



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

June 26, 2023 • 5:30pm • 1111 Main Street



City of Conway

HISTORIC DISTRICT COMMISSION

June 26, 2023

MEMBERS

Steve Hurd, Chairman
Emily Walter, Vice-Chairman
Marianne Black, Secretary
Jenny Davis
Shelby Fiegel
Liz Hamilton
Shane Lind

Call to Order.

Roll Call.

Approval of Minutes. May 22, 2023

I. Public Hearing Items - Robinson Historic District

- A. 1504 Prince Street - Addition and remodel (HDR-0623-0088)
- B. 1520 Prince Street - Small Wireless Facility (HDR-0623-0090)

II. Public Hearing Items - Old Conway Design Overlay District

- A. 2115 Hickory Street - Addition and remodel (HDR-0623-0087)
- B. 565 Front Street - Adaptive Reuse/Addition and remodel (HDR-0623-0091)
- C. 2060 College Avenue - Remodel (HDR-0623-0092)
- D. 2140 Caldwell Street - Addition and remodel (HDR-0623-0093)

III. Additional Business

- A. Items as decided by the Commission

Adjourn.

APPLICANT/OWNER

Josh Furgerson
Furgerson Brothers Painting, Inc.
1216 Clifton St
Conway, AR 72034



LOCATION

Address. 1504 Prince St.

Present Zoning. R-1 (One-Family Residential), Asa P. Robinson Historic District.

Abutting Zoning. West/South: R-2A (Two-Family District) in the Robinson Historic District; East: C-1 (Central Business District), North: R-1 (One-Family Residential), in the Old Conway Design Overlay District.

Lot Area. ± 0.19 acres.

Surrounding Area Structures.

- West: 1506 Prince St – House at 1506 Prince c.1924 (Bungalow; Non-Contributing)
- East: 1418 Faulkner St – OCDOD c. 1959 (Plain/Traditional; Gable)
- North: 1013 Faulkner St – OCDOD c. 1951 (Plain/Traditional; Bungalow)
- South: 939-943 Faulkner St – Duplex at 939-943 Faulkner c. 1939 (Plain/Traditional; Craftsman; Contributing)

1504 Prince Street - Remodel and Addition

Robinson Historic District

I.A



General Description of Property and Proposed Development. The site is occupied by a 1,440 sf single-family home that was recorded as experiencing neglect/deterioration in the 2020 Robinson Historic District survey with a note specifying “porch falling in, needs new roof”. The applicant is proposing to remodel the existing house by replacing portions of the roof and shingles; replacing siding where necessary; adding a bathroom; adding a back porch with columns to match existing front porch; updating all plumbing and electrical; adding an HVAC system; removing the existing garage structure and replace with an attached garage; relocating driveway to enter from Faulkner St; and add fencing in backyard along property line. Applicant intends to repair existing windows, but may need to replace with vinyl windows if the cost of repair is too great.

The 2020 survey notes the residence as contributing.

The site is characterized as being the boundary between the Asa P. Robinson Historic District (RHD) and the Old Conway Design Overlay District (OCDOD). Consequently, properties to the East and North are governed by OCDOD regulations whereas the subject property and its neighbors to the South and West are governed by RHD regulations.

NEIGHBORHOOD

Public Rights of Way and Alleys. Preserve and maintain the topography, patterns, features, materials, and dimensions of streets, sidewalks, alleys and street plantings that contribute to the overall historic character of the historic district. Screen utility elements, such as gas meters, trash cans, and dumpsters with landscaping or approved materials.

Applicant is proposing an HVAC unit. The HVAC unit will need to be screened from the public right-of-way or positioned in a location where it is not visible (or minimally visible) from the public right-of-way.

SITE DATA

Setbacks and Spacing. Outbuildings should be at the rear of the principal building with a minimum 8’ secondary frontage setback. The Zoning Code requires a minimum setback of 5’ from all property lines in the R-2A zoning district.

As displayed on the submitted site plan, the proposed garage will be approximately 40’ from the rear property line and the porch addition will line up with the eastern side of the house.

Garages/Accessory Structure. These structures should be composed of materials similar to the primary structure, be smaller than the primary structure, and be placed at the rear. Where rear placement is prevented, such structures may be placed at the side of the structure.

Applicant is proposing a 20’x25’ attached garage behind the residence. It will match the materials and color of the residence.

Through consultation with Iain Montgomery (AHPP), staff has determined that an addition of this size and type would impact the residence’s “contributing” status.

If a historic garage or accessory building is missing or deteriorated beyond repair, and a replacement is desired, it should be replaced with a design based on accurate documentation or a new design.

The 2020 survey references a level of deterioration of the existing garage evidenced by survey photos. As a result, the applicant is proposing a demolition of the existing garage and construction of a new garage.

