



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

June 22, 2026 • 5:30pm • 1111 Main Street



City of Conway HISTORIC DISTRICT COMMISSION

June 22, 2026

MEMBERS

Joshua Hamilton, Chairman
Corey Parks, Vice-Chairman
Marilyn Moix, Secretary
Nathaniel Johnson Jr.
Jason Covington
Ali Dyer
Junior Dixon

Call to Order.

Roll Call.

Approval of Minutes. May 27, 2026

I. Public Hearing Items - Old Conway Design Overlay District

- A. 1419 College Ave (HDR-0526-0069) After-the-fact request for approval of a prefabricated, metal carport
- B. 1259 Ingram St (HDR-0626-0077) New single-family residence

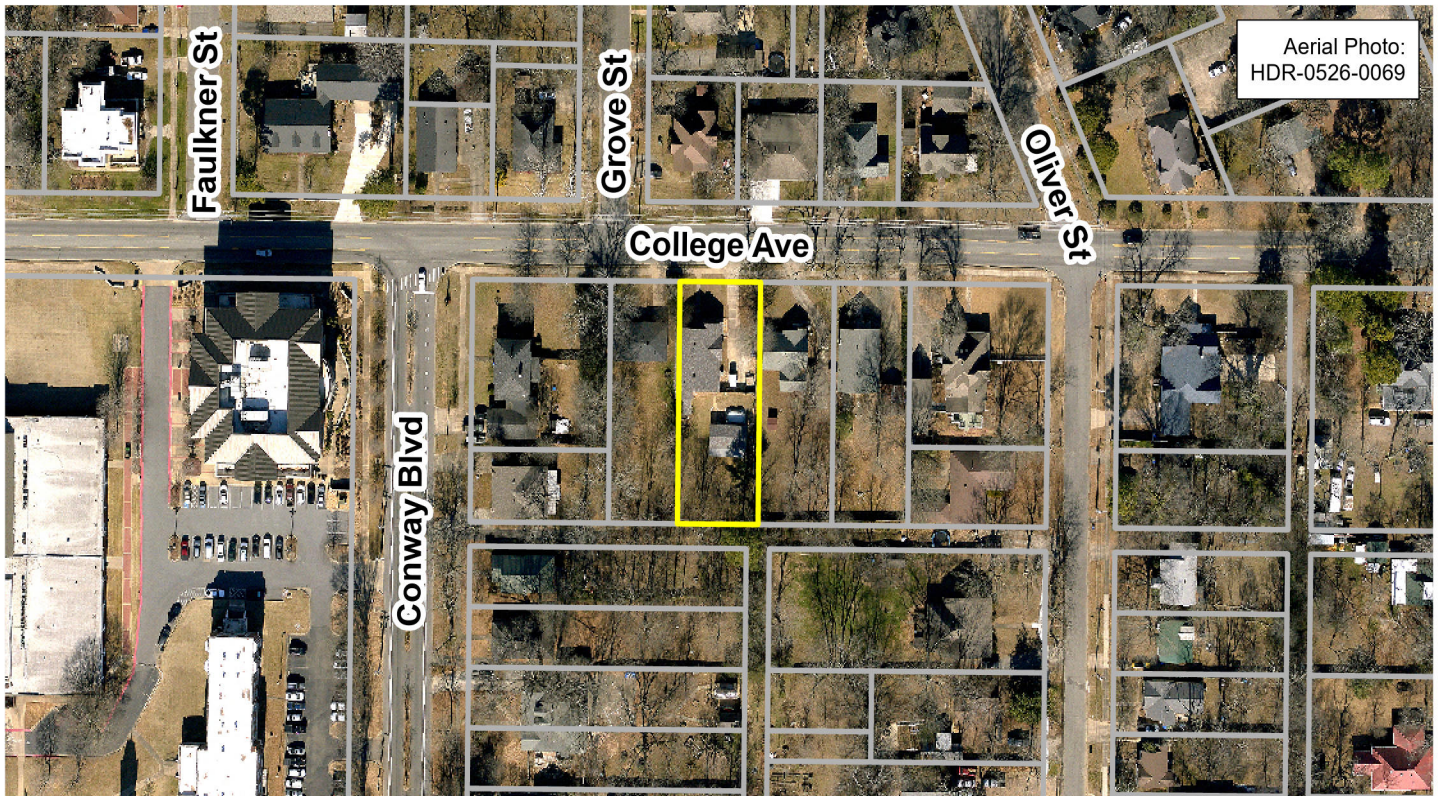
II. Additional Business

- A. Additional items as decided by the Commission

Adjourn.

OWNER/APPLICANT

Beau & Alexandra Turner
1419 College Ave
Conway, AR 72034



Address. 1419 College Ave.

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District (OCDOD-SR).

Abutting Zoning. North/South/East/West: R-2A, OCDOD-SR.

