accumulation, decay, and continued termite activity and does not provide the minimum clearance required by current building code provisions. Correcting this condition would require substantial modification of the existing floor and/or foundation system.
- **Loss of structural material:** The observed termite damage is not limited to superficial surface damage. The photographs show deep channels, voids, and substantial loss of material within the wood members. This type of deterioration significantly reduces the effective strength and load-carrying capacity of the affected members.
- **Widespread rather than isolated deterioration:** The damage is present in multiple areas of the structure and affects several interconnected portions of the framing system. As a result, the condition cannot reasonably be characterized as isolated termite damage that could be addressed through localized treatment alone.

Effect on Structural Integrity

The existing framing system relies upon the walls, floor joists, roof framing, sill members, and their connections to safely support the building and transfer loads to the foundation. The extensive deterioration observed in these components compromises that load path.

The relatively small existing roof and floor framing members, combined with extensive termite damage and deterioration, further reduce confidence in the capacity of the existing structural system. The framing would need to be evaluated based on current structural loading requirements, and the extent of deterioration makes it impractical to rely upon the existing members without substantial replacement.



The inadequate separation between the floor system and the soil below creates conditions conducive to moisture-related deterioration, wood decay, and continued termite activity. Correcting the clearance deficiency would require significant alteration to the existing construction.

Because significant portions of the wood framing have experienced substantial loss of material, it is not possible to rely upon the existing members to perform as originally intended. The condition of the framing also makes it difficult to establish reliable connections between new and existing materials without extensive removal and reconstruction.

The observed conditions present a safety concern because further deterioration or failure of already-compromised framing could result in localized structural failure, including failure of floor or wall framing. The compromised floor framing also creates an immediate hazard to anyone entering or working within the affected areas.

Feasibility of Salvage

The extent of the deterioration makes preservation of the existing structural framing impractical. The damage is not limited to replaceable surface materials or a small number of individual members. Significant portions of the structural system—including wall framing, floor framing, roof framing, sill members, and supporting/interconnecting members—would require removal and replacement.

Additionally, the existing roof and floor framing would require evaluation and significant upgrading to meet current structural requirements, while the inadequate separation between the floor system and soil would require substantial corrective work.

Attempting to retain the existing damaged framing would require extensive shoring, removal of deteriorated materials, replacement of numerous interconnected framing members, correction of the floor-to-ground clearance condition, and reconstruction of the affected portions of the building. In many locations, there is insufficient sound material remaining to provide dependable connections between existing and replacement framing.

Based on the observed conditions, the affected portions of the structure cannot reasonably be salvaged through localized repairs or termite treatment. Substantial reconstruction of the structural framing and building components would be required to restore the building to a safe and serviceable condition.

Conclusion

Based on the visual conditions observed, the structure contains extensive deterioration associated with prolonged termite infestation, decay, and loss of



structural wood material. The deterioration affects critical structural components, including wall framing, floor framing, roof framing, sill/lower wall framing, and the connections between these components.

The structure also contains additional deficiencies, including relatively small existing roof and floor framing members and inadequate separation between the floor system and the soil below. These conditions, combined with the extensive deterioration, would require significant structural evaluation, correction, and reconstruction.

The severity and extent of the deterioration have compromised the integrity of the existing structural system and create a significant safety hazard. The condition is sufficiently extensive that localized repair or treatment is not a reasonable means of restoring the structure. Substantial removal and reconstruction of the affected structural components would be required.

In its existing condition, the deteriorated framing should be considered unsafe for occupancy and for unrestricted access until the affected structural components are adequately shored, removed, or replaced. The extent of deterioration and deficiencies documented in the photographs support the conclusion that the existing structure cannot reasonably be salvaged in its current form and that substantial reconstruction is necessary to eliminate the existing safety deficiencies.

This report is based on visual observations of exposed conditions and the accompanying photographic documentation. Concealed conditions may exist that are not visible without additional demolition or investigation.

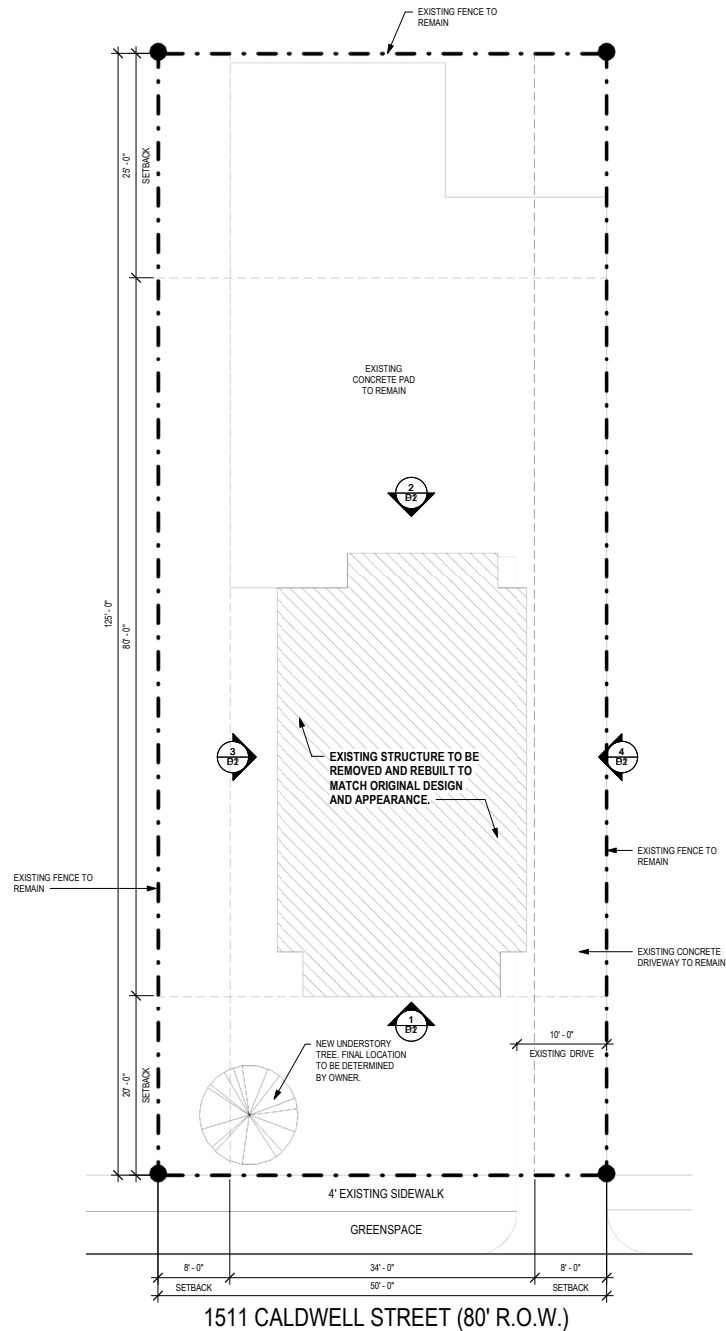










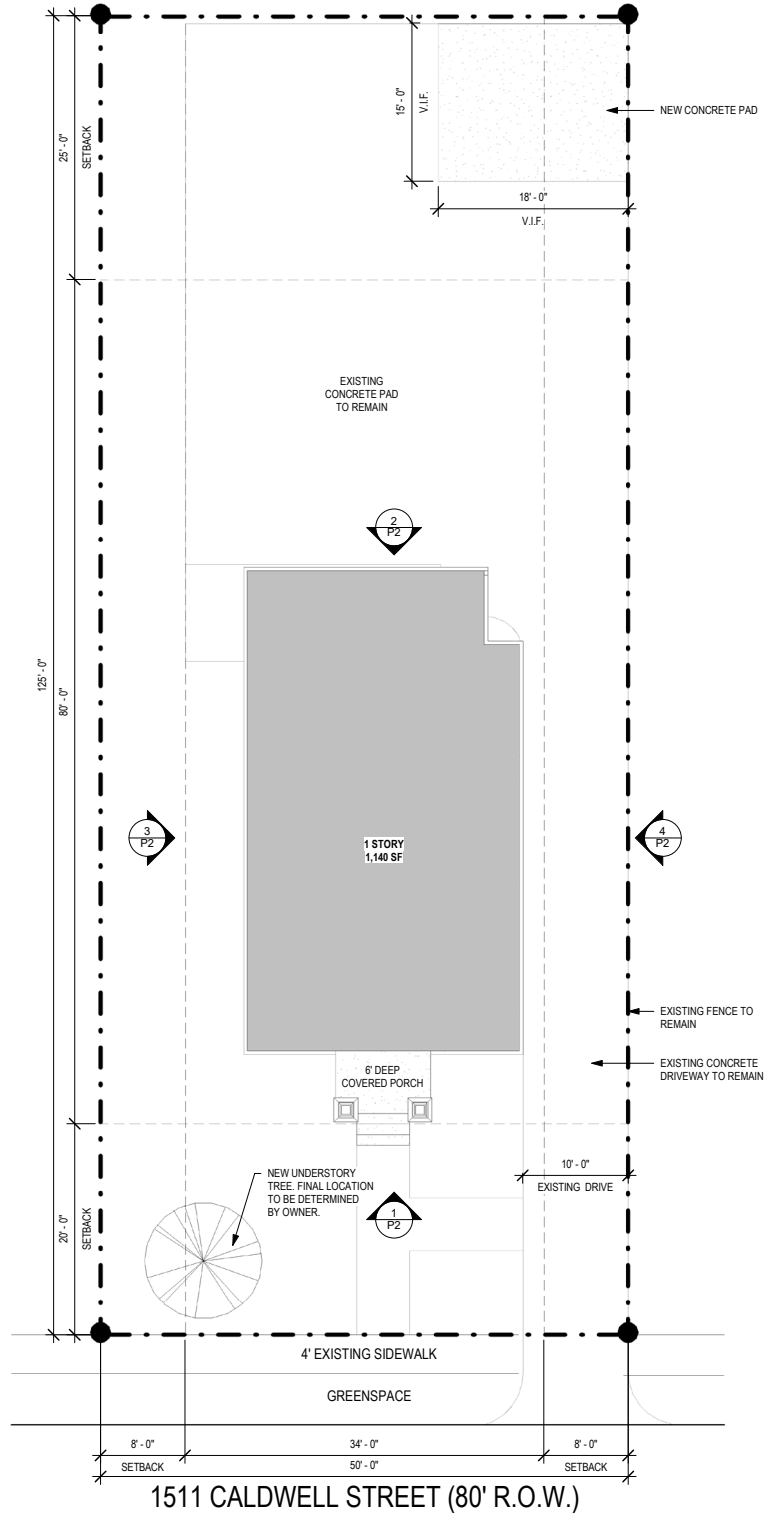


1 SITE PLAN
1/8" = 1'-0"

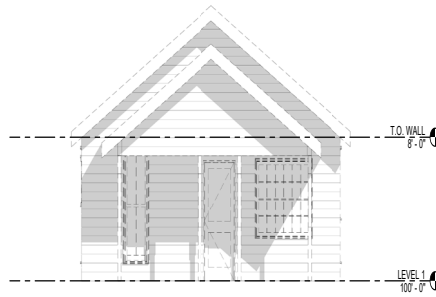
ADCOCK RESIDENCE ARCHITECTURAL SITE PLAN

26.06.17

PROPOSED REBUILD HDR-0726-0100



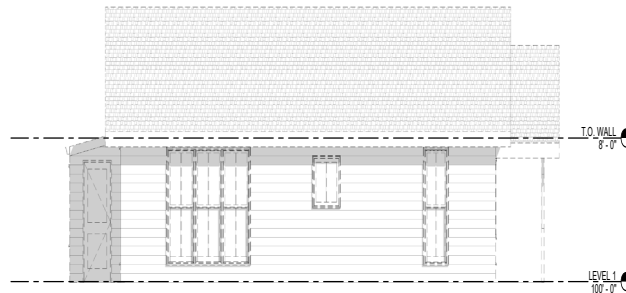
1 SITE PLAN
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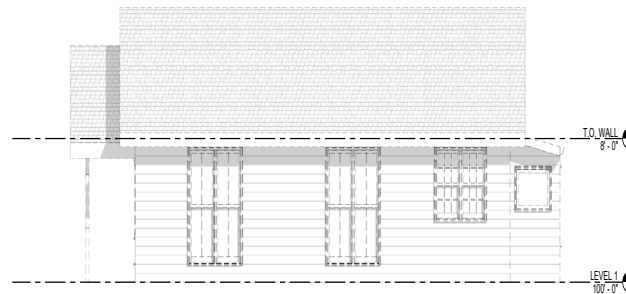
1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"

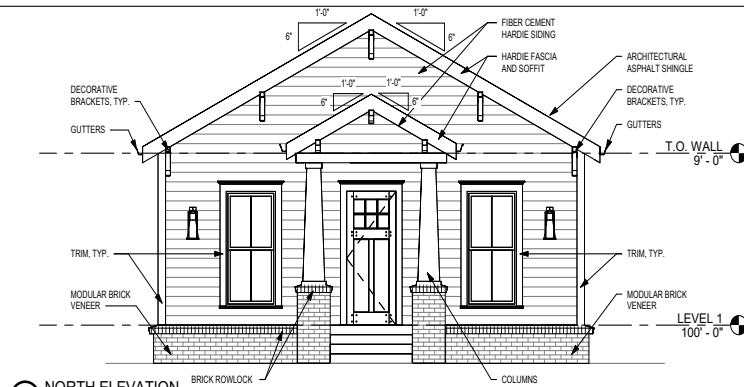


4 WEST ELEVATION
1/4" = 1'-0"

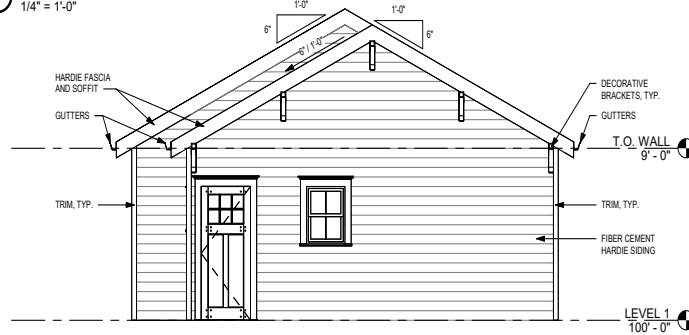
EXISTING STRUCTURE TO BE
REMOVED AND REBUILT TO
MATCH ORIGINAL DESIGN
AND APPEARANCE.