A replacement of the existing, detached garage of the same size and scale should not affect the contributing status of the residence. Should the applicant wish to propose a new garage of this type, it will need to be reviewed through a subsequent submittal.

Walkways, Drives, and Parking. Historic features such as walkways should be repaired and retained. When new walkways or driveways are proposed they should be designed to be compatible with existing walkways and driveways.

The applicant is proposing to move the driveway from the side of the residence to the rear, accessing from Faulkner St. The new configuration conforms to guidelines.

Sidewalks. Sidewalks are recognized as an important site feature that promotes walkability in the neighborhood. Sidewalks are not to be removed. The repair, replacement, or construction of sidewalks is highly encouraged and required with **new construction**.

The applicant is proposing a porch addition. The definition of "addition" states: "New construction added to an existing building or structure."

The porch addition triggers the need for the sidewalk along Prince St to be repaired and extended to the rear property line on Faulkner St.

Site Features and Landscaping. Any trees over 8" in diameter may not be removed without approval via a certificate of appropriateness. New street canopy trees are required for each 30' of street frontage.

There is a Magnolia tree adjacent to the existing garage which appears to be over 8" in diameter. Project is conditioned to protect or replace said Magnolia.

Changes to Building Exterior. The use of synthetic siding materials such as aluminum siding, vinyl siding, and imitation stucco to cover historic structures is not appropriate.

Original wall material was Weatherboard. Current siding is vinyl. The vinyl siding did not result in a non-contributing status for the residence.

The applicant proposes to replace the siding with Hardie® siding, which is closer in appearance to the original siding than vinyl.

Windows and Doors. Repair historic windows and doors and their distinctive features through recognized preservation methods for patching, consolidating, splicing, and reinforcing. If replacement of a deteriorated window or door feature or detail is necessary, replace only the deteriorated feature in kind rather than the entire unit. Match the original in design, dimension, and material. Consider compatible substitute materials only if using the original material is not technically feasible.

The applicant would like to repair the existing windows. However, repairing the windows could prove cost prohibitive. Through coordination with AHPP, Planning Staff has learned that the replacement of the original windows could impact the residence's contributing status, but that this determination is subject to the discretion of the individual or group who performs the next survey of the Robinson Historic District.

The residence is modest in nature and is adjacent to the OCDOD overlay. In making window recommendations, staff has taken into consideration that a larger residence with more distinct architectural features may not be given the same level of scrutiny regarding a window replacement as this modest residence. Nevertheless, the financial burden for window replacement may be comparable regardless of other architectural detailing and scale of a residence. As noted above, the residence is deteriorating. This deterioration is increasingly compromising the structural integrity of the house. A costly prescription of window restoration could undermine the applicant's ability to restore other aspects of the residence in a timely manner. Providing flexibility with the window replacement could salvage other aspects of the residence by allowing the applicant to complete restoration before the roof caves in or the interior rots from exposure to the elements. Staff recommends that the windows be restored to the greatest extent possible.

Fences and Walls. The guidelines recognize historic fencing and walls as character defining features. Original fencing should be maintained and repaired rather than replaced. Fencing placed in the front yard area shall be no taller than 42" and shall not be more than 65% solid. Privacy fences shall be restricted to the rear and side yard and should be no more than 6' in height. The upper two feet of privacy fencing should have 50% opacity provided by a wooden or iron grid lattice. Privacy fences should be setback from the front façade at least one-half the distance between the front and rear walls of the structure. Size, scale, design, and form should be compatible with the house. Chain link, vinyl, plastic composite, and bare concrete are prohibited.

The applicant is proposing fencing in back yard on property line. Staff recommends conditioning the project to permit a fence no taller than 6' constructed with traditional materials such as wood.

Lighting. Introduce new site and street lighting that is compatible with the human scale and the historic character of the district.

No new lighting has been indicated in the project description or on site plans/elevations.

Additions. New additions should never compromise the integrity of the original structure or site either directly through destruction of historic features and materials or indirectly through their location, size, height, or scale.

The applicant proposes extending the roofline to fill in an area on the north side of the property and construct a back porch. The roofing material will match the residence and the columns will match those on the front porch. Research throughout the district has indicated that additions do not necessarily result in a non-contributing status. The residence at 1709 Prince St is contributing with a comment which reads: "Back L addition has been added since 1998 survey. Excellent restoration and sensitive addition."