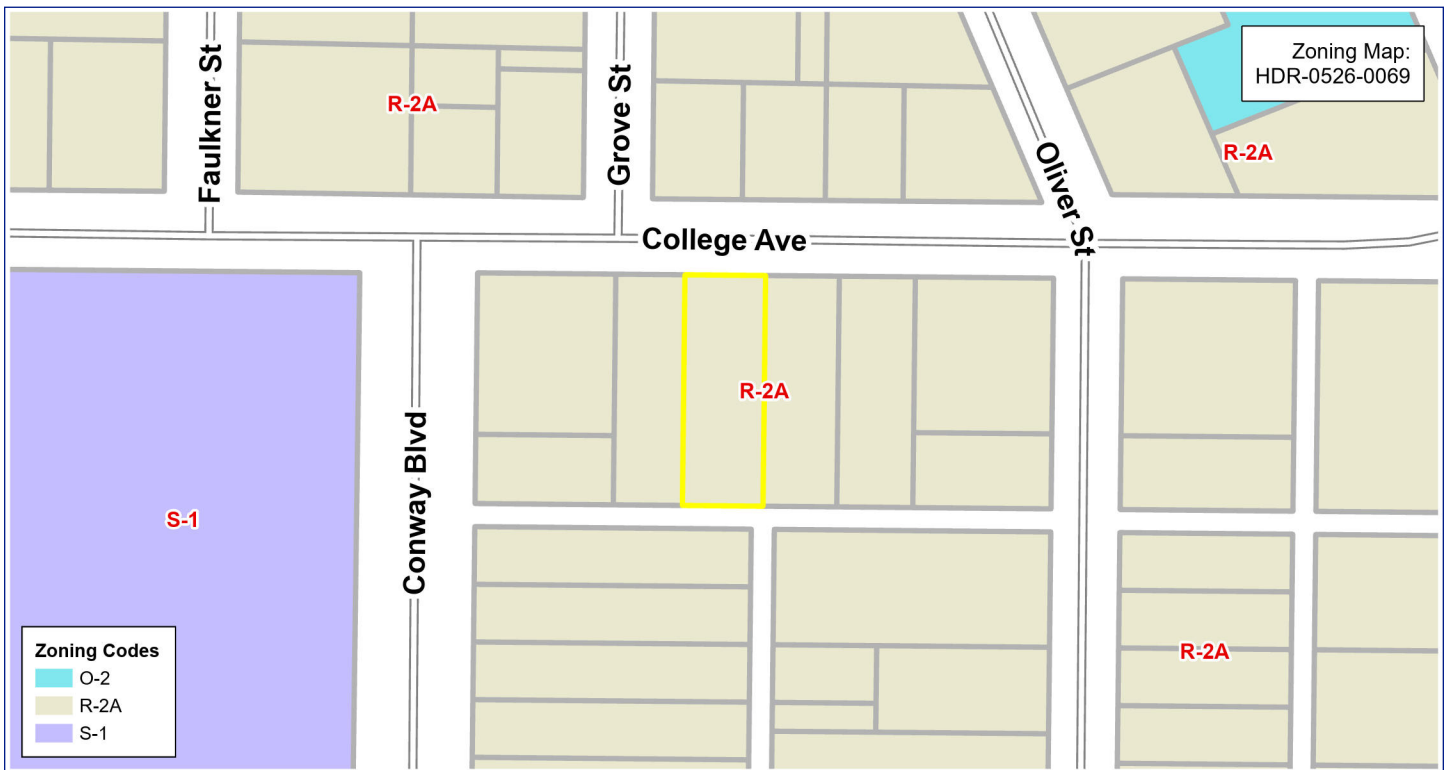
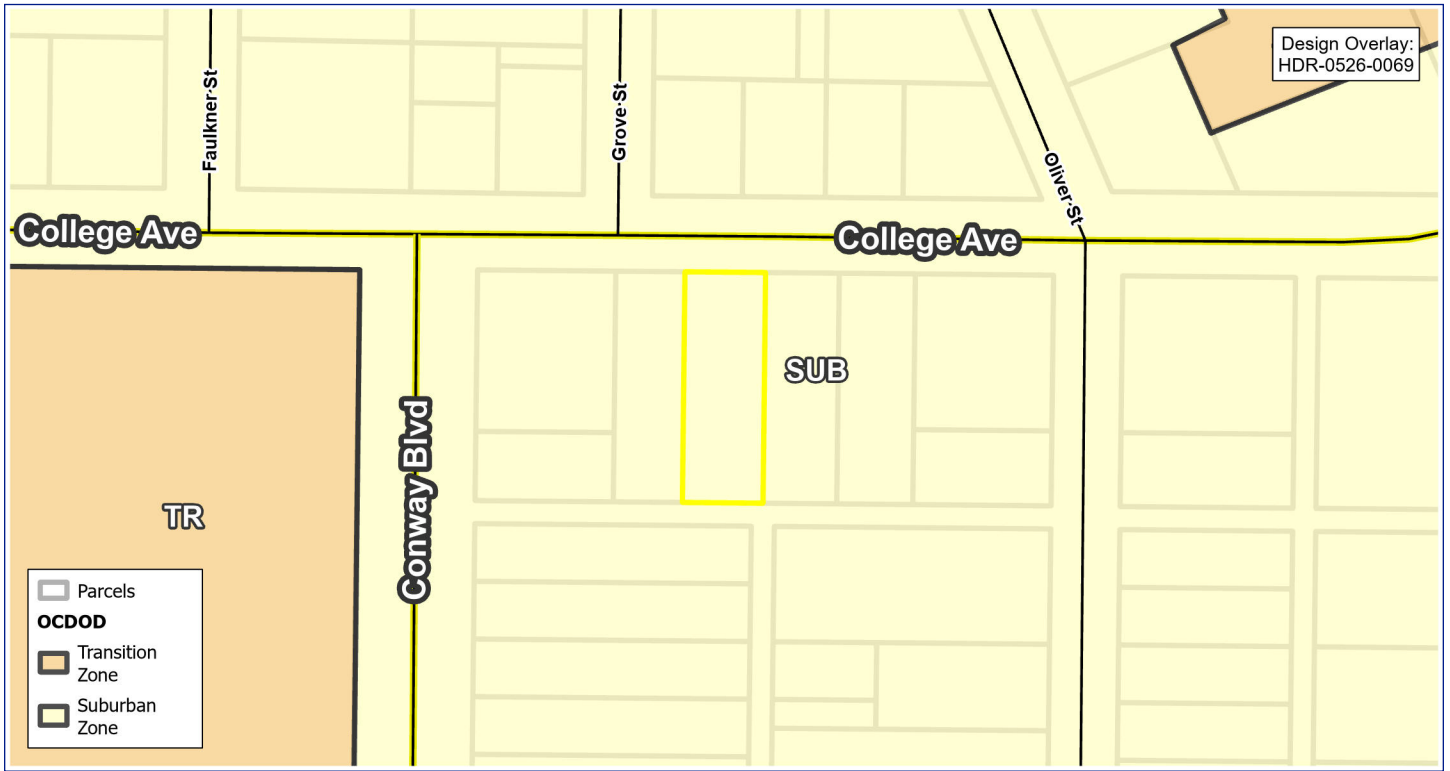
Lot Area. 0.32 acres ±.