ADCOCK RESIDENCE EXTERIOR ELEVATIONS

26.06.17

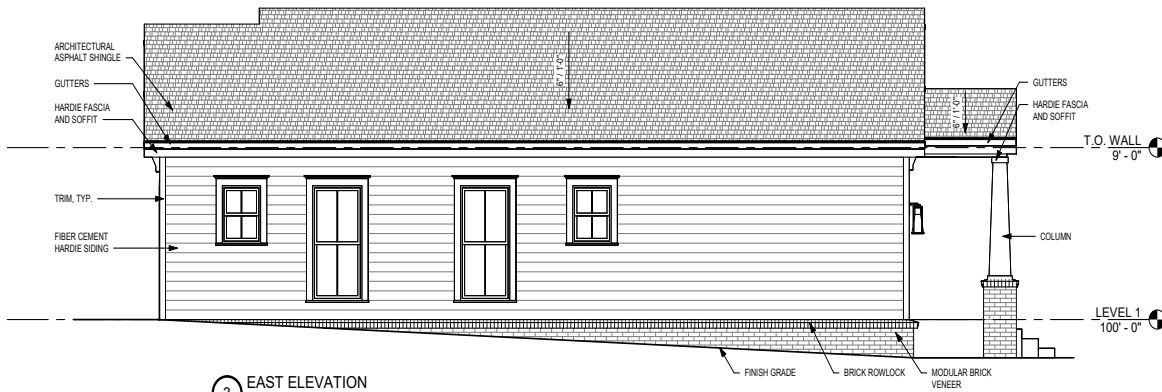


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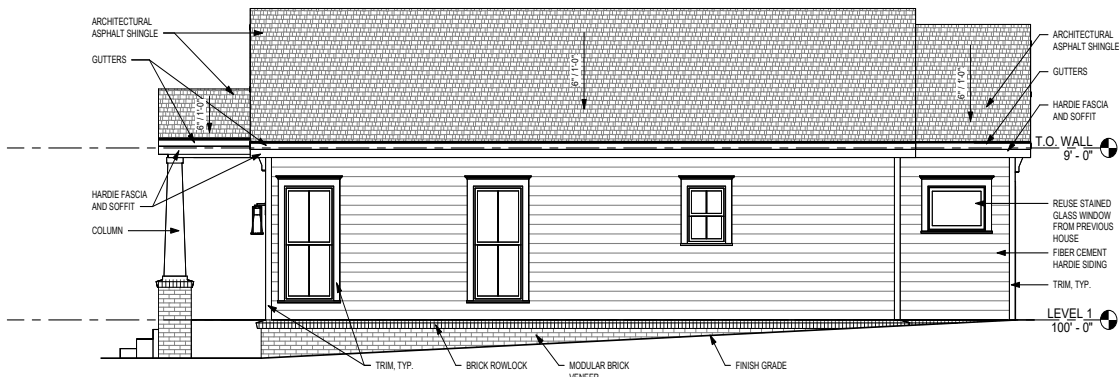


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PROPOSED REBUILD HDR-0726-0100



3 EAST ELEVATION
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4 WEST ELEVATION
1/4" = 1'-0"

ADCOCK RESIDENCE EXTERIOR ELEVATIONS

26.07.07



View of subject property facing S



View of subject property facing SE



View of subject property facing SW



Adjacent property to the E



Adjacent property to the W



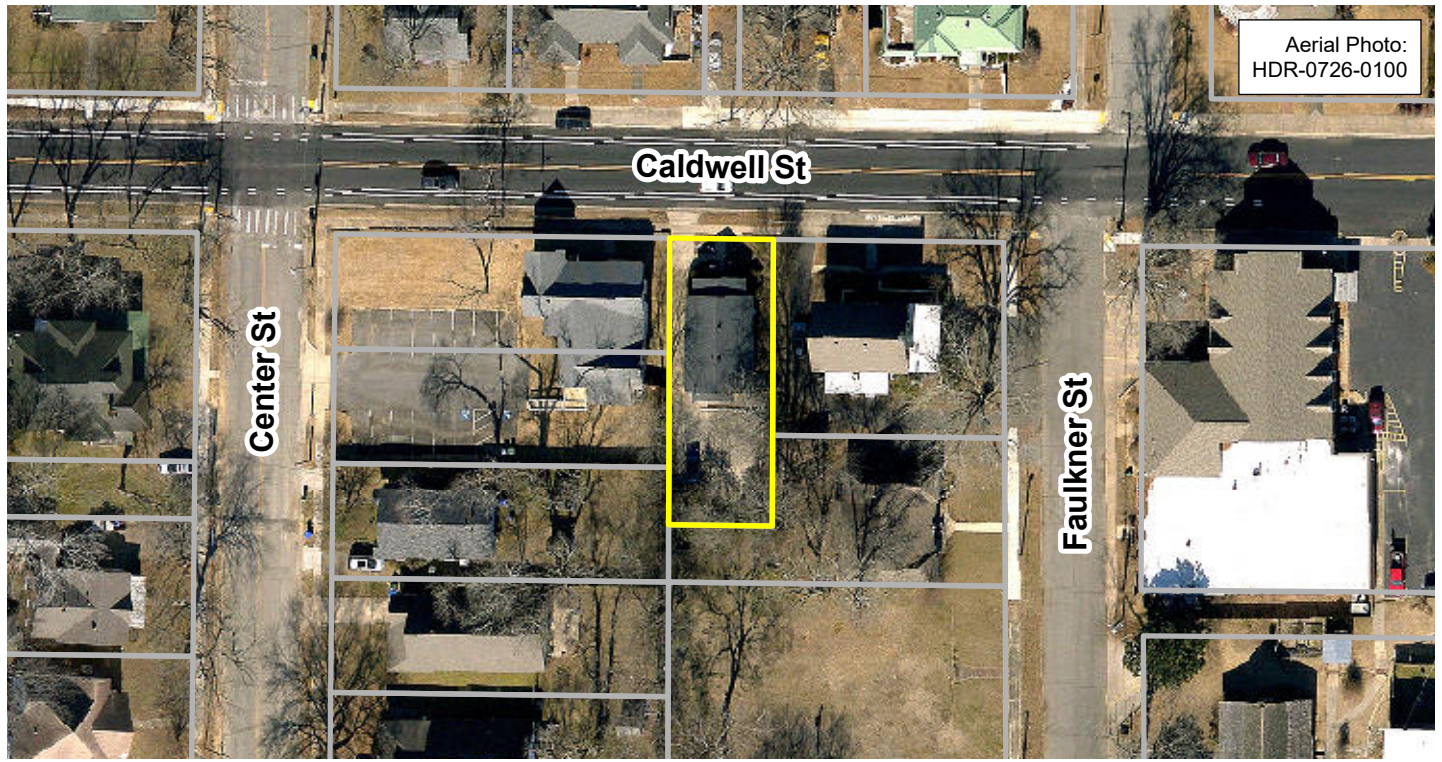
Adjacent properties to the N across Caldwell St

APPLICANT/AUTHORIZED AGENT

JT Dixon, Sowell Ferris Architects
1123 Front St Suite 1
Conway, AR 72032

OWNER

Matt Barnhardt, Trustee
Ashton NE14 Trust
P.O. Box 1167
Conway, AR 72033

**LOCATION**

Address. 1511 Caldwell St.

Present Zoning. O-2 (Quiet Office District), Asa P. Robinson Historic District (APRHD). Active Conditional Use Permit to allow single-family use in a O-2 district (CUP-0326-0033).

Abutting Zoning. North: C-1 (Central Business District) and R-2A (Two-Family Residential District); East: O-2; South: O-2; West: O-2 & R-2A.

Lot Area. 0.13 acres±.

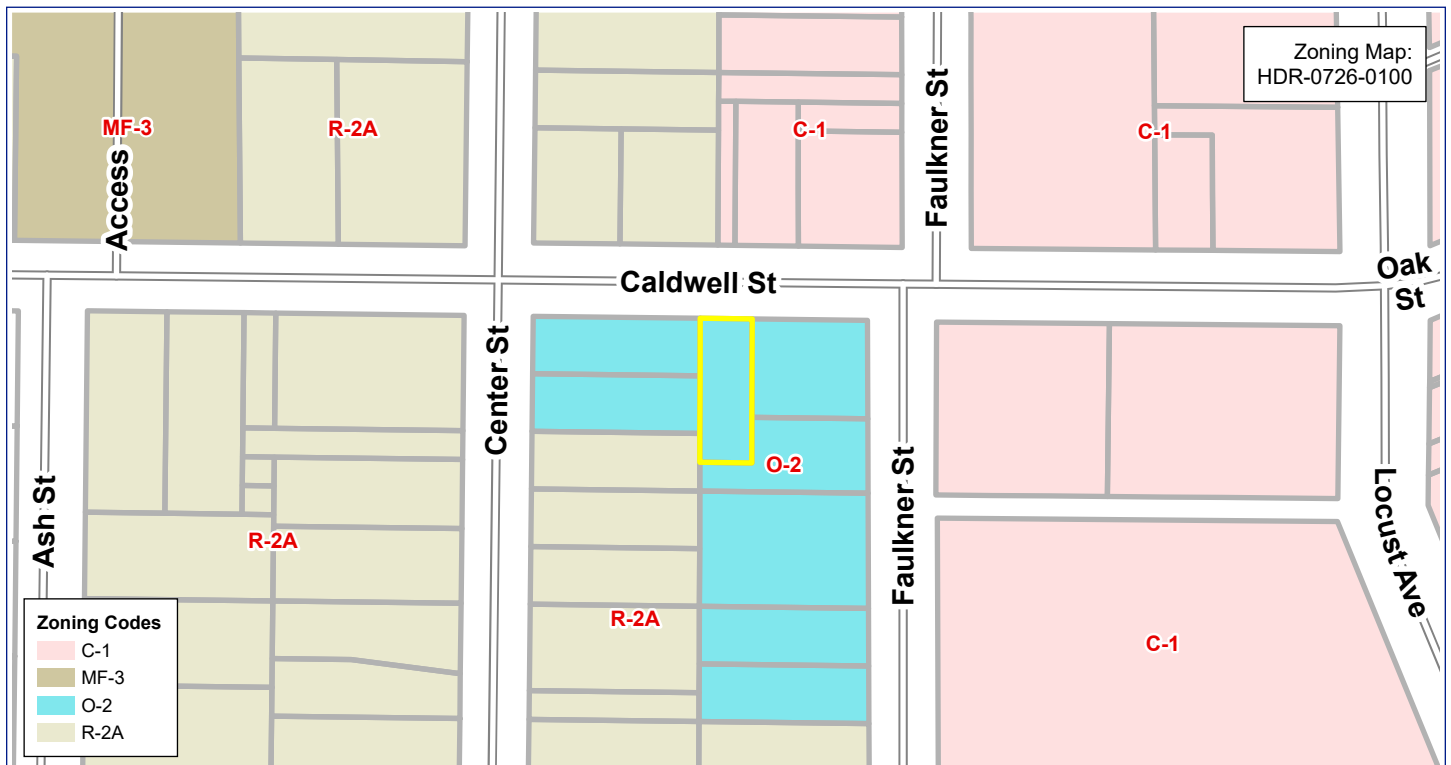
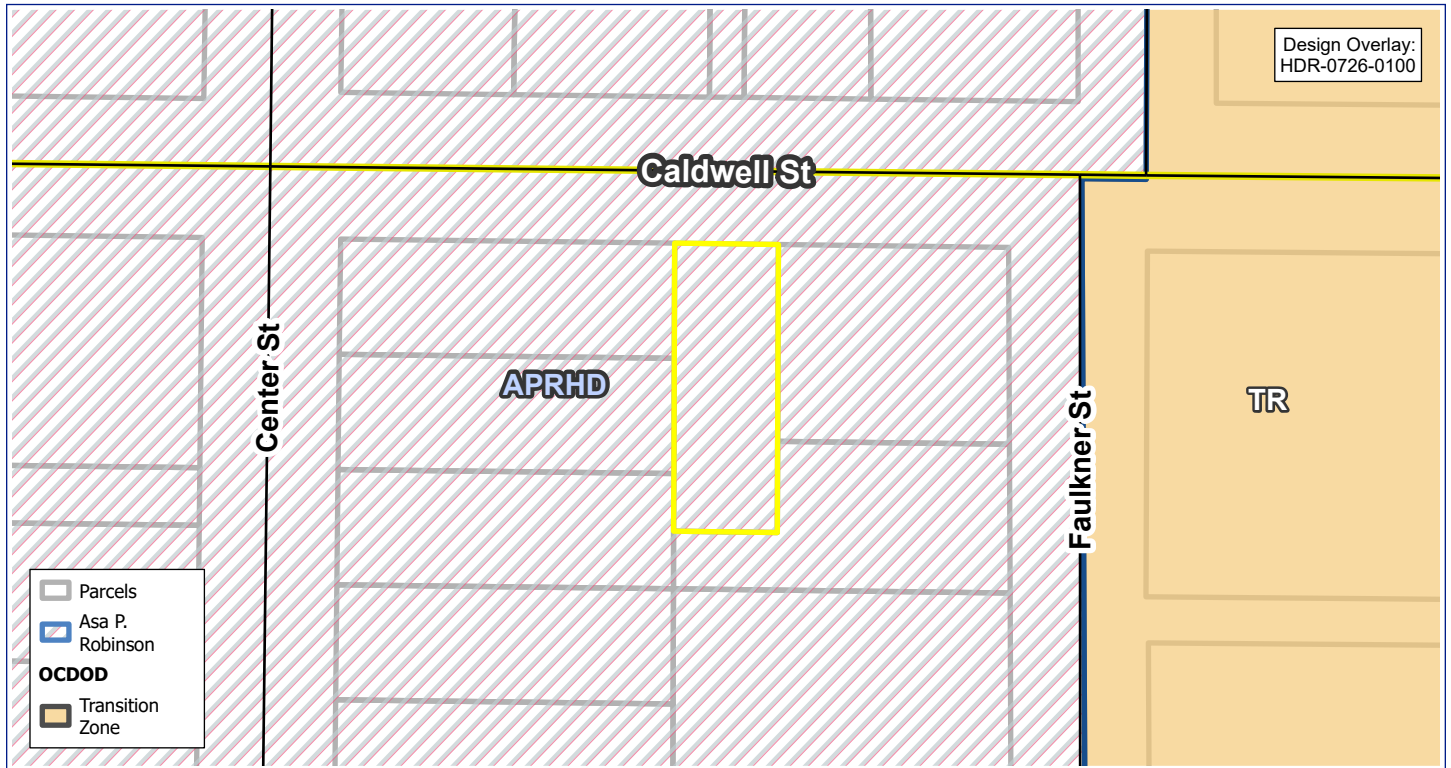
Surrounding Area Structures.

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East – 1507 Caldwell - c.1924 (Colonia Revival; Contributing).

North – 1512 A&B Caldwell - c.1940 (Plain/Traditional; Contributing).

South – 837-839 Faulkner - c.1936 (Plain-Traditional/Ranch; Contributing).



General Description of Property and Proposed Development. The applicant is proposing to rebuild a single-family residence. There is a concurrent application for a demolition (HDR-0626-0092). The original structure is 1,072sf. The proposed structure is 1,140sf.

Per the applicant:

After the existing residence was determined to be unsafe for renovation, new construction is being proposed. The proposed residence maintains similar form, massing, and architectural character of the previous house while incorporating improved proportions and architectural detailing that are consistent with the Robinson Historic District. A small increase in the finished floor elevation is also proposed to raise the house above the existing concrete driveway. The previous residence sat below the driveway, which contributed to drainage and water intrusion issues. Following the demolition of the existing storm shelter, the area will be infilled with concrete to provide an improved turning radius for vehicle access.

The original structure was built in 1923 and is a non-contributing structure. It is referred to as the "Brooks House" and is characterized as "Bungalow/folk Victorian style" in the 2020 survey documents.

A remodel Certificate of Appropriateness (COA) was approved by the HDC on March 30, 2026 (HDR-0326-0027).