Front Elevation



Back Elevation

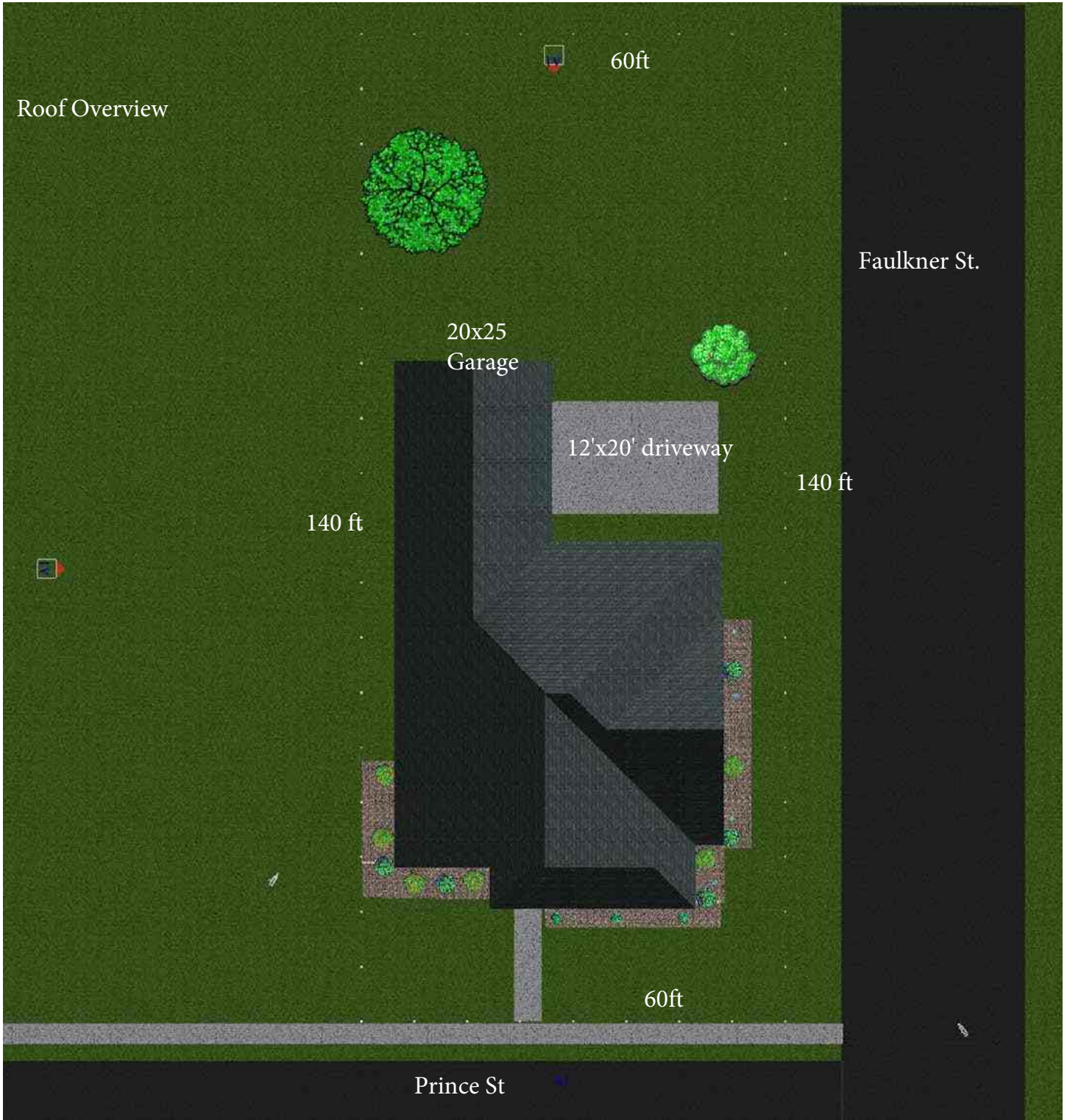


Right Elevation



Left Elevation





RECOMMENDATION

Staff recommends approval of the application with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department*
2. HVAC unit shall be screened from the public right-of-way through its positioning in relation to other structures or through vegetative cover.
3. Porch addition shall have columns which match those on the front porch.
4. Driveway shall be 8'-10' in width and be composed of pavers or concrete.
5. All fascia and soffits shall be repaired with wood or a wood-like material such as Hardie® siding/LP® SmartSide®.
6. Applicant should protect the existing Magnolia tree located in the back yard with a tree preservation fence. If the existing tree cannot be preserved it shall be replaced with a tree of the same species or one from the approved list.
7. Any back or western side yard fencing shall not exceed 6ft in height; it shall be composed of wood; and the upper two feet should have 50% opacity through a wooden lattice. Any fencing in the front yard area (and/or side street side yard area) shall not exceed 42" in height and may not be more than 65% solid.
8. The sidewalk along Prince St shall be repaired. Any new construction, including additions, shall require the sidewalk to be extended to the rear property line on Faulkner St.
9. Any security lighting must be discriminate and not shine beyond property boundaries. New lighting must be low level.
10. Windows should be repaired to the greatest extent possible. Should they need to be replaced, they shall be replaced with one-over-one windows, preferably wood-framed.
11. Siding shall be vinyl, Hardie® siding or wood.
12. The existing garage may be demolished. Applicant shall secure proper permits for demolition.
13. Deny approval of the attached garage as proposed.
14. Roofing shall be 3-tab asphalt shingle or architectural shingles.
15. Property shall be replatted prior to issuance of certificate of completion.
16. **Applicant shall submit revised plans for approval prior to issuance of a Certificate of Appropriateness.**