Surrounding Area Structures. The property is located in the OCDOD-SR on the south side of College Ave between Conway Blvd and Oliver St. Area structures consist of a mix of single-family homes in Craftsman, Gable, Foursquare, Ranch, and minimal traditional styles.

General Description of Property and Proposed Development. The applicant is seeking after-the-fact approval for the installation of a detached metal carport. The applicant reached out to Permits and Planning staff in February of 2025 requesting information regarding the installation of a carport near the single-family residence. Planning and Permits staff explained the process for approval as well as constraints regarding setbacks, materials, design and lot coverage. The applicant was notified that Historic District Commission review would be required.

In early May, it was brought to Planning Staff's attention that a carport had been installed on site without benefit of permit.

The applicant is seeking approval for the installed carport.



OCDOD Submittal Guidelines**Section 3. Application for Certificates from the Commission and Administrative Official**

A. **Considerations.** In passing upon cases involving new construction, alterations, renovations or additions to existing structures, the reviewing authority shall consider the appropriateness of the size and shape of the building or structure both in relation to the land area upon which the building or structure is situated and to building and structures in the vicinity, and the reviewing authority may in appropriate cases impose dimensional and setback requirements in addition to those required by applicable ordinance or by-law.

B. **Submission Requirements.** No new building or structure or exterior renovation requiring a building permit or remodeling permit within the Old Conway Design Overlay District shall be constructed or altered in any way that affects exterior architectural features unless a Certificate of Appropriateness has been issued with respect to such construction or exterior renovation.

Section 8: Definitions.

Structure: Any construction, or any production or piece of work artificially built up or composed of parts joined together in some definite manner. That which is built or constructed; an edifice or building of any kind; excluding but no limited to, electric and cable television distribution and transmission lines, poles and equipment, fire hydrants and wastewater collection manholes.

Zoning Code Guidelines:**Section 1302 – Definitions.**

Accessory Building: A non-attached building or structure which is used in a subordinate and/or incidental manner to that of the main building on the same lot. If an accessory building is attached to the main building by a common wall or roof, it shall be considered part of the main building.

Structure: Anything constructed or erected for human occupancy and/or entrance, the use of which requires location on the ground or attached to something having a location on the ground.

Section 502.1 – Accessory Building Requirements.**A. Detached**

Accessory building must be detached from the main structure or such accessory building shall be considered as an addition to the main or principle building.

B. Setbacks

1. Accessory buildings shall be no closer than five (5) feet to any interior lot line.
2. Accessory buildings shall be located behind the rear of the main structure or no closer than sixty feet from the front property line.
3. Accessory building located on a corner lot shall be no closer than sixty (60) feet to one (1) of the two (2) front lot lines. The setback from the other front lot line shall no be closer than the established front setback of the main structure.
4. Accessory buildings shall be no closer than ten (10) feet to the principle building unless attached to and considered part of the principle structure. Attachment to the principle building shall be by means of the structural attachment of abutting walls or by a roofed structure with a minimum four (4) foot width.
5. Accessory buildings shall be no closer than ten (10) feet from other accessory building on the lot unless the accessory buildings are attached by means of the structural attachment of the abutting walls or by a roofed structure with a minimum four (4) foot width.

D. Area Limitations

2. Total area of residential accessory building(s) shall not be larger than fifty percent (50%) of the covered roof area of the main building.

E. Building Permit Requirement

A building permit is required for all accessory buildings, except residential accessory buildings fifty (50) square feet or less in area.

2021 International Residential Code**406.3.3.1 Carports**

Carports shall be open on not fewer than two sides. Carports open on fewer than two sides shall be considered to be a garage and shall comply with the requirements for *private garages*.

406.3.3.1 Carport separation

A separation is not required between a Group R-3 and U carport, provided that the carport is entirely open on two or more sides and there are not enclosed areas above.

310.4 Residential Group R-3

Residential Group R-3 occupancies where the occupants are primarily permanent in nature...

312.1 General

Buildings and structures of an accessory character and miscellaneous structures not classified in any specific occupancy shall be constructed, equipped and maintained to conform to the requirements of this code commensurate with the fire and life hazard incidental to their occupancy. Group U shall include, but not be limited to, the following:

Barns
Carports
Sheds
Etc.