SITE

Site Landscaping & Features. Sidewalks are an integral part of the Robinson Historic District. The repair, replacement, or construction of sidewalks is required with new construction approved by a Certificate of Appropriateness.

There is an existing sidewalk along Caldwell St.

As part of a COA review, removal of any trees over eight inches (8") in diameter must be approved by the HDC. It is not appropriate to remove healthy, mature trees. Canopy trees shall be planted along street frontages at a rate of 1 tree per 30ft of street frontage. If overhead utilities exist, then understory trees shall be planted at the same rate as canopy trees.

An understory tree is proposed. The property has 50' of street frontage.

New parking should be unobtrusive as possible.

The parking/driveway area at the rear of the property will be increased. It will not be obtrusive as it is set at the back of the property and minimally visible.

Fences & Walls. Retain and preserve fences and walls that contribute to the overall historic character of a building or a site.

The site plan indicates that the existing wooden, privacy fence is to remain.

Walkways, Drives, & Parking. Design new walkways, driveways, and off street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and off street parking areas that contribute to the overall historic character of the district.

There is an existing ten (10) foot wide, concrete driveway that will be maintained.

Locate off-street parking in a manner that preserves existing topography, site features, and trees. Location of parking areas should be at the rear of the property or preferably off the alley if possible.

No alley serves the site. Parking will be at the rear of the property.

Garages & Accessory Structures. Locate and orient new garages and accessory building in locations compatible with the traditional relationship of garages and accessory building to the main structure and the site in the district.

No garages or outbuildings are proposed.

NEW CONSTRUCTION & ADDITIONS**New Construction Guidelines.**

New construction shall maintain the existing pattern of surrounding historic buildings along the street by being similar in the following:

- Size or mass
- Form
- Proportion
- Scale (height and width)
- Roof shape and pitch
- Orientation to the street
- Location, proportion, and scale of windows and entrances
- Foundation/first floor height and ratio
- Floor-to-ceiling height
- Materials (texture and color)
- Lot placement, setbacks, and spacing

The applicant is rebuilding the residence according to the existing pattern established by the original structure.

Select materials and finishes that are compatible with historic materials and finishes found in the surrounding building that contribute to the special character of the historic district. The use of vinyl siding, imitation stucco, or similar is prohibited unless replacing a pre-existing condition. It is preferable to replace any existing synthetic siding with wood or a cement fiber siding matching the profile of traditional historic wood siding.

Fiber cement Hardie siding is proposed with modular brick veneer skirting, columns, and brick rowlock accents. Architectural asphalt shingles are proposed as the roofing material.

Select windows and doors for proposed new building that are compatible in material, subdivision, proportion, pattern, and detail with the windows and doors of surrounding buildings that contribute to the special character of the historic district.

A stained glass window from the demolished house will be reused for the new construction. The material type of the new windows are not specified on the application. Wooden windows are preferable. There is evidence of vinyl and aluminum windows being used on surrounding buildings. The proposed subdivision, proportion, pattern and detail mimic the original structure.

Specific Guidelines:**Setbacks.**

Front setback: New construction shall be located between 85% and 115% of the average front setback distance established by the existing adjacent historic structures.

The front setback on the original structure was 20'. The proposed front setback for the new build is 20'.

Side: 6 feet minimum in all residential zones.

A 13'-6" eastern side yard setback is proposed. A 10' western side yard setback is proposed. This is consistent with the original structure and conforms to setback requirements.

Rear: 3 feet or 15 feet from centerline of alleyway.

A 52'-1/2" rear setback is proposed. This is comparable to the original structure and conforms to standards.

Lot Coverage.

60% in residential areas.

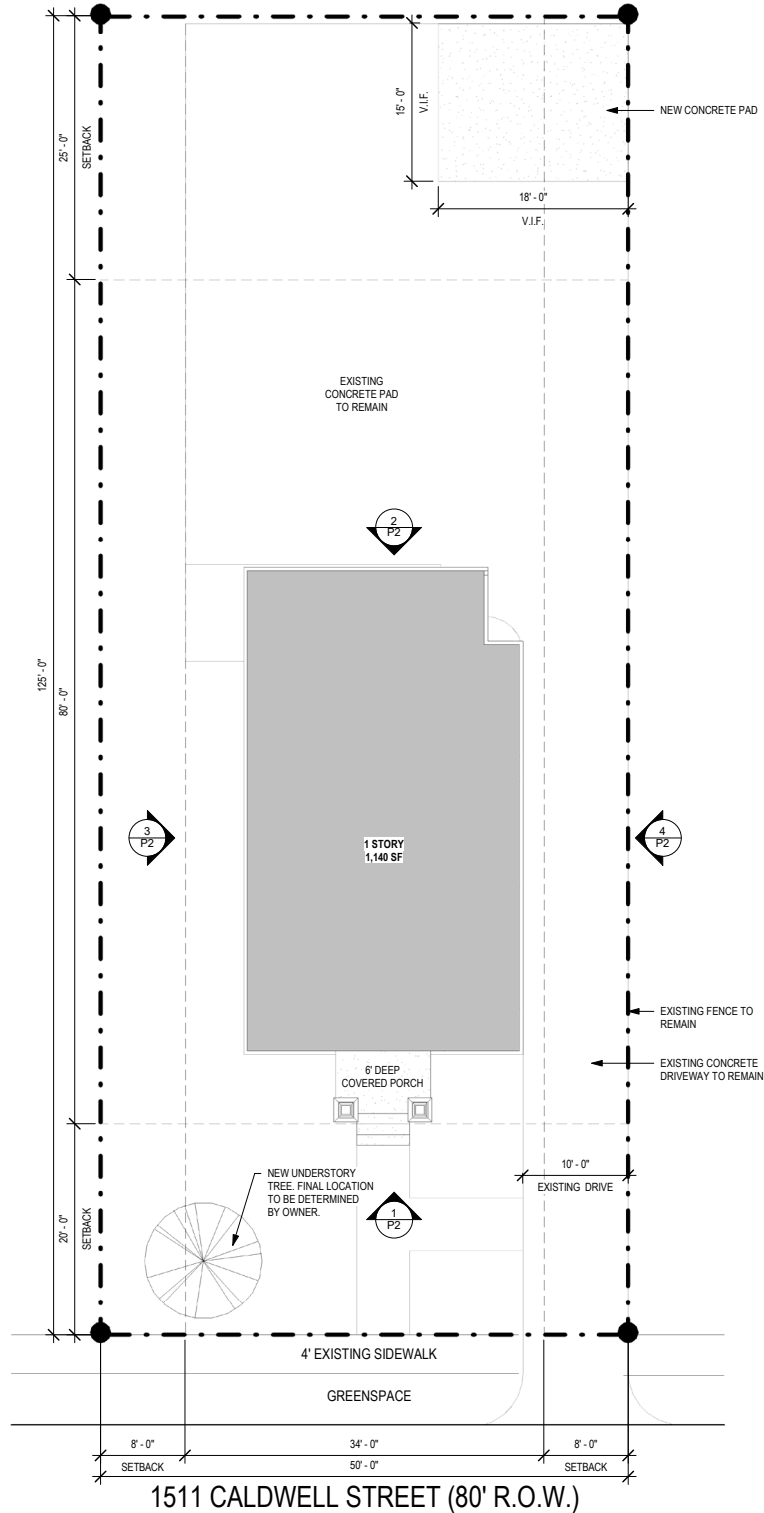
80-100% in commercial areas.

The maximum lot coverage for the .13ac parcel is 4,530sf-5,662sf. The proposed residence is 1,140sf. The existing driveway is 2,519sf. The new concrete pad is 270sf. The new concrete pad will be in the location of the removed storm shelter. Almost the entirety of the rear yard is concrete. The site is zoned O-2 and is surrounded on three sides by O-2 zoned properties. There is an R-2A property to the southwest corner of the subject property. This is a commercial area with a conditional use permit to utilize the structure as a residence. The total proposed square footage of impervious surface including driveways and parking is 3,929sf.

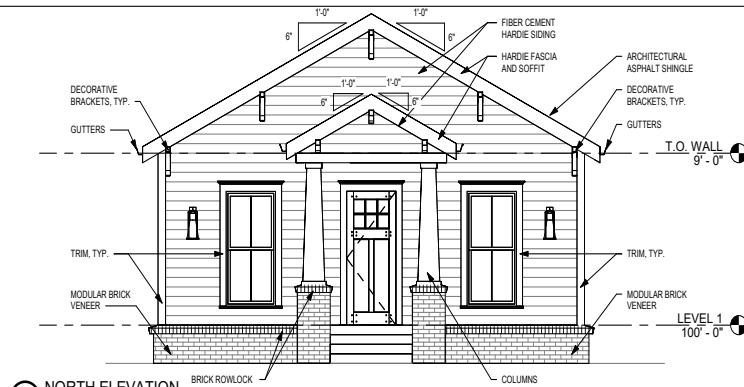
All specific numbers listed in these guidelines such as setbacks, lot coverage, heights, footprints, etc. shall be used as minimal guidelines to produce desired development in the Robinson Historic District. However, due to the unique nature of the Historic District and its traditional pattern of development, the HDC may grant exceptions to these numbers on a case by case basis without considering or setting precedent in order to allow development that is appropriate to unique circumstances.

CONDITIONS

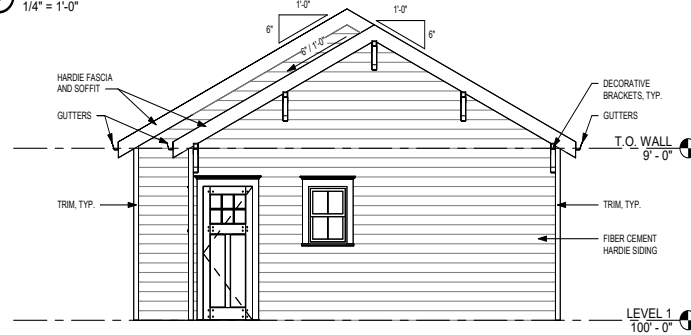
1. Applicant must obtain all applicable building permits if/when a Certificate of Appropriateness is granted.
2. Siding shall be composed of brick, wood or a wood-like material such as Hardie ® siding/LP® SmartSide ®.
3. Roofing shall be architectural asphalt shingles.
4. If the existing sidewalk is damaged during construction, it must be repaired.
5. Prior to issuance of a Certificate of Appropriateness the applicant shall provide an updated site plan to planning staff showing any trees to remain in addition to the tree to be planted.
6. There shall be one understory tree planted in the front yard. Any trees over 8" in diameter must be retained in the rear yard outside of the building footprint.
 - If the project enters the landscaping phase and the city is in a water curtailment period, the applicant shall coordinate with City Staff and a horticulturalist (or similar professional) to determine the best planting and management to ensure success of plantings
 - This may include planting deferment
 - This may incorporate alternative plantings/landscaping
 - This may lead to different species or types of plantings (ex. seedling vs sapling)
 - Such coordination may require an amendment Certificate of Appropriateness to be issued by either the Administrative Official or the HDC
7. Any fencing shall be wooden. Privacy fences shall be restricted to the rear and side yard and shall be no more than 6 feet in height. Privacy fences shall be setback from the front façade at least one-half the distance between the front and rear walls of the structure.
8. Lighting shall be shielded and downcast.



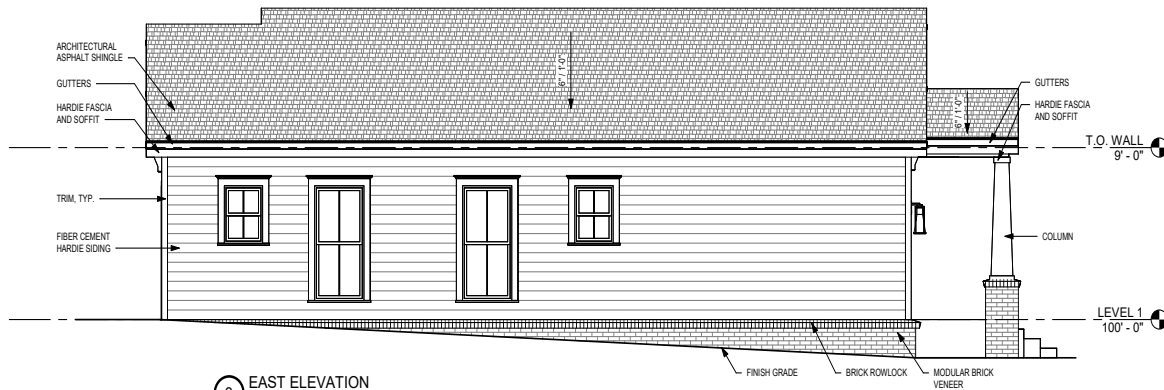
1 SITE PLAN
1/8" = 1'-0"



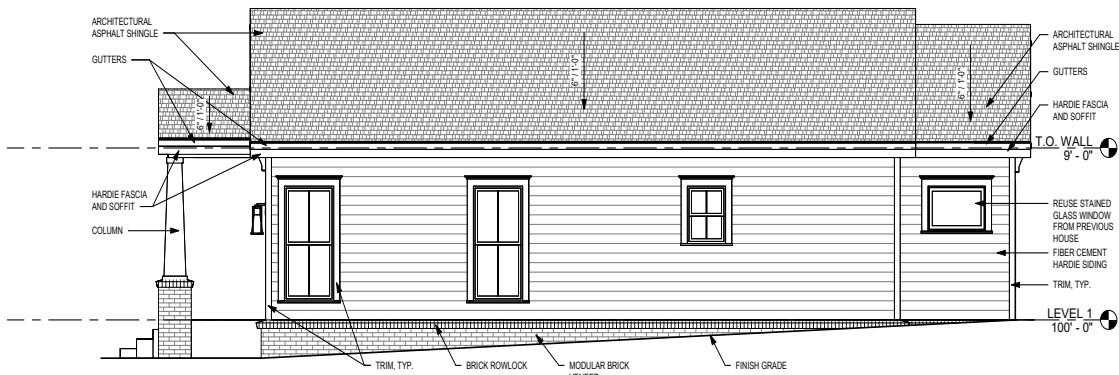
1 NORTH ELEVATION
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2 SOUTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"



4 WEST ELEVATION
1/4" = 1'-0"

ADCOCK RESIDENCE EXTERIOR ELEVATIONS

26.07.07



View of subject property facing S



View of subject property facing SE



View of subject property facing SW



Adjacent property to the E



Adjacent property to the W



Adjacent properties to the N across Caldwell St

APPLICANT/AUTHORIZED AGENT

Shane Causey
5 Star Construction &
P.O. Box 1313
Conway, AR 72033

OWNER

Brenda & Michael Martinez
1806 Washington Ave
Conway, AR 72032



REQUEST FOR A MOTION TO POSTPONE TO SEPTEMBER 28, 2026 HISTORIC DISTRICT COMMISSION MEETING. APPLICANT MET PUBLIC NOTICE REQUIREMENTS. THERE ARE PENDING APPLICATION DOCUMENTS.