Property adjacent to the W



Property adjacent to the S

1504 Prince Street - Remodel and Addition

Robinson Historic District

I.A



View of subject property from Prince St looking N



View of subject property from Faulkner St looking W



View of subject property from Prince St looking NE



View of subject property from Faulkner St looking SW



Property adjacent to the E



View of detached garage (to be demolished) from Prince St looking N

APPLICANT/AUTHORIZED AGENT

Ruby Duong
ExteNet Systems
6801 Portwest Dr, Ste 100
Houston, TX 77004

OWNER

Jason Beaver
1006 Clifton St
Conway, AR 72034



SITE DATA

Address. 1520 Prince St.

Present Zoning. R-1 (One-Family Residential), Robinson Historic District.

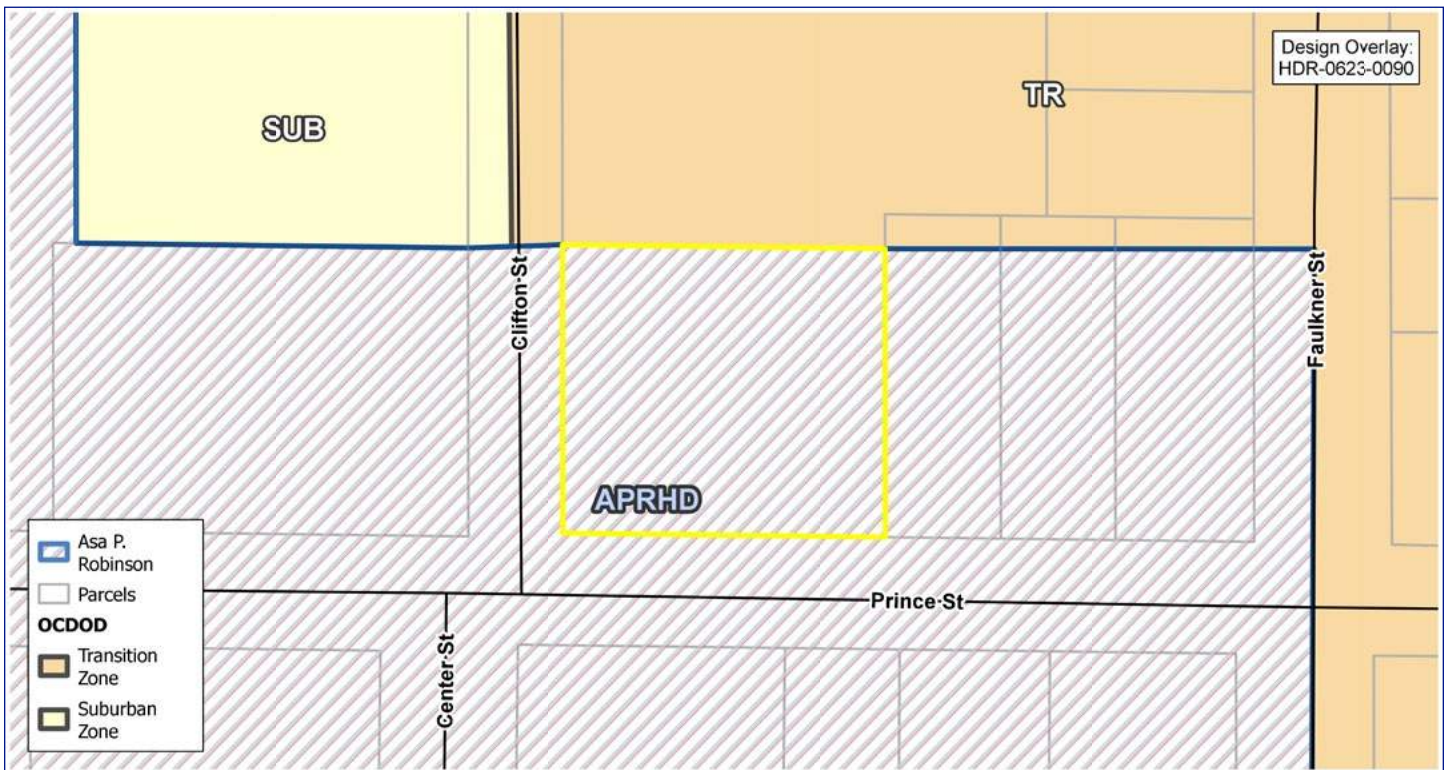
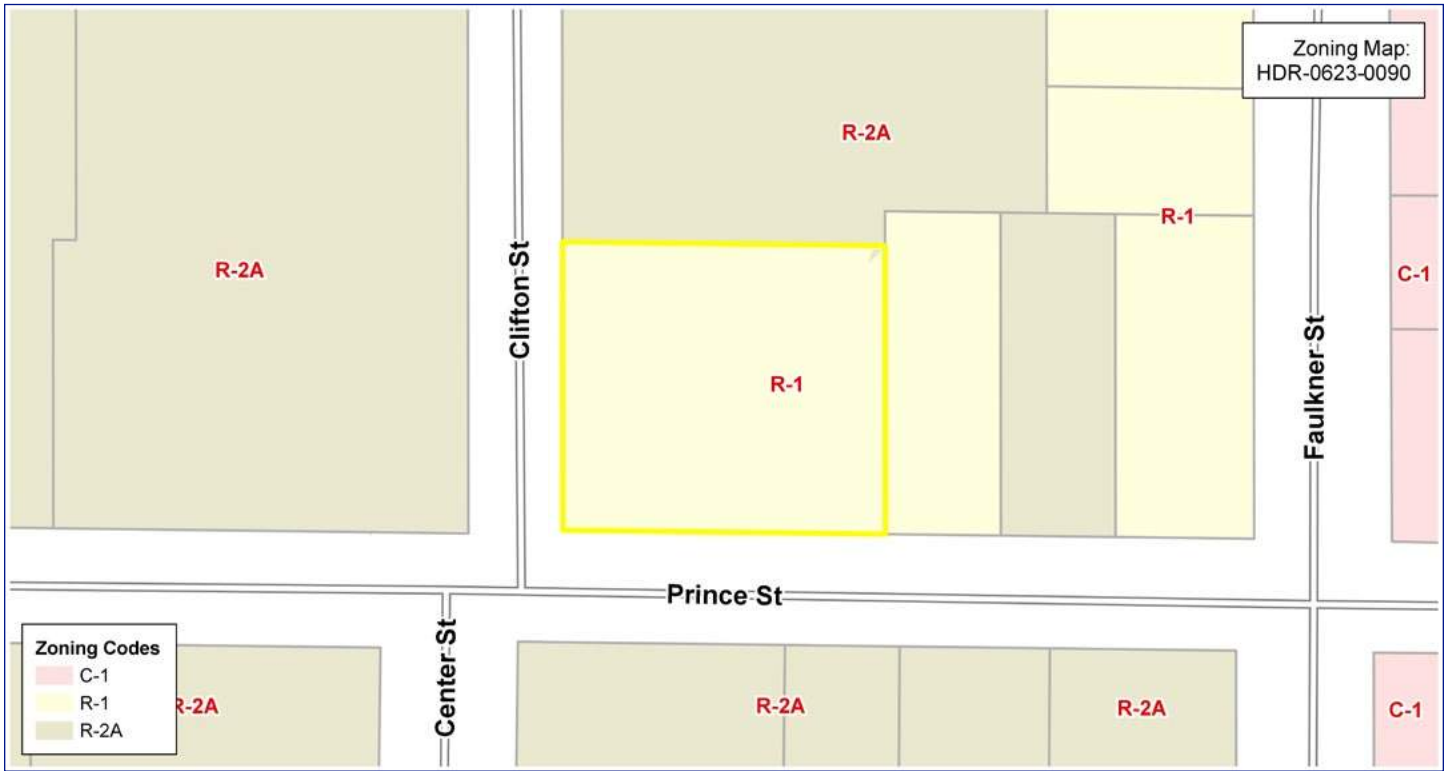
Abutting Zoning. North/South/West: R-2A (Two-Family Residential), East: R-1, Robinson Historic District.