Based upon the above information:

- The carport is a structure
- It is a structure that is not required to meet the minimum separation requirements per the International Residential Code, but is required to meet minimum OCDOD setbacks
- It is a structure that requires a building permit
- Because it requires a building permit, a Certificate of Appropriateness is required for its construction/installation

OCDOD Standards**SITE****Setbacks and Spacing.**

Setback – The area of a lot measured from the lot line to a building façade or elevation. This area must be maintained clear of permanent structures with the exception of: fences, garden walls, arcades, porches, stoops, balconies, bay windows, terraces, and deck (that align with the first story level) which are permitted to encroach on the setback.

Outbuilding Setbacks.

Front: Rear of Principal Building or no closer than sixty (60) feet from the front property line; Side: 5 feet minimum; Rear: 5ft minimum. *Planning Staff reached out to the Fire Marshal who explained that an open-air metal carport would not need to meet minimum setback requirements. Therefore, setback requirements are per the OCDOD ordinance.*

The applicant has installed the carport 6ft from the primary residence, 5 ½ft from the side property line, 58ft from the front property line, and 30ft from a detached shop.

The carport is positioned at the eastern side of the single-family residence.

Lot Coverage. Lot coverage is the ratio of the occupied area (buildings, driveways, walks, garages, etc.) to the total area of a lot. Lot coverage for all impervious surfaces shall be less than 60%.

The lot coverage did not change because of the installation of the carport. It was placed on an existing driveway. The total lot coverage of the site is approximately 30%.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The carport is installed at the side of the residence and is visible from College Ave.

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

The carport has been installed on an existing driveway. The applicant is using the carport to park vehicles, including a recreational vehicle.

MATERIALS AND DETAILING

Outbuildings. The design of new outbuildings with a footprint of 160 square feet or larger should use materials, windows, doors, and architectural detailing that are compatible with the existing or proposed residential structure. The footprint of a detached garage/outbuilding shall be no more than 30% of the footprint of the primary structure.

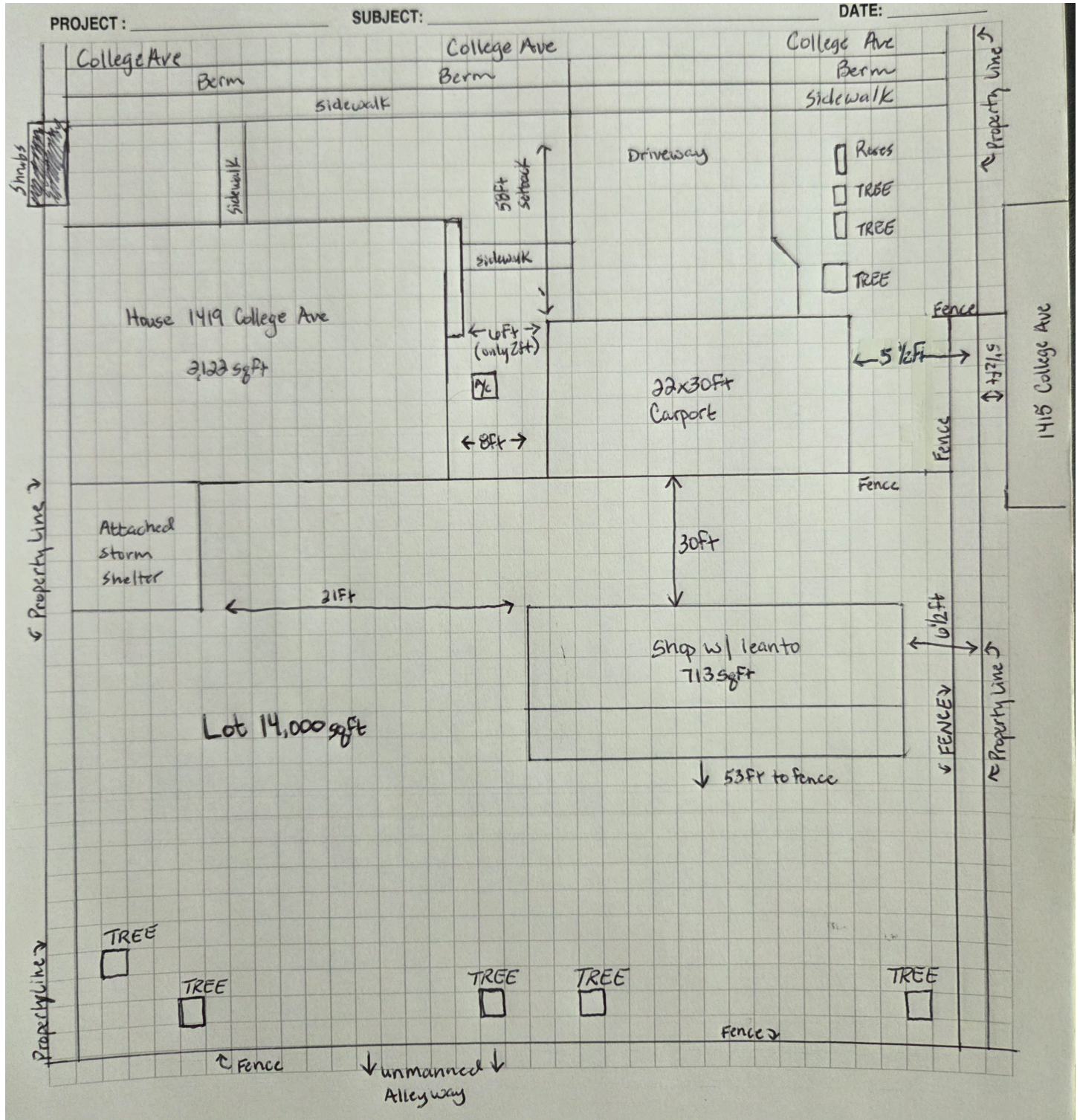
The applicant has installed a 22'x30' metal carport visible from College Ave. The materials are not compatible with the residential structure.