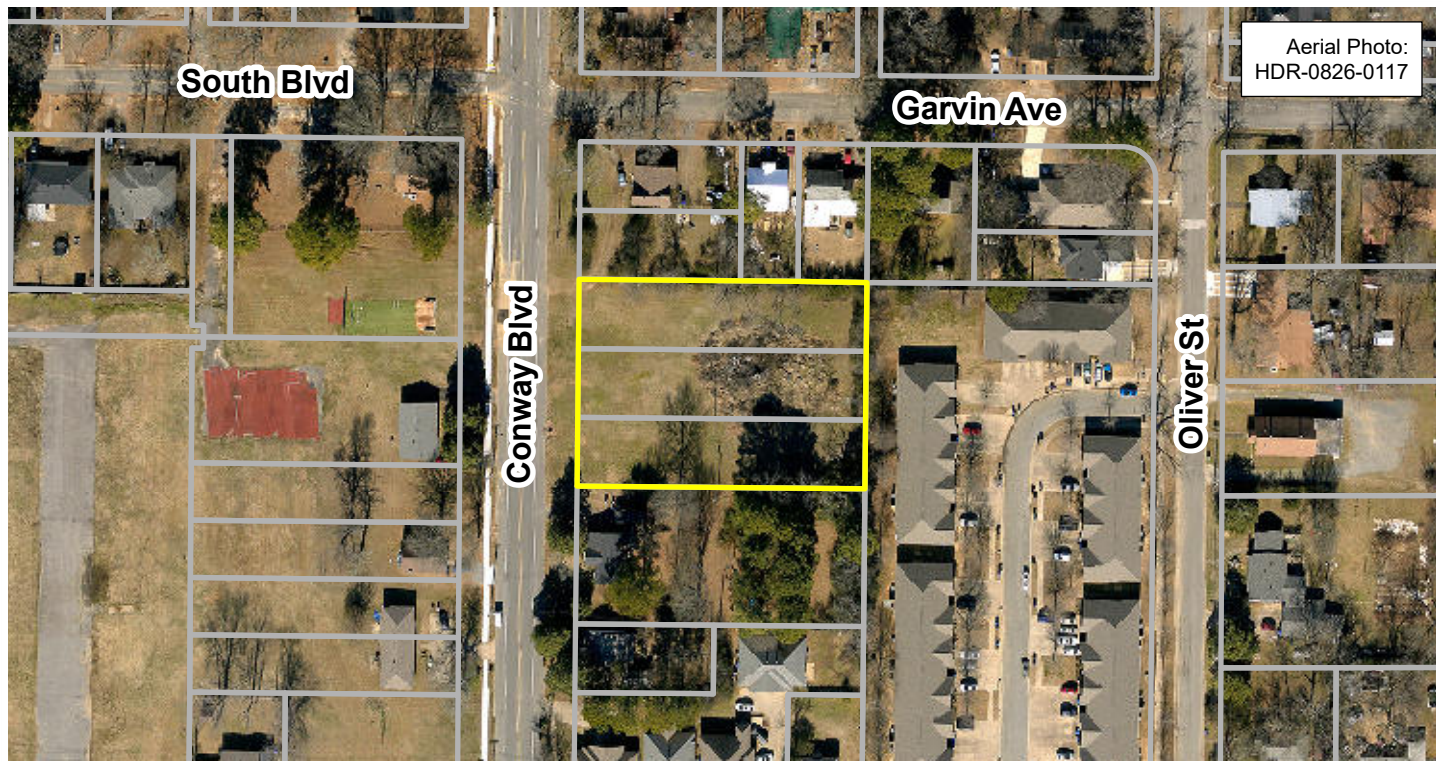
Old Conway Design Overlay District

APPLICANT/AUTHORIZED AGENT

Miah Millan Interiors
1105 Deer St Ste. 6
Conway, AR 72032

OWNER

Emporda Holdings LLC
3440 Sylvia Springs Dr
Conway, AR 72034

**SITE**

Address. 124, 130, 136 Conway Blvd.

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SR).

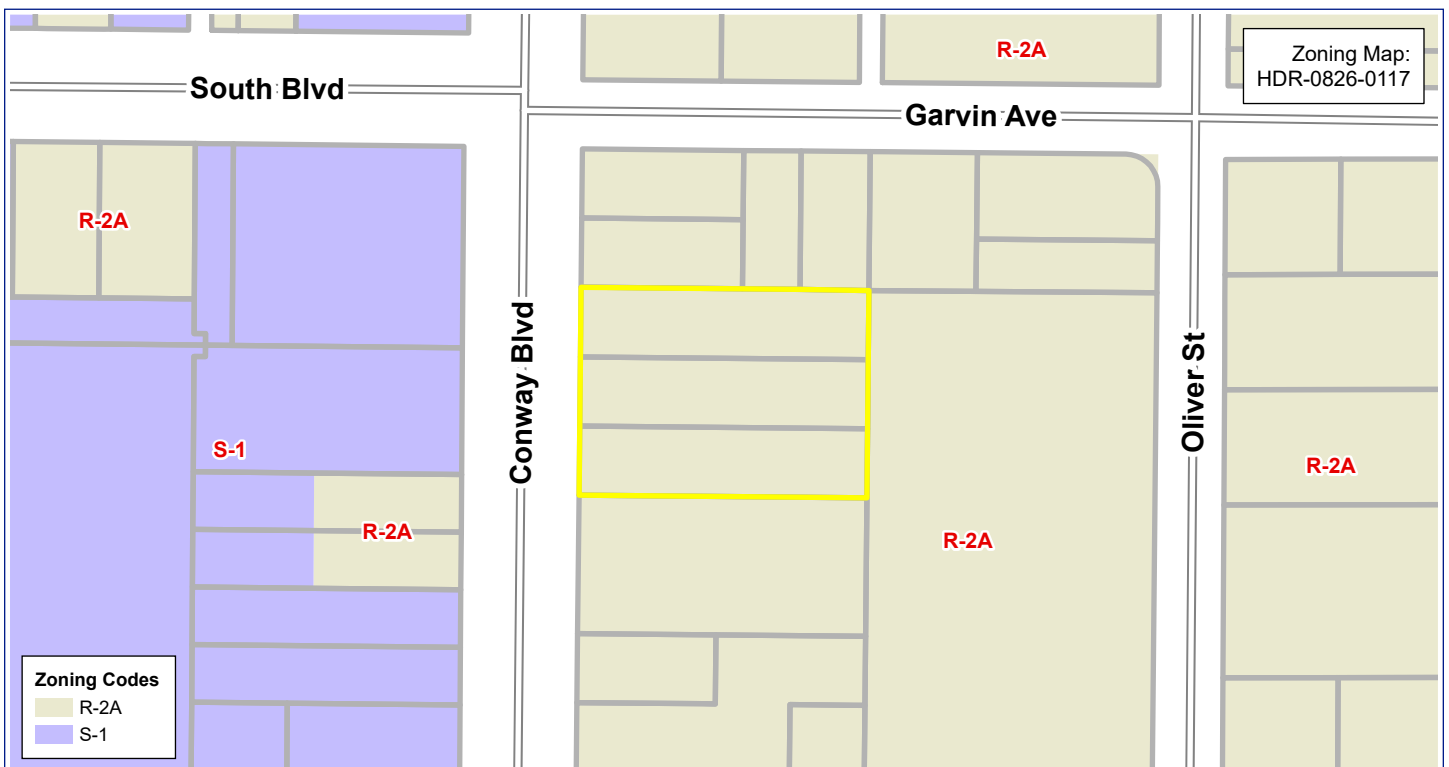
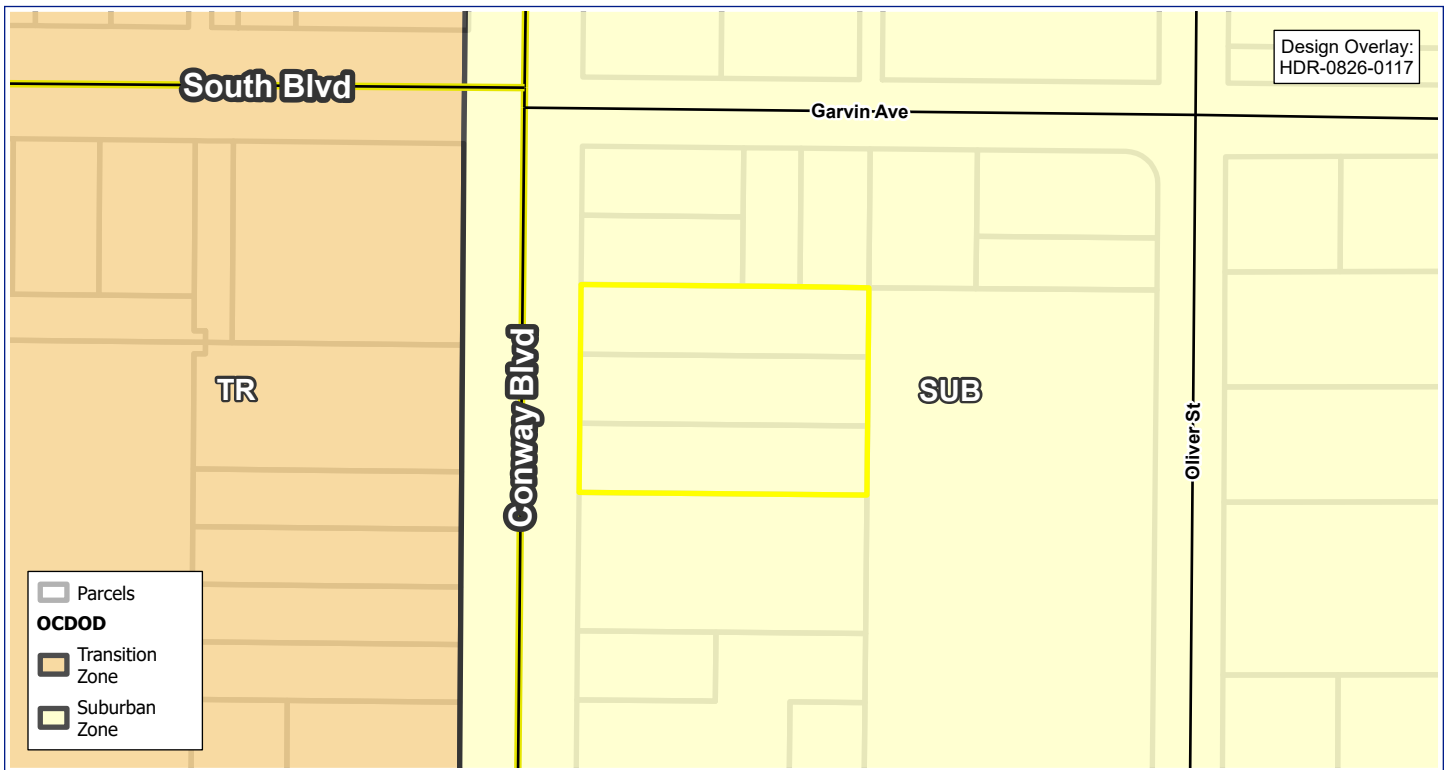
Abutting Zoning. North/South/East/: R-2A, OCDOD-SR; West: S-1 (Institutional District), OCDOD-Transition (TR) & R-2A, OCDOD-TR.

Lot Area. 1.03 acres $\pm$.

Surrounding Area Structures. The property is in the OCDOD-SR district on the east side of Conway Blvd between Garvin Ave and Robins St. Area structures are of the plain-traditional style.

General Description of Property and Proposed Development. The applicant proposes to construct six (6), new 3,248sf duplexes across three platted lots. There is a conditional use permit on the property allowing for up to 12 dwelling units per acre (CUP-0826-0102). The density conforms with the conditional use permit.

Setbacks and Spacing. Front setbacks are allowed within a range of 85% to 115% of the average front setback of the area. *The average front setback for the area is 20', based on five (5) homes on the same block. The applicant should have a setback within the range of 17' and 23'. The applicant is proposing a front setback of 23' and 24'.*



Old Conway Design Overlay District

Side: 6' minimum in all residential zones.

Per the Conway Zoning Code, multi-family development is required to have a 20' landscape buffer between development and adjacent residential properties. The applicant is showing the 20' setback/buffer on both side yards.

Rear: 5' or 15' from the centerline of alleyway in residential zones.

The applicant is showing a 57' rear setback.

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The block is characterized by single-family home development spaced intermittently between vacant lots. This unique layout makes it difficult to apply uniform spacing criteria to new development.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is 52%. The proposal conforms.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front doors of the structures face inward to the site and do not follow the orientation of entries along Conway Blvd. Their orientation is to accommodate a centralized driveway and parking area between buildings in a multi-family development. The western elevations could be enhanced to create a more dynamic street facing façade, more characteristic of a front rather than side façade. This could be accomplished with dormers, awning, stoops, and/or a wrap around porch.

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

There is a shared driveway/parking area internal to the site. The proposed material is concrete. Thirty (30) parking spaces are proposed. According to the Conway Zoning Code, the recommended minimum number of parking spaces for multi-family development is eighteen (18) spaces and the maximum is forty-eight (48). The number of parking spaces is appropriate.

Sidewalks. Sidewalks are required for new construction projects.

Conway Blvd is a major arterial. The standard sidewalk width on a major arterial is 10' sidewalks with 7.5' of greenspace. The applicant should coordinate with the Conway Department of Transportation to determine the appropriately sized sidewalk for the area, which could be smaller than 10', but in no instance smaller than 5' wide.

Fences/Walls. Fences shall be no more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart.

Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards as deemed appropriate. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone. The upper two feet of privacy fencing should have 50% opacity, provided by a lattice or grid pattern of wood or iron.

Condition #9 of CUP-0825-0102 requires privacy fencing along all interior property lines. The site would benefit from both iron (or aluminum mimicking iron) and wood fencing to integrate the development into the neighborhood, rather than disconnecting it. The project is conditioned with a fencing suggestion to be considered by the applicant and HDC.

Tree preservation. Any trees over 8" in diameter or greater must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

No trees are shown on the site plan. There may be some existing trees along the property lines. Existing trees which are not diseased/damaged must be retained. There is 180ft of street frontage. Six canopy trees must be planted along the Conway Blvd frontage. The applicant must also meet the criteria for landscaping in the Conway Zoning Code for Site Development Review.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structures is greater than those of surrounding development as these are six (6), two story duplexes in an area characterized by one-story, single-family development and vacant lots. It is unlikely that multi-family development could be constructed on this lot in keeping with the scale of the neighborhood.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

Because most of the structures in the area are single-family homes, the height/width/directional expression of the proposed multi-family, duplex development does not relate to historic patterns in the neighborhood. The height is 30' and two stories. Residences in the area are one story, but a one-story differential between existing and proposed is permissible per the guidelines.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprints will cover 27% of the lot area. The average ratio of building footprint to lot area of five (5) structures on the same block is 6%.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structures will contain a level of detailing and form that is compatible with the patterns of the area. However, all six buildings should be differentiated in detailing and wall breaks to enhance the site's overall complexity of form. Otherwise, the development will consist of six identical structures which do not relate to the scale and footprint of the neighborhood. Differentiated buildings may enhance the aesthetic, which may mitigate the impact of size and scale.

Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The front facades face the site internally and the Conway Blvd facing facades are shown as the side elevations. The Conway Blvd facing elevations do not contain 25%-40% windows. The Conway Blvd facing elevations should be adjusted to mimic front facades and/or have architectural detailing that enhances the streetscape. Additional windows should be included.