Lot Area. ± 0.40 acres.

Surrounding Area Structures. No surrounding structures will be impacted by the design or appearance of the small cellular antenna or equipment.

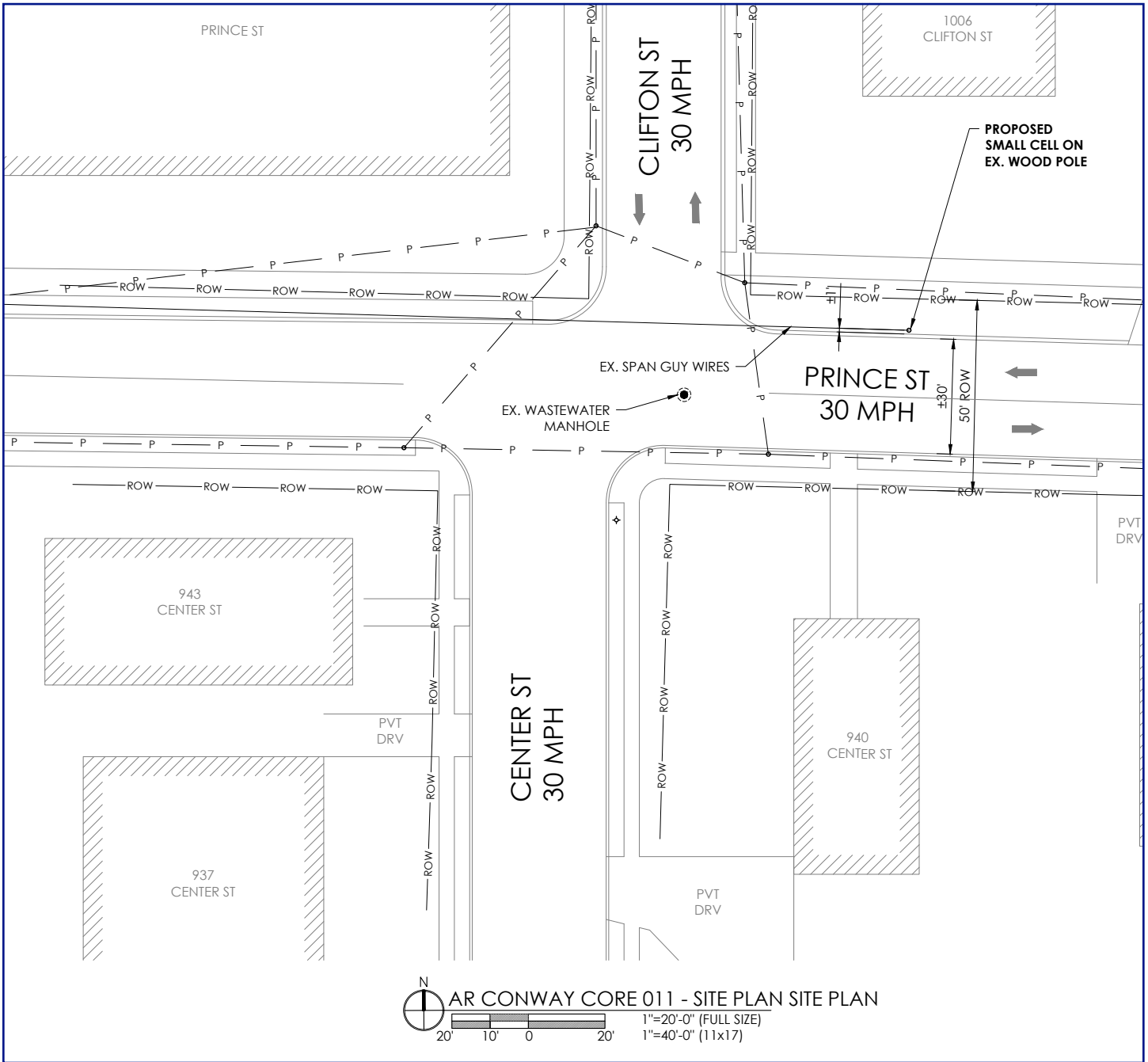
General Description of Property and Proposed Development. The applicant is proposing to install a small cellular antenna on an existing wooden utility pole in the Robinson Historic District. This is to connect Verizon 5G services to this area of Conway. They will also be installing an electrical meter and disconnect on the proposed pole.

The structure will consist of an omni-directional antenna mounted at the top of the pole. Total height after installation will be 28'. A 3' cabinet will be installed near the top of the pole and the meter base and disconnect will be roughly 6' from ground. All wiring will be contained in either guards or conduit to improve the appearance of the structure.



RECOMMENDATION

Staff recommends approval of the colocation of the small cellular antenna and accompanying equipment. Applicant shall secure required permits for installation.



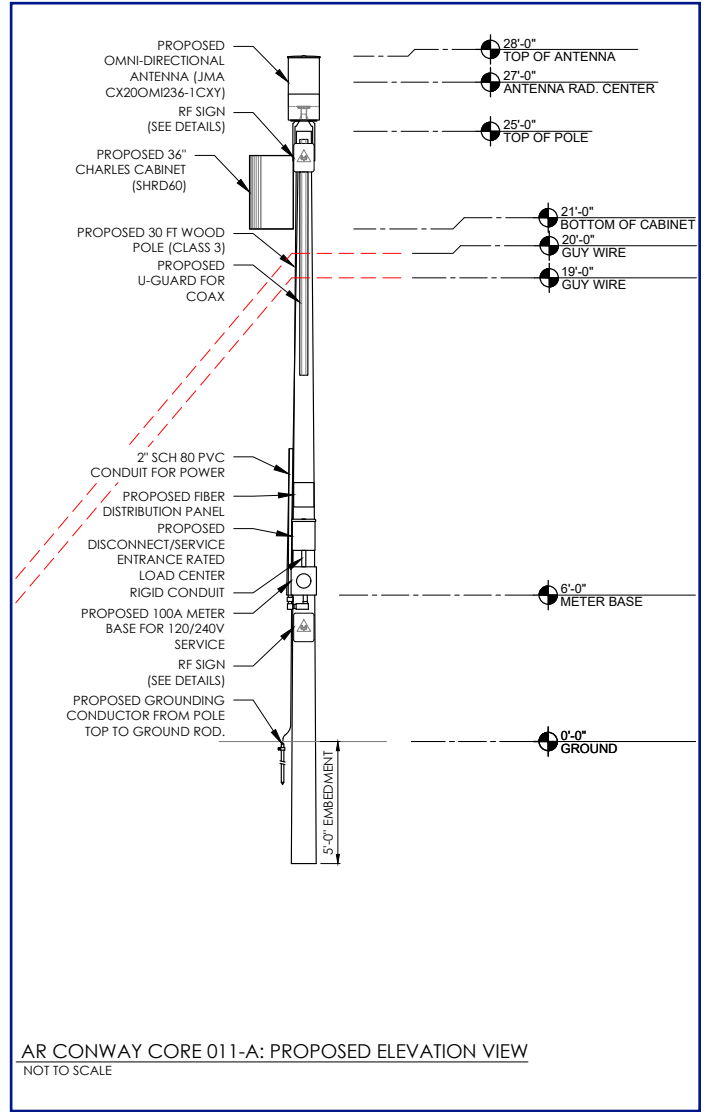
1520 Prince Street - Small Wireless Facility, Attachment