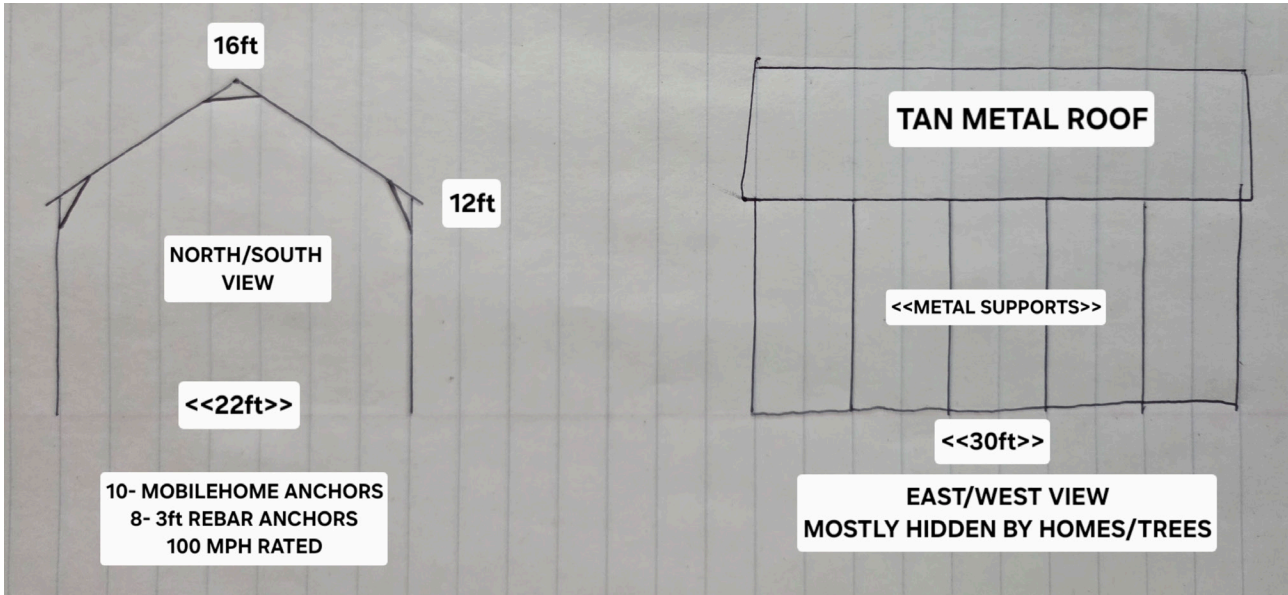
There are no architectural details. The applicant has indicated that the single-family residence is 2,122. At 30% of the footprint of the primary structure, the maximum square footage for outbuildings on site is 636sf. There is an existing shop on site that is 713sf. The site has already maximized the percentage of outbuildings on site without including the new metal carport.

CONDITIONS

1. The carport shall be modified to structurally attach to the single-family residence to be considered an addition and not an outbuilding.
2. The carport shall be modified to be composed of materials that are compatible with the single-family structure.
3. Any modifications must be submitted to Planning staff for review and may require approval by the Historic District Commission.
4. Applicant must obtain all applicable building permits if/when a Certificate of Appropriateness is granted.
5. If the applicant cannot meet conditions 1-4, the carport must be removed in its entirety by August 7th, 2026.

Section 7: Standards. *All specific numbers listed in Section 6 Standards such as setbacks, lot coverage, heights, footprints, etc. shall be used as minimal guidelines to produce desired development in the Old Conway area. However, due to the unique nature of Old Conway and its traditional pattern of development, the Conway Historic District Commission may grant exceptions to these numbers on a case by case basis without considering or setting precedent in order to allow development that is appropriate to unique circumstances.*







View of subject property facing S



View of subject property facing S



Looking W down College Ave



Property adjacent to the N



Property adjacent to the W



Subject property and properties adjacent to the E

Old Conway Design Overlay District

APPLICANT/AUTHORIZED AGENT

Derek Walter, WaltCo Construction
 P.O. Box 30
 Wooster, AR 72181

OWNER

5 Solas LLC
 7 Irene Circle
 Greenbrier, AR 72058



Address. 1259 Ingram St.