DESIGN ELEMENTS

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area is characterized by plain-traditional architecture. The new design is reflective of a new traditional style home.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed.

The front porches are only 2' deep and do not conform. Entries contain decorative elements.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

Lighting is not shown on the elevations.

MATERIALS & DETAILING

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.

The applicant is proposing brick and "lap" siding. The type of lap siding is not specified but must conform with requirements stated above.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form.

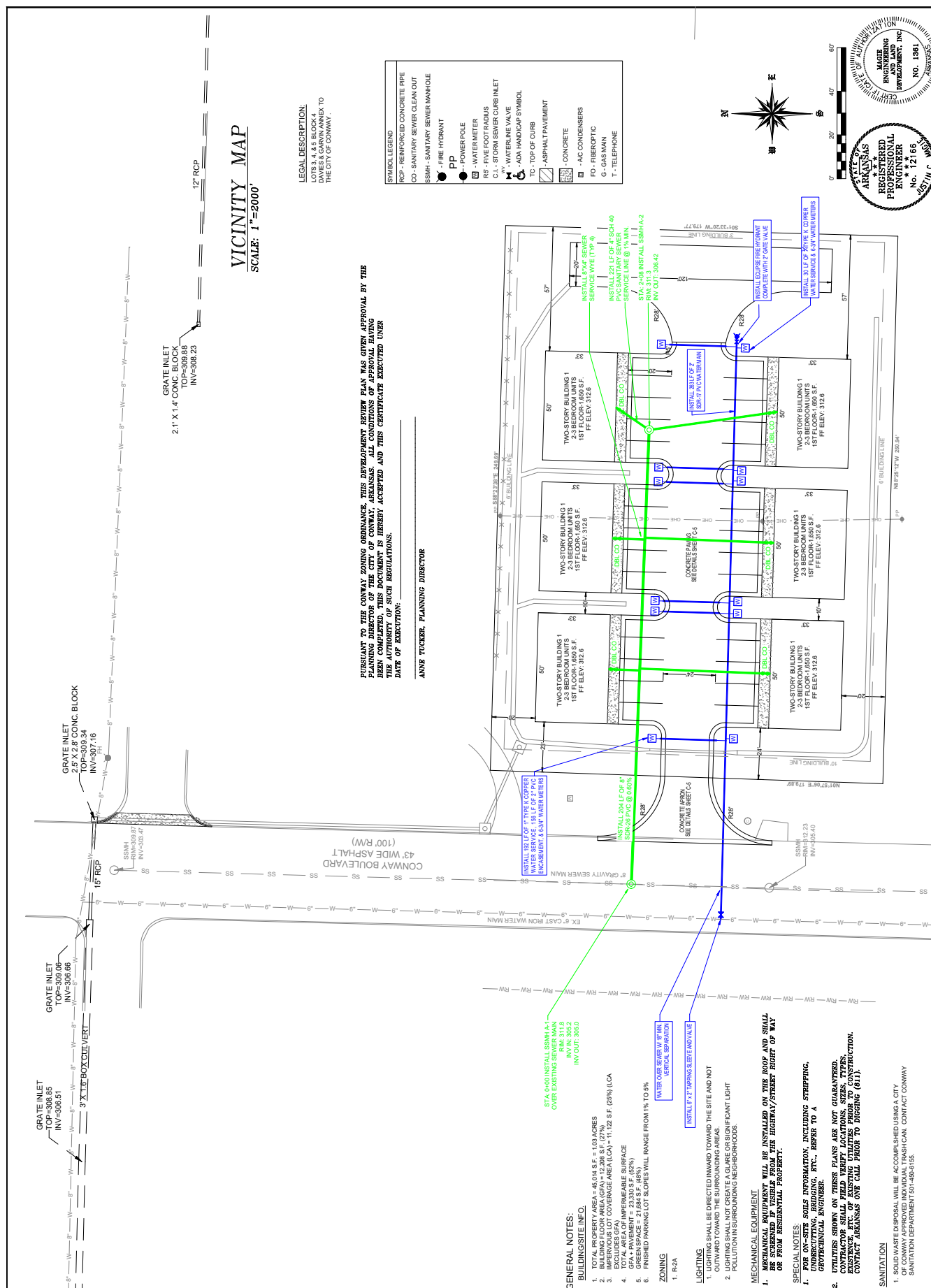
Shutters are proposed and they must be sized so that they could fit over the windows if operable. The applicant is proposing a gable roof and the roofing material type is not specified.

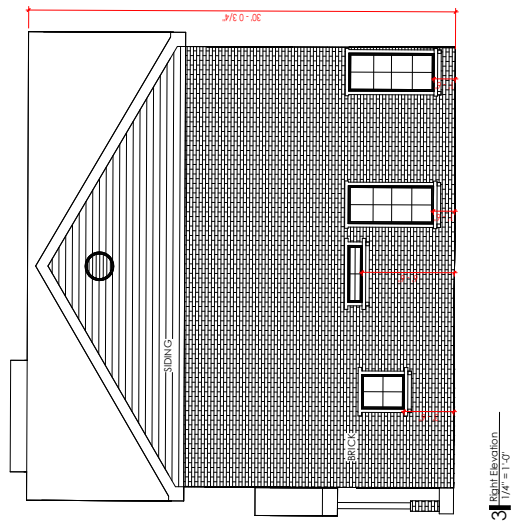
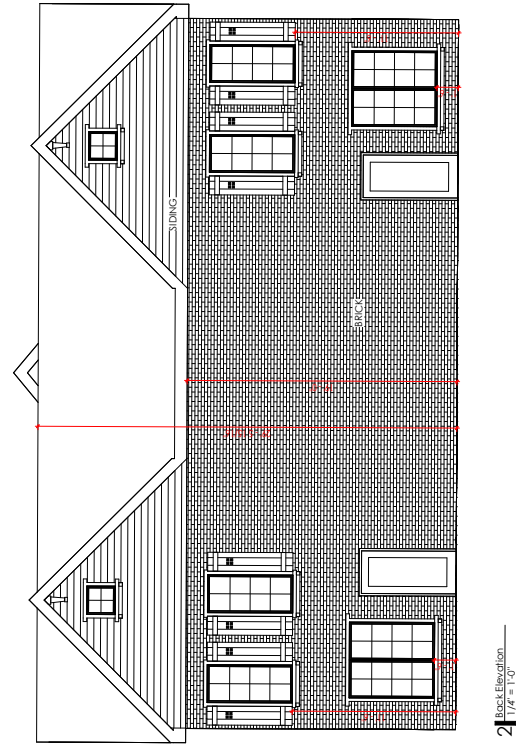
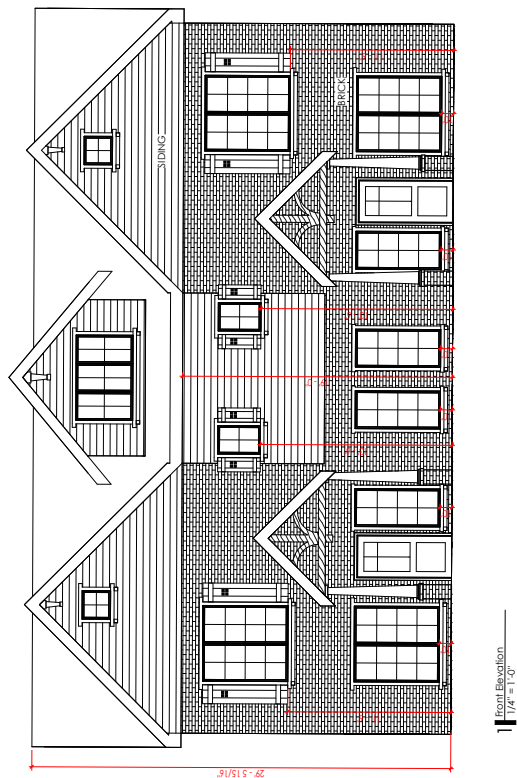
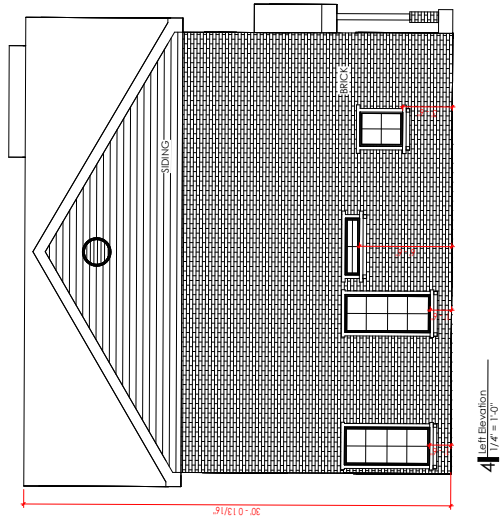
Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.

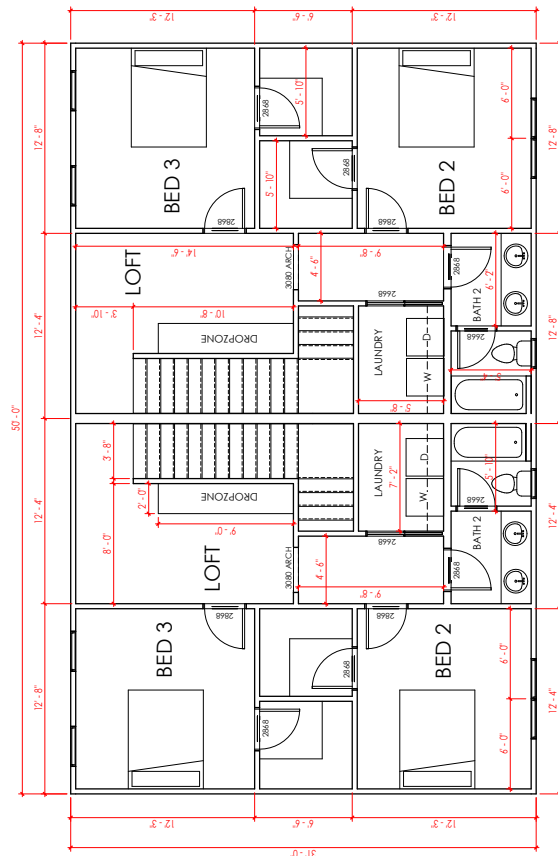
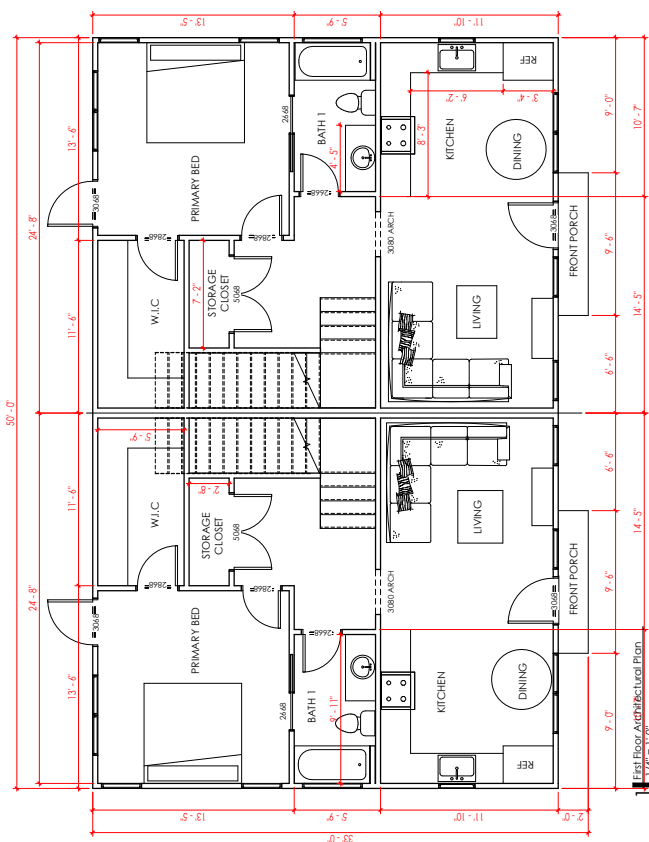
No HVAC equipment is shown on the site plan.

CONDITIONS

1. Applicant must obtain all applicable building permits if/when a Certificate of Appropriateness is granted.
2. Prior to issuance of a Certificate of Appropriateness, the following shall be submitted to Planning Staff for review (Additional HDC review may be required):
 - Updated elevations with directional labels (north, south, east, west)
 - Additional detailing on the western elevations fronting Conway Blvd, in the form of a dormer, additional windows, and a porch/portico to provide an elevation more characteristic of a front, rather than side elevation
 - Street facing elevations must have a minimum of 25% windows
 - Architectural detailing that differentiates the buildings between each other in the form of material changes
 - Porches at least 6' deep
3. Sidewalks with greenspace shall be installed prior to issuance of a Certificate of Occupancy. The required width shall be determined by Conway Department of Transportation and shown on the plans submitted for Site Development Review (SDR).
4. Any fencing along Conway Blvd shall be iron or aluminum mimicking iron. There shall be brick columns at the north and south ends of the iron/aluminum fence. The fence shall then transition to a 6' tall wooden fence with the upper two feet composed of 50% opaque lattice which will continue along the interior property lines.
 - An elevation showing this fence shall be provided with the SDR application and approved by Planning Staff prior to stamping SDR plans.
5. Healthy, mature trees over 8" in diameter must be retained and shown on the SDR landscaping plan.
6. Six canopy trees shall be planted along Conway Blvd. If the project enters the landscaping phase and the city is in a water curtailment period, the applicant shall coordinate with City Staff and a horticulturalist (or similar professional) to determine the best planting and management to ensure success of plantings.
 - This may include landscaping deferment
 - This may incorporate alternative plantings/landscaping
 - This may lead to different species or types of plantings (ex. seedling vs sapling)
 - Such coordination may require an amended Certificate of Appropriateness to be issued by either the Administrative Official or the HDC
7. Additional landscaping requirements as outlined in Article X of the Conway Zoning Code and CUP-0825-0102 may be required and will be enforced through SDR and building permit finals.
8. Siding shall be brick, stone, wood, or Hardieboard/LP Smartside type siding.
9. Shutters shall be sized so that if operable they could fit over the windows.
10. Roofing shall be asphalt shingles.
11. Driveway shall be concrete, pavers, or permeable paving.
12. Lighting shall be downward and inward toward the property.
13. HVAC equipment shall be screened from public view.