Robinson Historic District

I.B



Subject utility pole at Prince St & Clifton St



Proposed attachment detail



Subject utility pole with adjacent residence

2115 Hickory Street - Remodel and Addition

Old Conway Design Overlay District

APPLICANT/AUTHORIZED AGENT

Edgar Castillo
604 Spruce St
Conway, AR 72032

OWNER

Shriya Properties, LLC
816 E Oak St
Conway, AR 72032



SITE DATA

Address. 2115 Hickory St.

Present Zoning. R-1 (One-Family Residential), Old Conway Design Overlay Suburban District.

Abutting Zoning. North/South/East/West: R-1 (One-Family Residential) Old Conway Design Overlay Suburban District..

Lot Area. ±0.32 acres.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the south side of Hickory St between Donaghey Ave and Western St. Area uses include a mix of single-family residences characterized as craftsman, mid-century ranch, plain/traditional and gable front & ell styles.

General Description of Property and Proposed Development. Applicant proposes a 22'x16' addition, exterior renovations, new windows, reroofing, and conversion of a storage building into a two-car, detached garage.

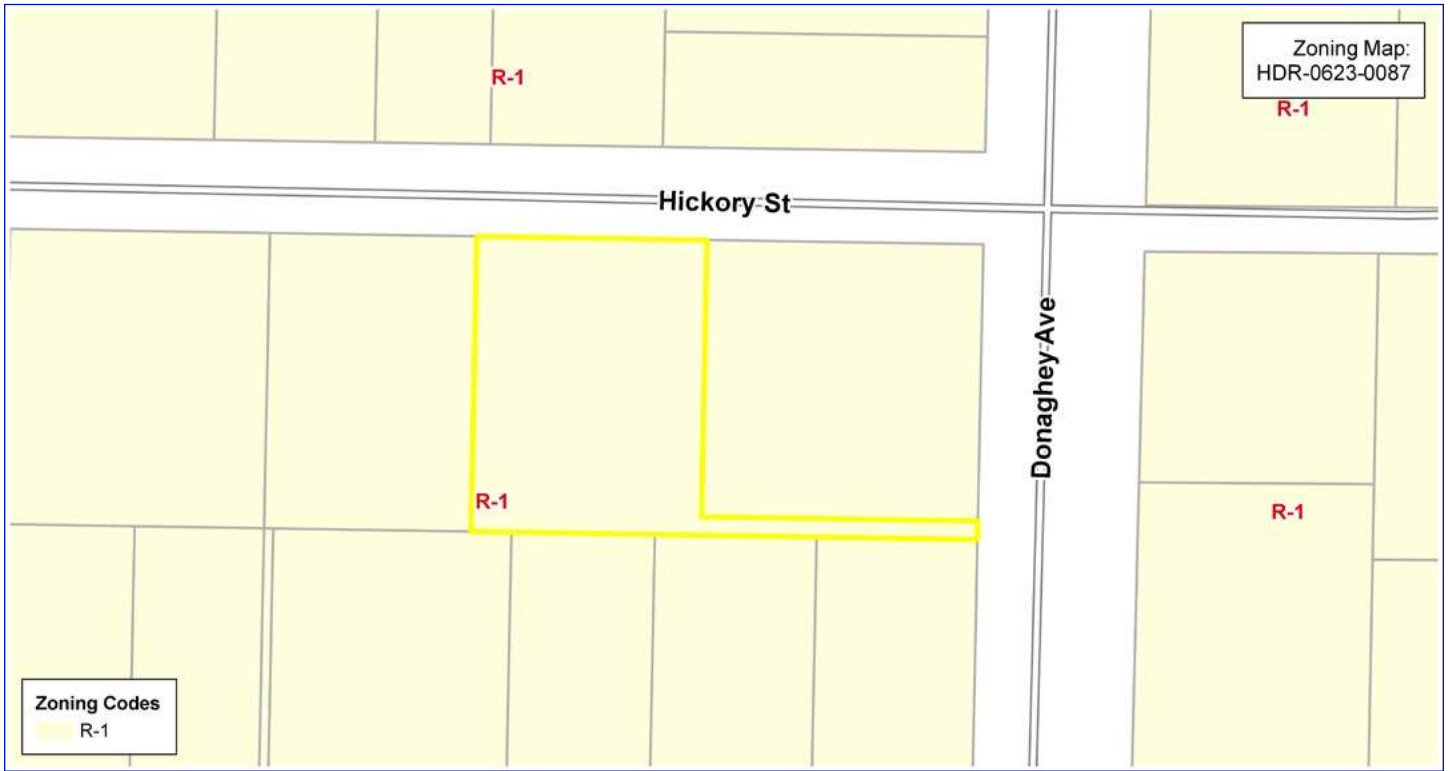
Setbacks. Locate new construction between 85 and 115% of the average front setback distance from the street established by the existing adjacent historic structures.