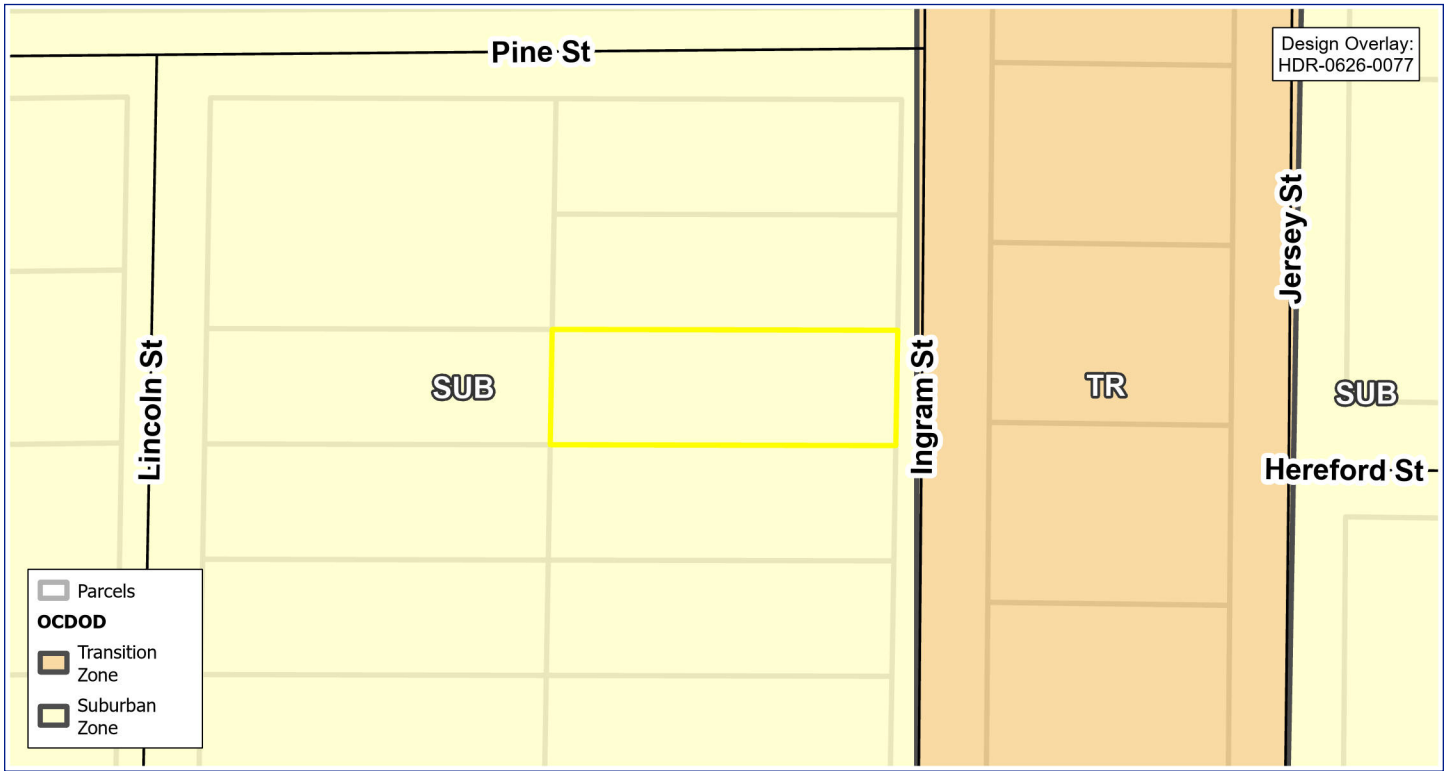
Present Zoning. T-3 (Suburban Transect)-Northeast Old Conway Area Specific Plan (NEOCA), Old Conway Design Overlay Suburban District (OCDOD-SR).

Abutting Zoning. North/South/West: T-3, OCDOD-SR; East T-4 (Transition Zone), OCDOD-Transition (TR).

Lot Area. 0.17 acres ±.

Surrounding Area Structures. The property is located in the OCDOD-SR district on the west side of Ingram St between Pine St and Walnut St. Area structures are predominantly minimal traditional style homes.

General Description of Property and Proposed Development. The applicant is proposing to construct an 1800± sf single-family residence with front and rear porches and an attached garage. Also proposed is a driveway, sidewalk and the removal of a tree along the street frontage. This is an infill development on a vacant lot. The lot is one of four vacant lots on the west side of Ingram St between Pine St and Walnut St. The dwellings on the east side of Ingram St are eastern facing with their rear facades fronting Ingram St. As such, there are limited comparisons by which to attribute a pattern of development along Ingram St in the immediate area. The style of the proposed residence is reflective of a contemporary minimal traditional home.



Old Conway Design Overlay District

SITE

Setbacks and Spacing. Front: 25 feet-35 feet.

Secondary Front (adjacent to street): 8 feet minimum.

Side: 6 feet minimum in all residential zones.

Rear: 5 feet or 15 feet from centerline of alleyway in residential zones.

The proposal conforms to all setbacks.

Spacing. Spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the area.

The proposal conforms.

Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is approximately 30%. The proposal conforms.

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door for this structure faces the street in a similar fashion to other structures on the west side of Ingram. The residences on the east side of Ingram face Jersey St with their rear facades fronting Ingram.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The applicant proposes an attached garage which is flush with the front façade of the residence. Based upon the configuration of the lot and residence, a detached garage at the rear appears feasible but is not proposed.

Alley. There is a closed alley at the rear of the lot.

Driveway / Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

The applicant has indicated a driveway off Ingram St near the southern property line. The width and material type is not specified.

Sidewalks. Sidewalks are required for new construction projects.

A sidewalk with greenspace is shown on the site plan. The widths are not specified.

Fences/Walls. Fences shall be no more than 3.5 feet tall in front yards with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6 feet tall and are only allowed in rear yards or side yards as deemed appropriate. Fences may be constructed of wood, iron (or aluminum mimicking iron), brick, or stone. The upper two feet of privacy fencing should have 50% opacity, provided by a lattice or grid pattern of wood or iron.