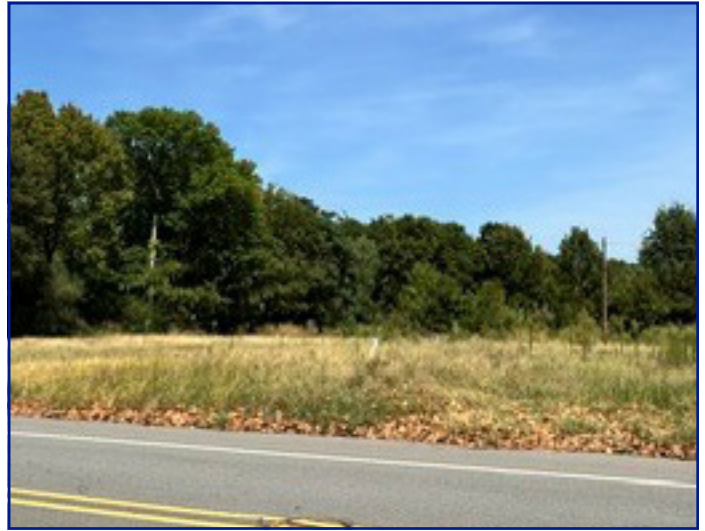
SQUARE FOOTAGE:	
FIRST FLOOR W/C W/ BRICK = 1,605 SQFT	
SECOND FLOOR W/C W/ BRICK = 1,605 SQFT	
FRONT PORCH = 38 SQFT	
TOTAL SQUARE FOOTAGE UNDER ROOF = 3,248 SQFT	
(* This is for the whole duplex)	

GENERAL NOTES

- ALL SPECIFICATIONS AND PLANS SHOULD BE VERIFIED BY THE CONTRACTOR OR DESIGNER UNLESS NOTED OTHERWISE.
- ALL COUNTERTOPS 36" A.F.F. UNLESS OTHERWISE NOTED.
- ALL CEILING HEIGHTS TO BE 9'-0" UNLESS OTHERWISE NOTED.
- ALL BEDROOMS WILL HAVE A WINDOW SUITABLE FOR EMERGENCY EXIT. WITH MIN. MEASUREMENTS OF 20" W, 24" H, AND ALL HEIGHT TO MORE THAN 44" A.F.F.
- ALL WINDOWS WITHIN 18" OF THE FLOOR AND OR 24" OF ANY DOOR REGARDLESS OF WALL PLANE ARE TO HAVE TEMPERED GLAZING.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1/2" DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10' (VERTICAL) OF GRADE.
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE THE IMMEDIATE SLEEPING ROOM, AND IN EACH COMMON AREA. DETECTORS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS AND WILL BE AUDIBLE IN ALL SLEEPING AREAS.
- BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF EXHAUSTING 100 CFM PER HOUR. DRYER AND RANGE HOODS ARE ALSO TO BE VENTED TO EXTERIOR.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, AND GARAGES SHALL BE G.F.I. OR G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
- ALL DOORS ARE 80" UNLESS OTHERWISE NOTED.
- IT IS RECOMMENDED THAT THE CONTRACTOR HAVE A LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, JOISTS, JOISTS, RAFTERS AND FOUNDATIONS.
- CONTRACTOR TO FIELD VERIFY ALL CABINET DIMENSIONS PRIOR TO FABRICATION.
- ALL LIGHT SWITCHES TO BE 48" A.F.F. UNLESS OTHERWISE NOTED.
- ALL LIGHT SWITCHES ABOVE COUNTERTOP TO BE 44" A.F.F. UNLESS OTHERWISE NOTED.



View of subject property looking E



View of subject property looking NE



Adjacent property to the N



Adjacent property to the W



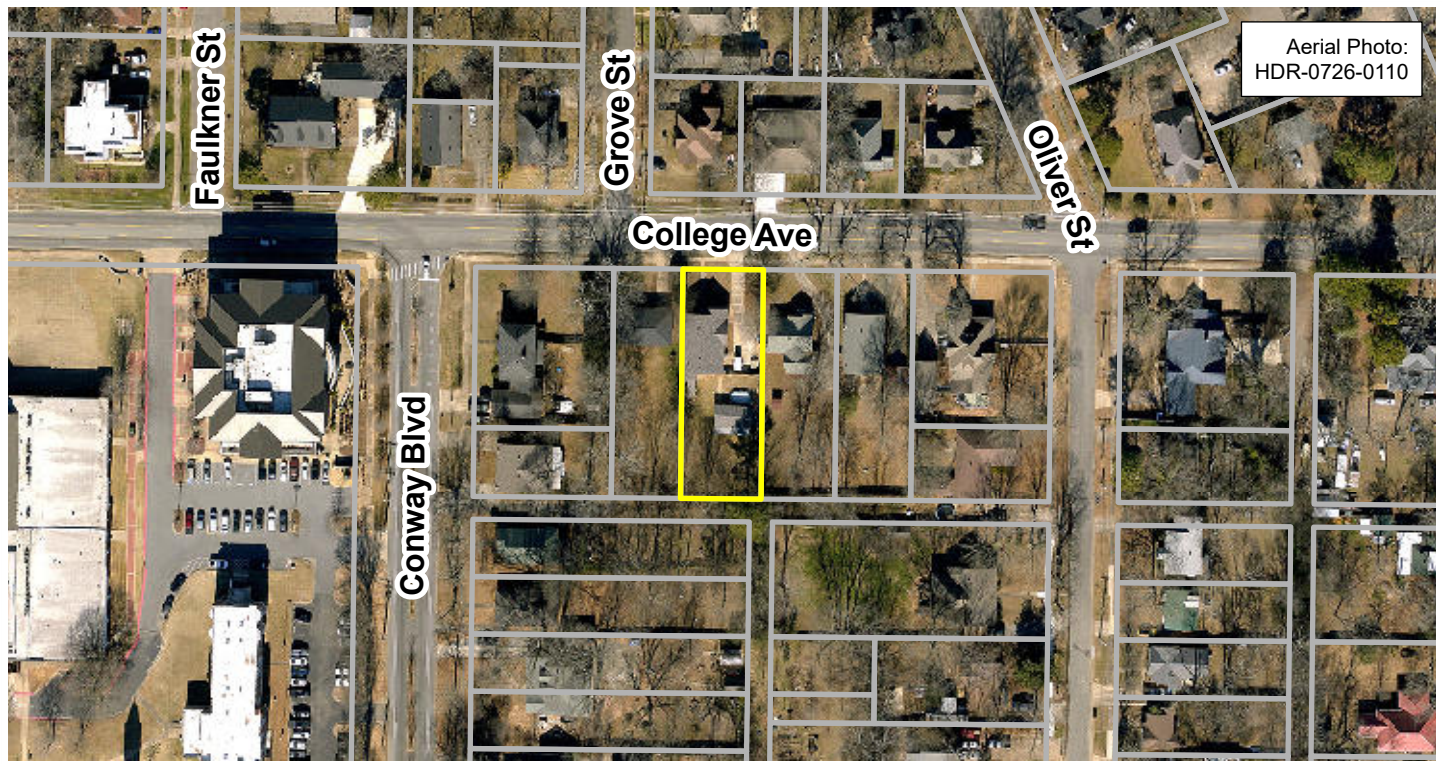
Adjacent property to the S



Properties adjacent to the W

APPLICANT/OWNER

Beau & Alexandra Turner
1419 College Ave
Conway, AR 72034

**SITE**

Address. 1419 College Ave.

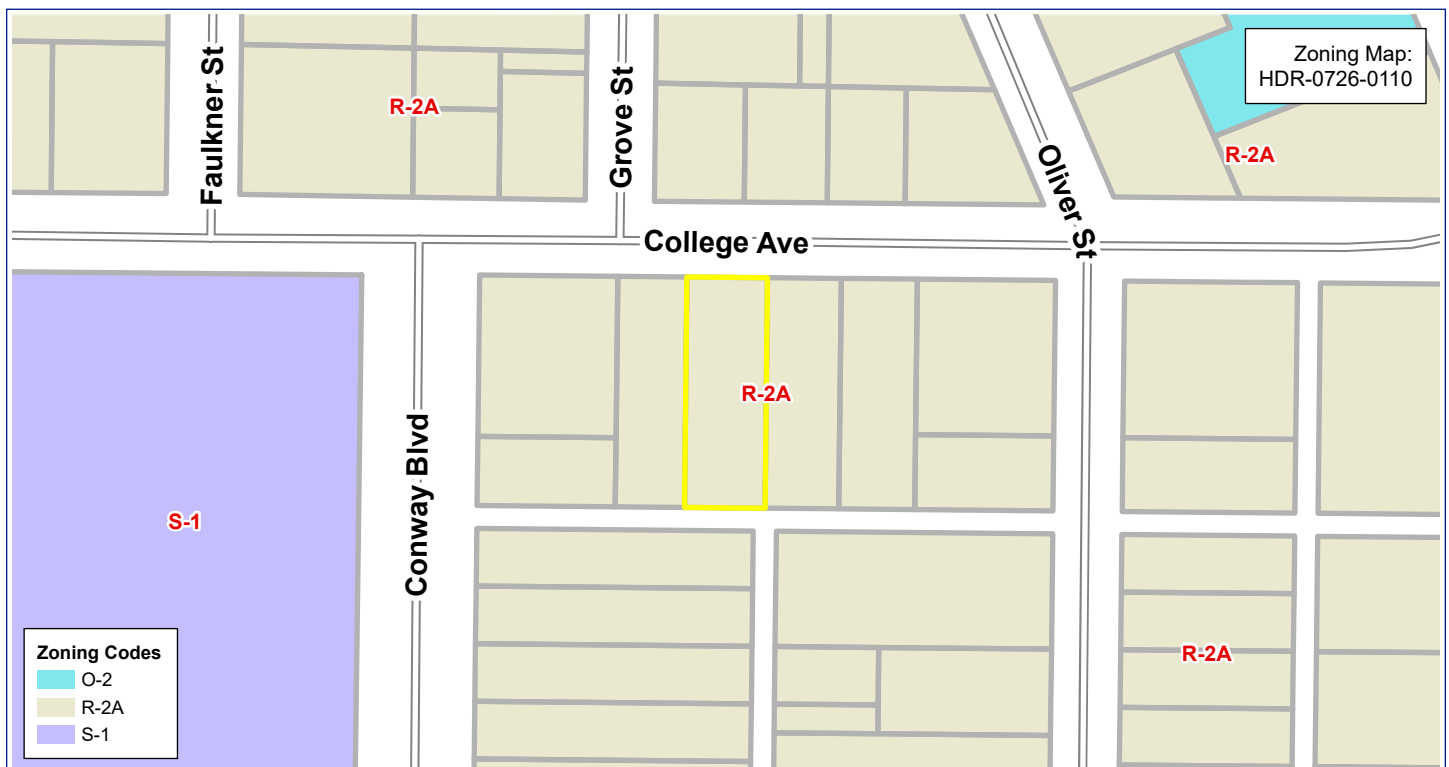
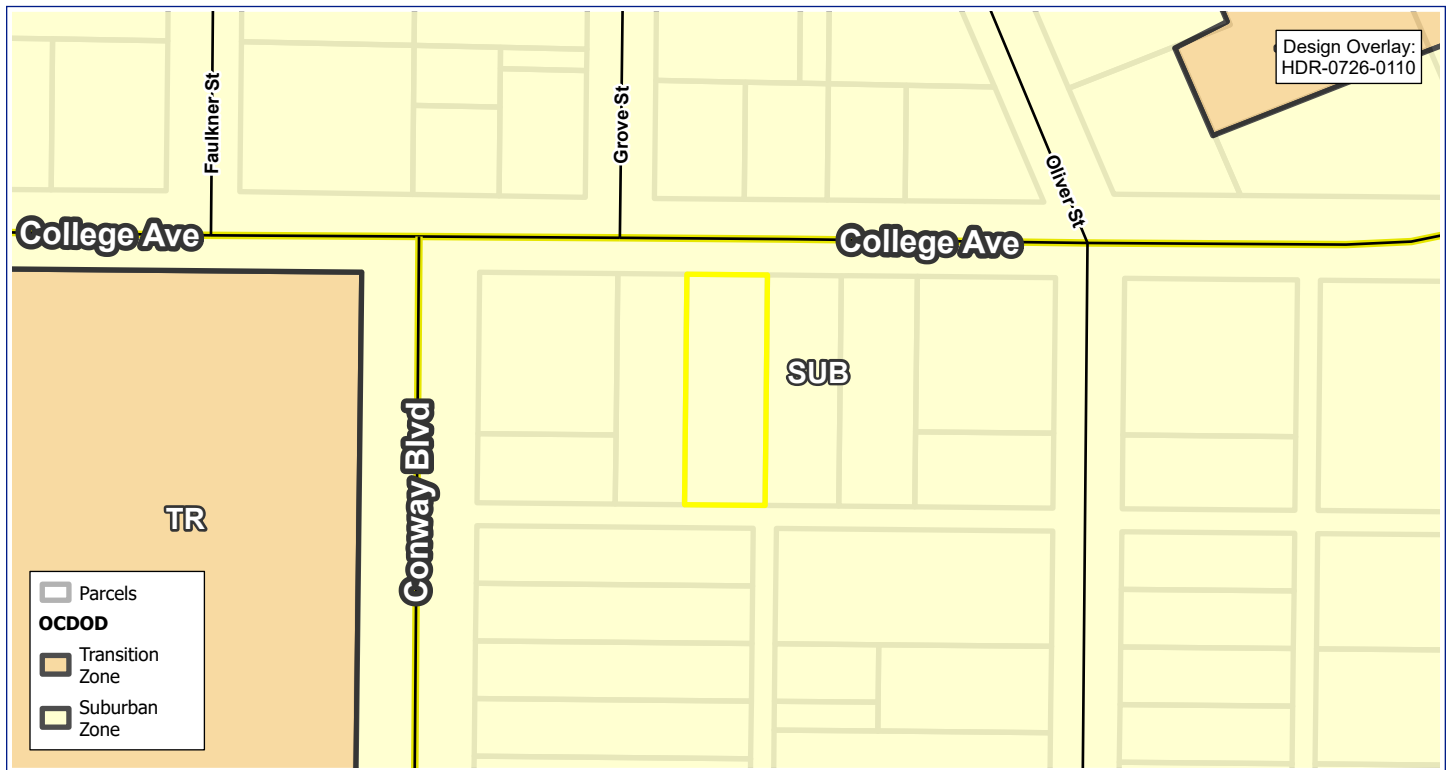
Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SR).

Abutting Zoning. North/South/East/West: R-2A, OCDOD-SR.

Lot Area. 0.32 acres $\pm$.

Surrounding Area Structures. The property is in the OCDOD-SR on the south side of College Ave between Conway Blvd and Oliver St. Area structures consist of a mix of single-family homes in Craftsman, Gable, Foursquare, Ranch, and minimal traditional styles.

General Description of Property and Proposed Development. Pursuant to Section 6., Appeals, of Ordinance No. 0-06-139 the applicants, Beau & Alexandra Turner, have provided supplementary information to appeal the June 22, 2026 Historic District Commission vote in which 3 of 5 commissioners voted in opposition of a motion to approve an after-the-fact Certificate of Appropriateness for the installation of a detached metal carport.



Sec. 6 Appeals

The applicant may appeal the denial of a Certificate of Appropriateness by the Historic District Commission to the Administrative Official, in writing, within thirty (30) days of the decision. Said appeal request shall be reviewed to determine if any new or previously undisclosed considerations exist which were not previously reviewed or considered by the Commission during the public meeting. Financial hardship shall not be considered a reason for appeal. If new or previously undisclosed considerations exist, the applicant shall submit a new application for consideration at the next scheduled HDC meeting. Appeals shall be subject to all applicable public notices, fees, and public hearings as the original submission. The Historic District Commission shall be the authority in determining if an appeal is approved or denied. Applicants shall exhaust this appeal method after one request for an appeal. Any applicant still aggrieved by the determination of the HDC may appeal such disapproval to the City Council in writing, stating why he/she considers the Conway Historic District Commission's findings and decisions to be in error. Such appeal shall be filed with the Planning Department within thirty (30) days of the date the Conway Historic District Commission disapproves the design review. If such a request is not appealed, the decision of the Conway Historic District Commission shall be final and no further action on the request shall take place.