The applicant has not indicated any proposed fencing.

Tree preservation. Any trees over 8" in diameter or great must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

One significant tree will be removed. A tree will be planted to replace its removal. There will be one tree every 30 feet of frontage.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The proposal is for a single-story structure which is similar to most residences in the neighborhood. The width at approximately 30' will not be out of scale of the pattern of the neighborhood.

Old Conway Design Overlay District

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.
The building footprints will cover around 24% of the site which is similar to other structures on similarly sized lots in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.
The structures will contain a level of detailing and form that is compatible with the patterns of the area, especially recently constructed infill development.

Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.
The front elevation would benefit from an additional window, vent and/or dormer. It does not appear to have 25% windows on the front façade.

DESIGN ELEMENTS

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.
The contemporary, minimal traditional proposal is in alignment with the surrounding area and is appropriate for infill development in an area with other vacant lots.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed.
The depth of the front porch is not specified. There is minimal ornamentation. Wooden columns and a brick skirt contrasting board and batten siding characterize the front façade and entryway.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.
No lighting is shown.

MATERIALS AND DETAILING

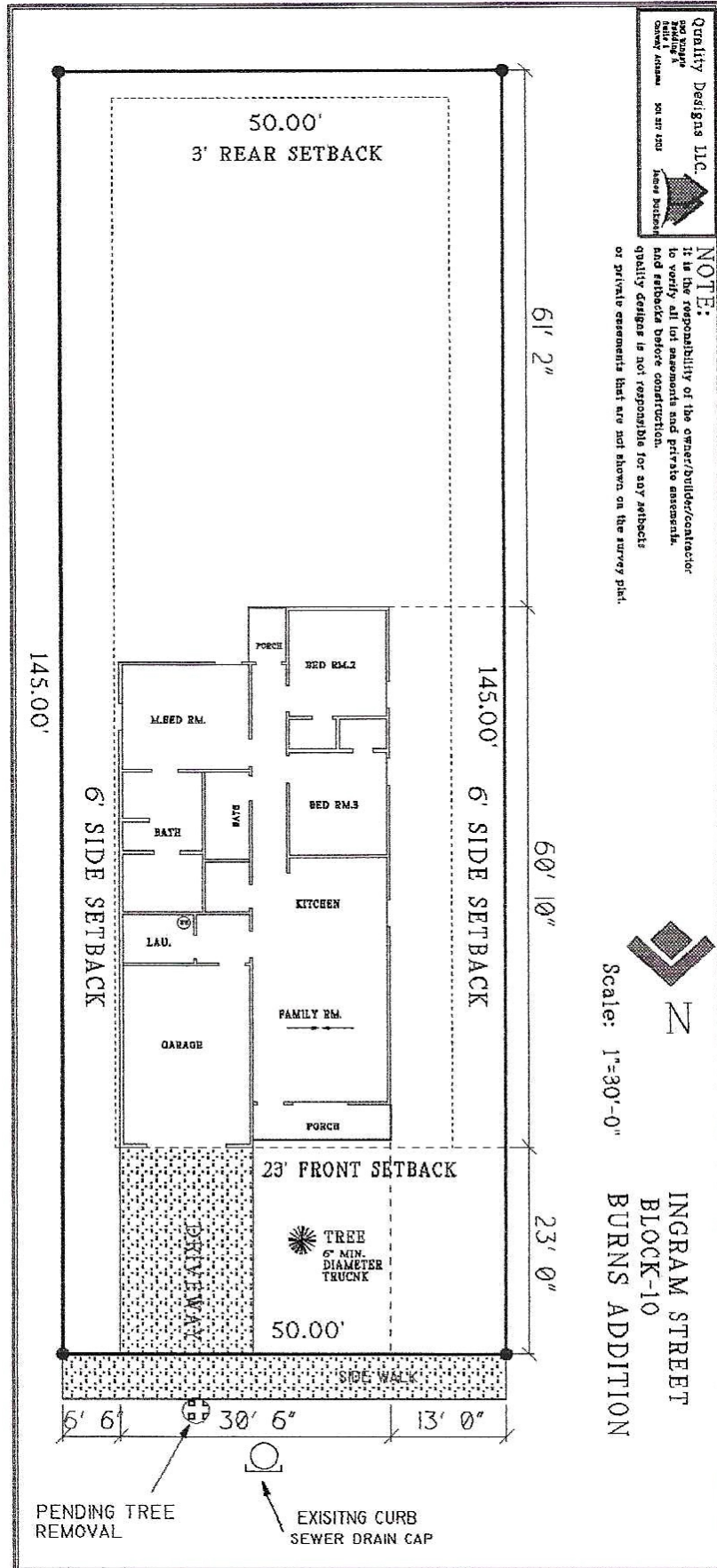
Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardieboard/LP Smartside type siding.
The applicant is proposing brick siding on the side, rear, and garage with board and batten siding accenting the front façade. Architectural shingles are proposed for the roof.

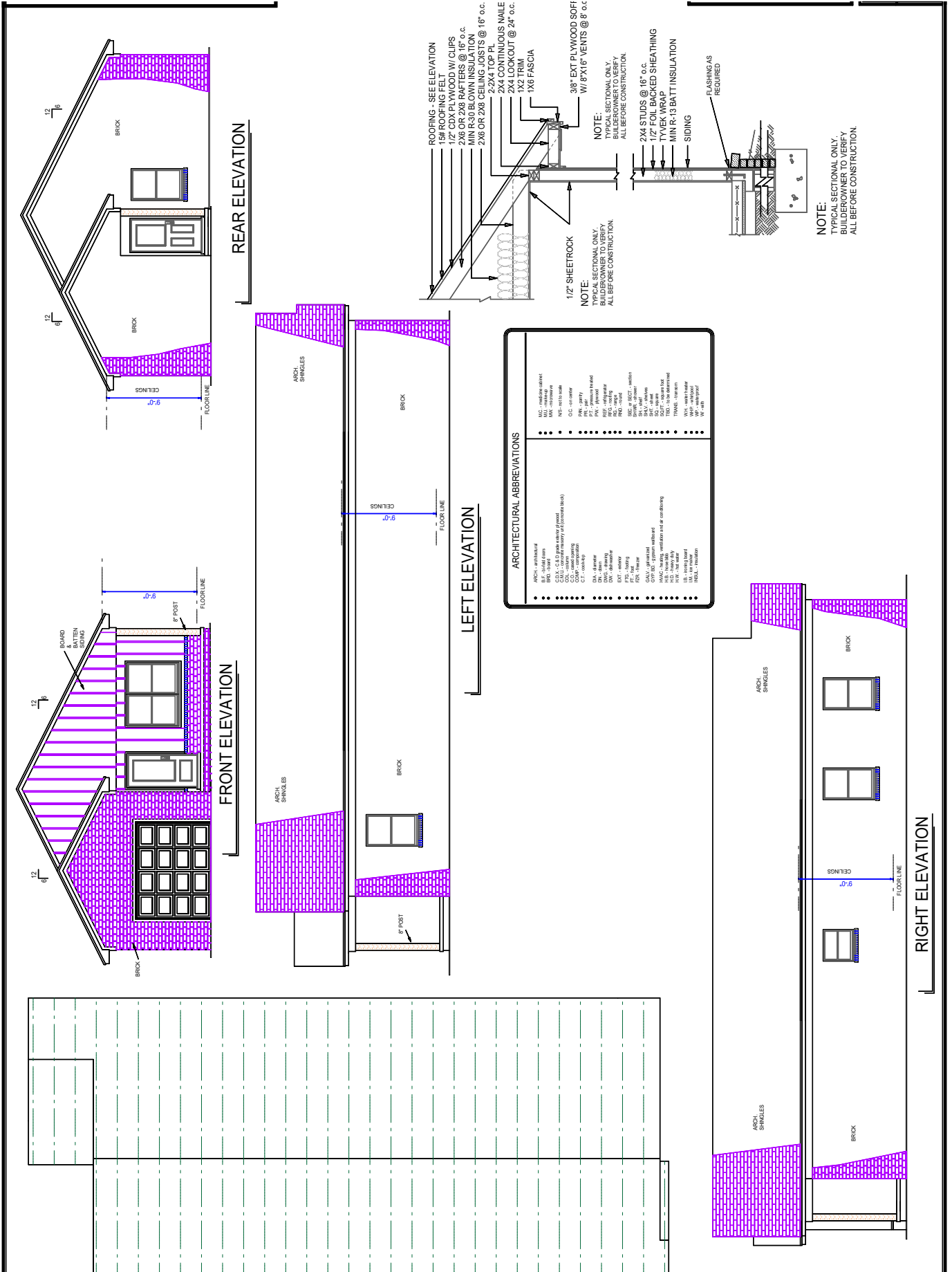
Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.
The applicant is proposing a gable roof with asphalt shingles. This is compatible with surrounding homes.

Mechanical system screening. HVAC units should be located where they are not readily visible from the street. If visible, they should be screened with shrubbery or fencing.
No HVAC equipment is shown on the site plan.

CONDITIONS

1. Applicant must obtain all applicable building permits if/when a Certificate of Appropriateness is granted.
2. Prior to issuance of a Certificate of Appropriateness, the applicant shall submit to Planning Staff a site plan and elevations showing:
 - Exact square footage of the proposed residence and garage
 - Depth of the front porch
 - Lot coverage tabulation
 - Driveway width and material type
 - Width of sidewalk and greenspace
 - An additional window/opening on the front façade
3. Sidewalk constructed in right-of way shall be a minimum of 5' wide as measured from the property line. Greenspace shall be provided between the sidewalk and the street at a width determined by the amount of area available after accounting for the sidewalk. If there is not sufficient right-of-way to accommodate a 5' wide greenspace, a sidewalk easement shall be recorded.
4. Fencing in the front yard shall be no more than 3.5' tall in the front yard with pickets no more than 4 inches wide and 3 inches apart. Privacy fences shall be no more than 6' tall and are only allowed in the rear yard. Privacy fences shall be setback from the front façade at least one-half the distance between the front and rear walls of the structure with it transitioning down to 3.5 feet tall as it transitions to the front yard.
5. The front porch depth shall be at least 6'.
6. Windows shall be at least one-over-one (not fixed windows).
7. Siding shall be brick, stone, wood, or Hardieboard/LP Smartside.
8. Driveway shall be concrete, pavers, or permeable paving.
9. Metal roofing is prohibited.
10. Lighting shall be downward and inward toward the property.
11. HVAC equipment shall be screened from public view.
12. There shall be one canopy tree for every 30' of street frontage and it shall be a species from the approved species lists.







View of subject property facing W



View of subject property and adjacent properties facing SW



Looking N down Ingram St



Property adjacent to the E



Properties adjacent to the S near the corner of Walnut St



Property adjacent to the S