The HDC did not vote to approve the carport as proposed by the applicants on June 22, 2026. On July 18, 2026, the applicants provided the Administrative Official with a written appeal request thereby meeting the burden of appealing the decision within thirty (30) days.

The applicants have provided the following "Newly Disclosed Considerations":

- I. Chronological Proof of Continuous District Integration
- II. Structural Precedent of the Stoby's Commercial Steel Pavilion
- III. Ubiquitous Technical Integration of Metal Elements within the District Fabric
- IV. Disparate Enforcement Matrix and Systemic Pattern Book Deviations
- V. Unconditional Agreement to Absolute Structural Reversibility

The information provided was determined to be "new or previously undisclosed considerations", and the administrative official informed the applicants that an application for consideration at the next HDC meeting would be required to continue the appeal process. An application was made on July 27, 2026.

FORMAL NOTICE OF APPEAL FOR HDR-0526-0069

NOTICE OF NEWLY DISCOVERED EVIDENCE & REQUEST FOR RECONSIDERATION MEETING

TO: Historic District Commission Appointed Staff Member, City of Conway

PROPERTY: 1419 College Avenue, Conway, AR

APPLICANT: Beau and Alexandra Turner

DATE OF REQUEST: July 18, 2026

Pursuant to Section 17 of the City of Conway Historic District Commission Bylaws, the Applicants hereby formally submit this appeal to the appointed staff member to request the scheduling of a new application and public hearing before the HDC.

This request is strictly based upon **new, material, and previously undisclosed physical, architectural, and historical evidence** that directly refutes statements made by commissioners during the June 22, 2026, public hearing. This evidence establishes distinct structural and material precedents that were completely absent from the initial staff report and commission record.

I. NEWLY DISCLOSED CONSIDERATION #1: Chronological Proof of Continuous District Integration (Exhibits shown on Pg.4 through Pg.8)

During the June 22 meeting, the Commission operated under the unvetted, mistaken premise that metal carports are alien structures explicitly prohibited throughout the district fabric. The applicant has since successfully obtained verified historical aerial and property construction photography tracking back from **2007 through 2025**.

This newly produced timeline provides definitive, previously unconsidered proof that numerous similarly situated residential properties within these exact HDC boundaries possess identical metal carports that have remained completely unprovoked, unfined, and structurally unmolested by City Enforcement for nearly two decades.

II. NEWLY DISCLOSED CONSIDERATION #2: Structural Precedent of the Stoby's Commercial Steel Pavilion

The original application record did not contain a technical design comparison of the major commercial structural steel "pavilion" project reviewed and approved by this Commission for **Stoby's Restaurant at 805 Donaghey Avenue**—located within this exact district fabric and less than a mile from the applicant property.

The Stoby's project formally establishes an active design standard wherein exposed, unpainted structural steel columns and prominent metal profiles are deemed legally compatible with the district. Because the HDC's governing rules must be applied

equitably to commercial and residential applications alike, the omission of this specific layout precedent prevented a true comparative evaluation during the original hearing.

III. NEWLY DISCLOSED CONSIDERATION #3: Ubiquitous Technical Integration of Metal Elements within the District Fabric

The original staff review focused heavily on a generalized aversion to "metal structures," completely omitting the extensive, approved integration of structural and architectural metal throughout Old Conway residential properties. The applicant has compiled physical evidence of:

- **Residential Metal Accent Roofing:** Actively permitted and installed on multiple historic district properties dating back to 2014 or earlier.
- **Metal Carport Structural Supports:** The vast majority of attached, stick-built carports throughout the district are engineered utilizing factory-finished structural steel columns (painted or black).
- **Architectural Metal Accents:** Widespread historical and modern use of decorative metal porch supports and custom metal window dormers.

The blanket assertion that modern metal is inherently incompatible with the district footprint is directly disproven by these uncontradicted architectural components.

IV. NEWLY DISCLOSED CONSIDERATION #4: Disparate Enforcement Matrix and Systemic Pattern Book Deviations

The original record lacks a comparative enforcement matrix. While the applicant's fully reversible, detached structure is being targeted, City Staff has routinely permitted, overlooked, or approved far more invasive deviations from the OCDOD Pattern Book on surrounding properties. This includes documented instances of:

- Properties maintaining zero-clearance vehicle parking on front lawns.
- Front yards paved over 50% in direct violation of greenspace permeability standards.
- Excessive residential fence heights approved well outside the standard boundary rules.

Because these structural and spatial variations exist continuously without administrative provocation or fines, the technical record must be reopened to ensure the applicant is evaluated under the actual enforcement standards applied to the rest of the district.

V. NEWLY DISCLOSED CONSIDERATION #5: Unconditional Agreement to Absolute Structural Reversibility

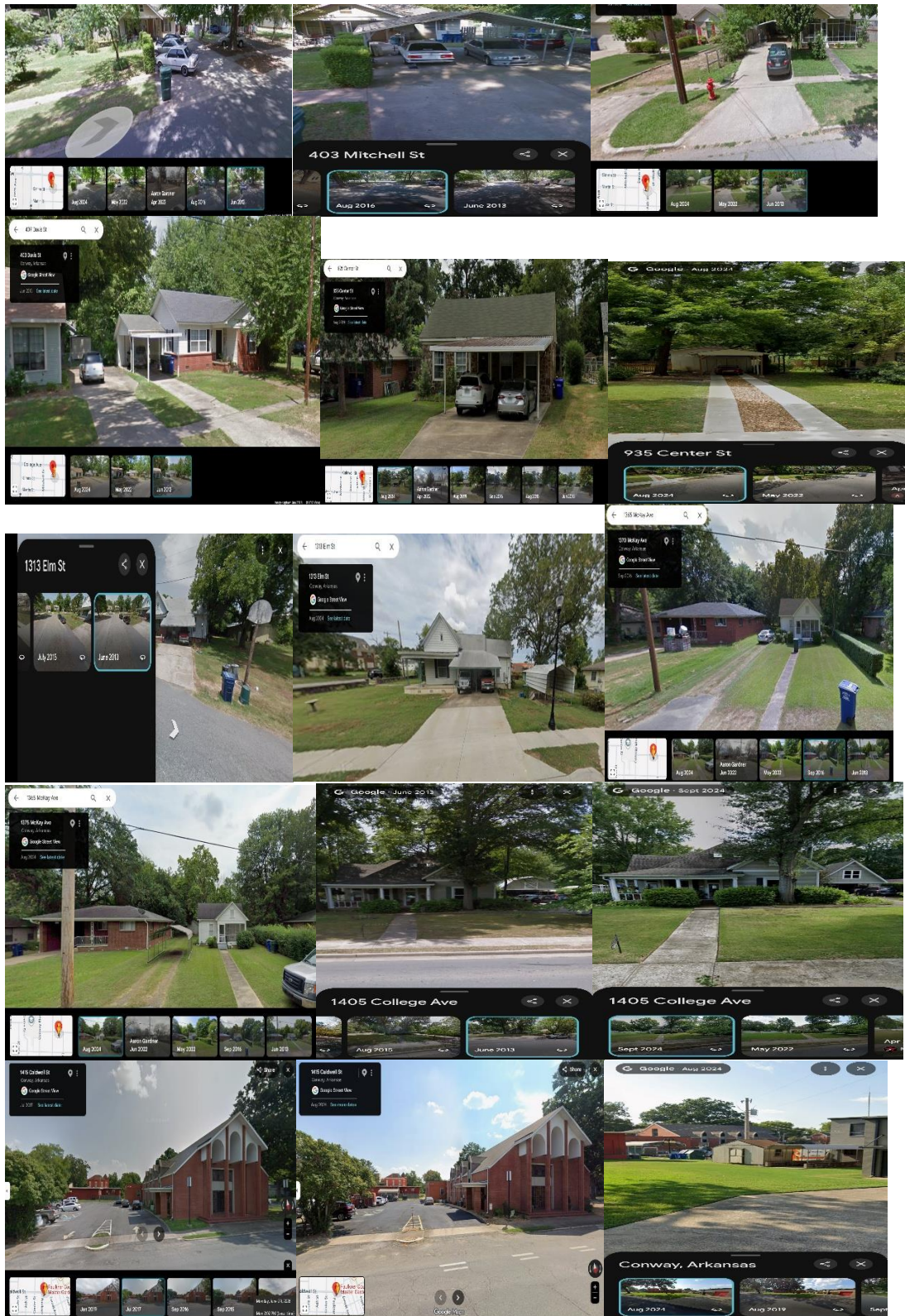
To cure any residual procedural concerns, the applicant is officially putting forth a previously unconsidered, binding mitigation framework: an unconditional commitment to structural **reversibility**.

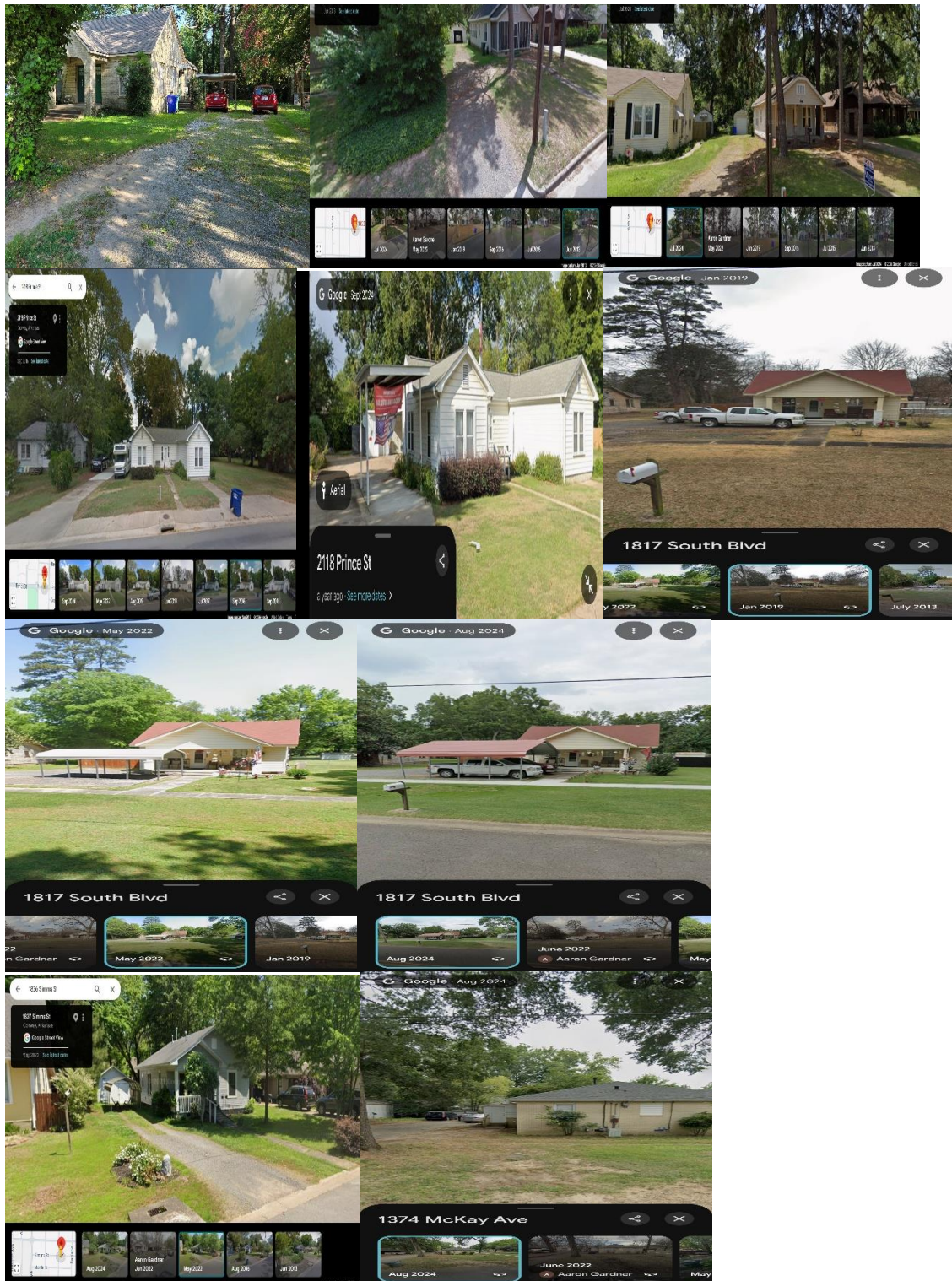
New engineering considerations demonstrate that because this structure is entirely detached and anchored onto a pre-existing concrete driveway, it leaves the primary 1920s historic asset 100% physically unimpaired. The applicant formally requests a new hearing to submit specific aesthetic modifications (including structural column wrapping, landscape shielding, or framing color-matching) to align completely with the staff-sanctioned compromise that was prematurely blocked during the initial vote.

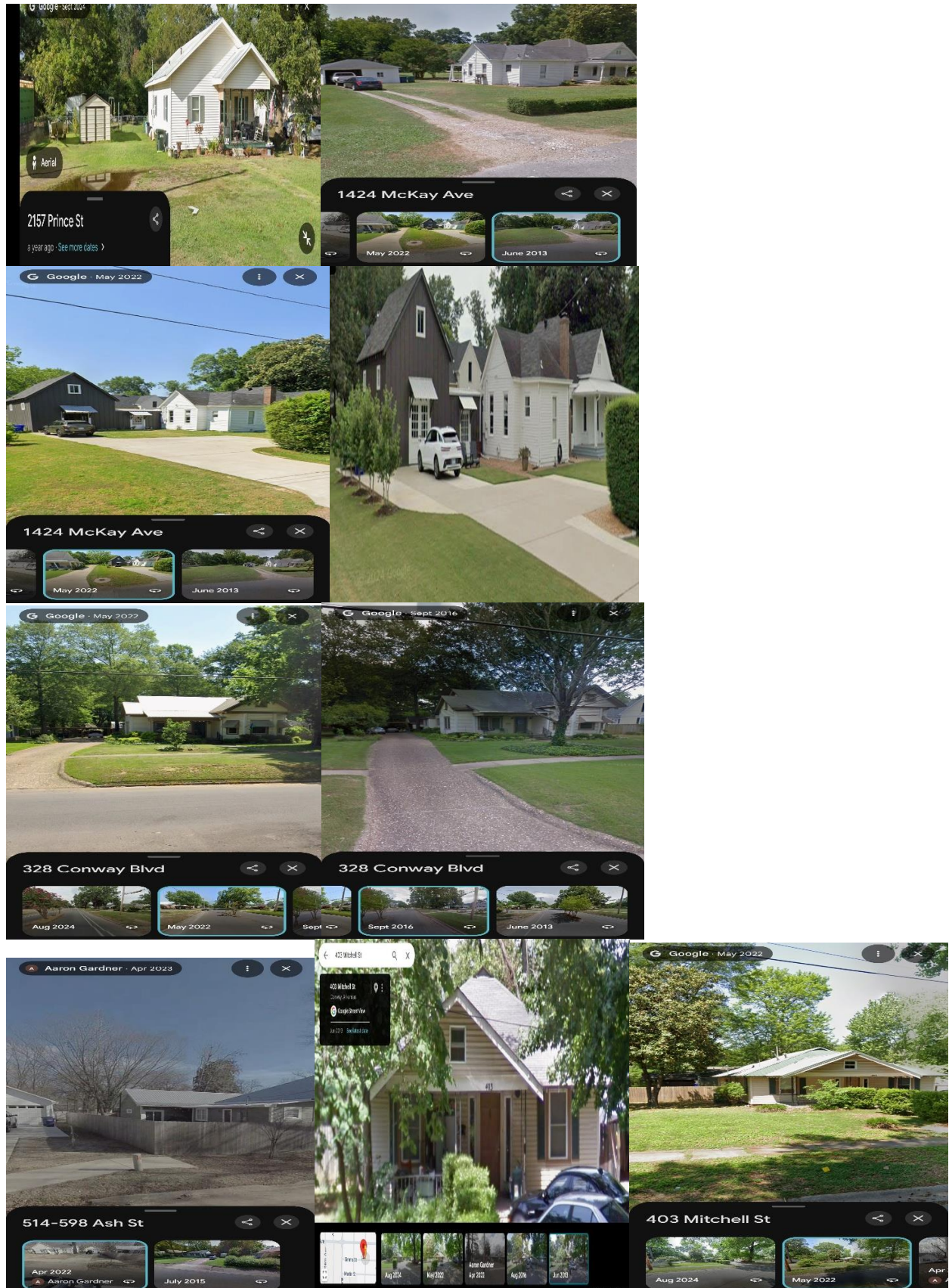
CONCLUSION

Because these distinct historical property timelines and architectural facts were completely missing from the original administrative docket, they constitute the exact "new and previously undisclosed considerations" required under Section 17 of the Commission Bylaws. The applicant respectfully requests that staff process a new application for consideration at the next scheduled public hearing.

Respectfully Submitted,
Beau & Alexandra Turner
1419 College Avenue

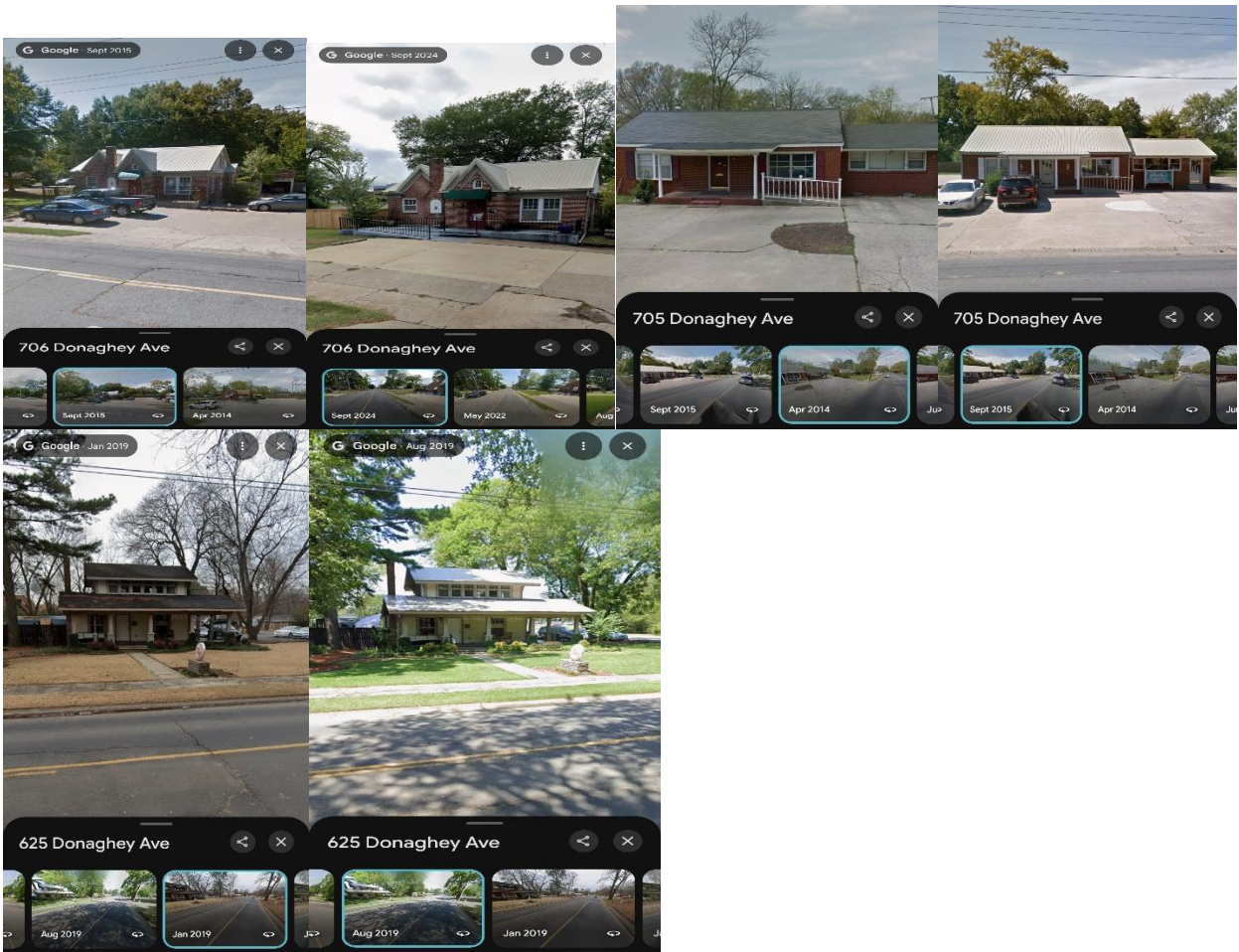






Old Conway Design Overlay District





STAFF COMMENTS

- There are metal carports in the district.
- Not all the metal carports in the district are identical to the carport which was installed on the subject property.
- The applicants have offered to mitigate visual impacts through structural column wrapping, landscape shielding, or framing color-matching.
- The footprint of the accessory structure (carport) is 660sf. OCDOD guidelines specify that the footprint of a detached garage/outbuilding shall be no more than 30% of the footprint of the primary structure. The primary structure is 2,122sf. At 30% of the footprint of the primary structure, the maximum footprint for outbuildings on site is 636sf. There is an existing shop on site that is 713sf.
- The carport was installed on an existing concrete driveway and does not change the impervious lot coverage.
- A driveway does not count towards building footprints, however both building footprints and driveways count towards lot coverage/impervious surface.
- The OCDOD guidelines state the following regarding metal:
 - **Roof:** Metal roofing is generally prohibited, but applicant will be allowed to prove the historic nature of a metal material.
 - **Siding:** The selection of materials for a new dwelling should be compatible with and complement the surrounding structures in the OCDOD. Brick, stone, and wood are the most appropriate materials for the cladding of new structures. Synthetic siding such as vinyl, aluminum, and synthetic stucco are not historic cladding materials and should not be used unless replacing a pre-existing condition or used on an accessory structure out of the public view.
- Should the commission vote to approve the carport in its current configuration, they would be doing so under the authority of:

Section 7: Standards

All specific numbers listed in Section 6 such as setbacks, lot coverage, heights, footprints, etc. shall be used as minimal guidelines to produce desired development in the Old Conway area. However, due to the unique nature of Old Conway and its traditional pattern of development, the Conway Historic District Commission may grant exceptions to these numbers on a case by case basis without considering or setting precedent in order to allow development that is appropriate to unique circumstances.

- The building footprint of the accessory structure is greater than 30% of the single-family residence and there is already an existing outbuilding on site
- The material type is generally discouraged

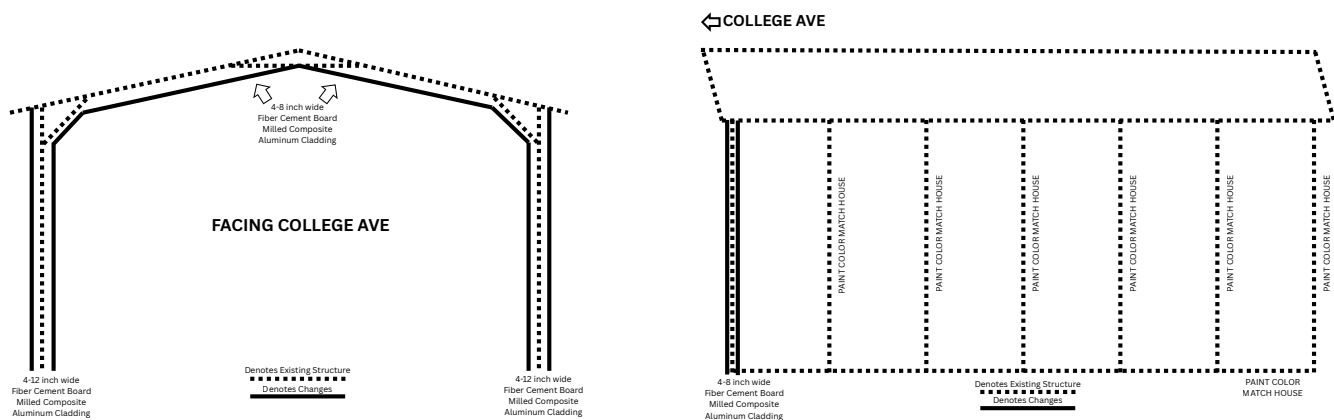
CONDITIONS

1. The College Ave facing façade shall be clad in fiber cement board as shown on submitted elevations under "Secondary Option".
2. Columns facing side and rear yards shall be painted to match the house as shown on the "Secondary Option".
3. Structural supports shall be added as shown on the "Potential Addition to the Secondary Option".

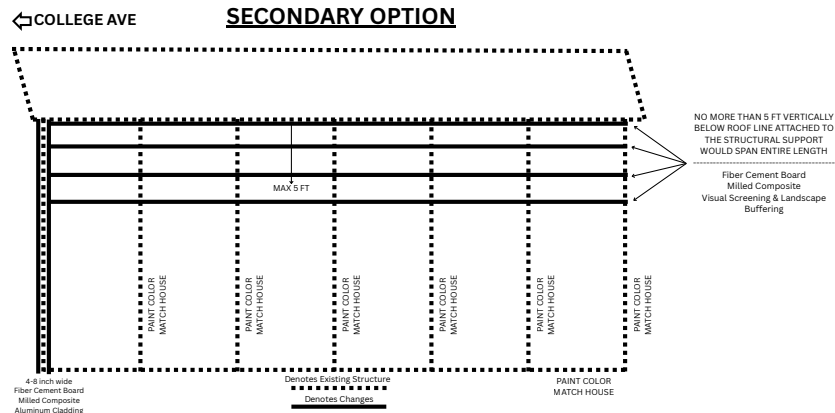
PRIMARY AND PREFERRED OPTION

High-Durability Coating & Historic Precedent: High-durability architectural coating/paint, color-matched to the primary residence's vinyl siding or trim to visually blend the carport into the existing residential color scheme. This specific approach—utilizing color-matched coatings to seamlessly integrate accessory structures into the primary residence's palette—is the most widely accepted and universally utilized finish method found throughout all local historic districts, including both the Robinson Historic District and the Old Conway Design District (OCOD). By directly mirroring the existing neighborhood standard, this finish ensures the structure immediately aligns with established community precedents.

SECONDARY OPTION



POTENTIAL ADDITION TO THE SECONDARY OPTION



Elevation Details:

Roofing System: Pre-finished, heavy-gauge metal roofing panels, color-matched to the primary residence's exterior palette to ensure visual continuity from the street scape.

Structural Supports: Structural steel columns, architectural square tubing engineered for sleek, low-profile framing that minimizes visual mass.

Engineering & Anchoring: Dual-system high-velocity stabilization engineered to withstand wind speeds up to 100 mph, utilizing:

Sub-surface heavy-duty earth auger anchors (5 per side) for primary tension resistance.

Deep-driven steel reinforcement pins (4 per side) for shear stability.

Architectural Trim & Finish Options: To guarantee seamless material matching with the historic primary structure, the support columns may feature one or more of the following integrated finishes:

Option A: High-Durability Coating & Historic Precedent: High-durability architectural coating/paint, color-matched to the primary residence's vinyl siding or trim to visually blend the carport into the existing residential color scheme. **This specific approach—utilizing color-matched coatings to seamlessly integrate accessory structures into the primary residence's palette—is the most widely accepted and universally utilized finish method found throughout all local historic districts, including both the Robinson Historic District and the Old Conway Design District (OCOD).** By directly mirroring the existing neighborhood standard, this finish ensures the structure immediately aligns with established community precedents.

Option B: Visual Screening & Landscape Buffering: The installation of a high-density, UV-resistant artificial ivy privacy screen/faux exterior greenery panel along specified sections of the carport's structural supports.

Option C: Factory-finished, color-matched aluminum cladding wrapped around the structural supports, engineered to perfectly mirror the profile and material finish of the primary residence's existing aluminum window casings.

Option D: **Milled Composite** High-durability Trex composite architectural millwork wrapped around the front and sides of the structural columns. This creates a clean, low-maintenance finish that matches the dimensional profile of traditional wood trim while offering superior resistance to weathering.

Option E: **Fiber-Cement** James Hardie fiber-cement trim boards wrapped around the support columns. This option utilizes a material widely accepted in historic districts to perfectly replicate traditional smooth-finished wood columns, painted to seamlessly match the primary residence's trim and vinyl siding.

Elevation Details:

Roofing System: Pre-finished, heavy-gauge metal roofing panels, color-matched to the primary residence's exterior palette to ensure visual continuity from the street scape.

Structural Supports: Structural steel columns, architectural square tubing engineered for sleek, low-profile framing that minimizes visual mass.

Engineering & Anchoring: Dual-system high-velocity stabilization engineered to withstand wind speeds up to 100 mph, utilizing:

Sub-surface heavy-duty earth auger anchors (5 per side) for primary tension resistance.

Deep-driven steel reinforcement pins (4 per side) for shear stability.

Architectural Trim & Finish Options:

Option A: High-Durability Coating & Historic Precedent: High-durability architectural coating/paint, color-matched to the primary residence's vinyl siding or trim to visually blend the carport into the existing residential color scheme. **This specific approach—utilizing color-matched coatings to seamlessly integrate accessory structures into the primary residence's palette—is the most widely accepted and universally utilized finish method found throughout all local historic districts, including both the Robinson Historic District and the Old Conway Design District (OCOD).** By directly mirroring the existing neighborhood standard, this finish ensures the structure immediately aligns with established community precedents.

Option B: Visual Screening & Landscape Buffering

Option C: Factory-finished, color-matched aluminum cladding

Option D: **Milled Composite** High-durability Trex composite architectural millwork

Option E: **Fiber-Cement** James Hardie fiber-cement trim boards





View of subject property facing S



View of subject property facing SW



View of carport on subject property



Adjacent property to the E



Adjacent property to the N across College Ave



Looking E down College Ave

The following items, which do not require public hearings or Historic District Commission action, have been reviewed and approved by the Director of Planning & Development and are being reported to the Historic District Commission as required.

Item

- Administrative approval for rehabilitation of damaged residence at 1039 Clifton St (HDR-0826-0119)