Addition is proposed on the eastern side of the residence and is recessed from the front porch thereby conforming to already established setbacks.

2115 Hickory Street - Remodel and Addition

Old Conway Design Overlay District

II.A



Lot Coverage. The maximum allowable lot coverage for new properties within the Suburban Zone shall be 60%.

The proposal conforms.

Garages & Ancillary Structures. These structures should always be smaller than the main house and, whenever possible, should have similar detailing as the main house. It is best to locate garages at the back of the lot if possible, though it is also possible to build tasteful, attached garages.

Proposing to convert an existing structure already located at the rear of the property into a garage, remodeling it to have similar detailing as the main house.

Parking. Parking is not permitted in the front yard of houses. Parking is allowed in driveways. No more than fifty (50) percent of the front yard may be paved. Parking areas should be concrete, pavers, or permeable parking surfaces such as grass pavers.

The garage will provide an appropriate parking area. Otherwise, the driveway along the side of the residence and into the rear may be used for parking.

Driveways. Driveways should be concrete, pavers, or permeable parking surfaces such as grass pavers. The use of permeable materials is encouraged.

Applicant proposes both gravel and concrete for the driveway material. The entire driveway will need to be concrete, pavers, or a ribbon (concrete strips with a permeable median).

Sidewalks & Walkways. A sidewalk shall be constructed or repaired as part of new construction. Sidewalk Exception: Sidewalks are not required with the construction of an addition or outbuilding with a footprint area less than 30% of the primary structure's footprint.

According to the applicant, the existing square footage of the primary residence is 1,455. The proposed addition is 352sf. 30% of 1,455 is 436sf. Consequently, the addition qualifies for the exception and the applicant will not be required to construct a sidewalk.

MASSING

Complexity of form. The detailing and articulation of the structure should respect the forms of the vicinity.

The house generally maintains a complexity of form that is complementary to surrounding structures. Existing architectural detailing remains and is consistent between the primary residence and the proposed addition.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

Proposed addition contains two street facing windows which follow the same rhythm as the primary residence.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.

The style and character of the structure will be compatible with the area.

Entries, Porches, and Porticos, Doors and windows, Awnings. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted. Roofing for porches should match the main structure.

No changes to the porch are proposed. Proposed windows are one-over-one and a single picture window which will face the side yard. Considering that the residence was built in 1952 and the picture window will not face the street, the picture window is appropriate.

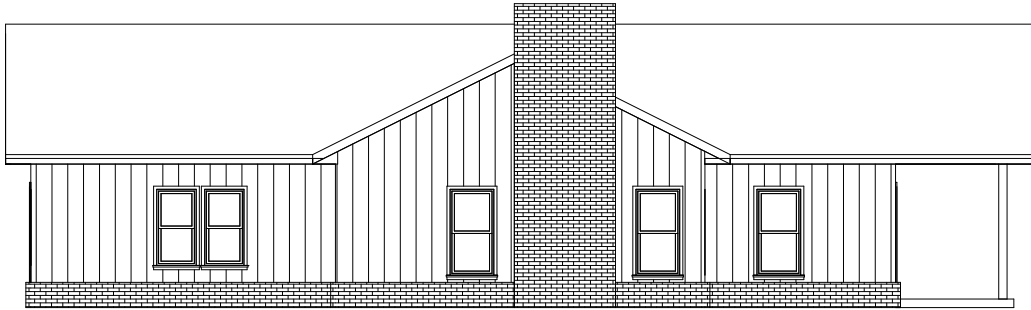
Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.

Applicant proposes Hardie® board & batten siding with brick accents.

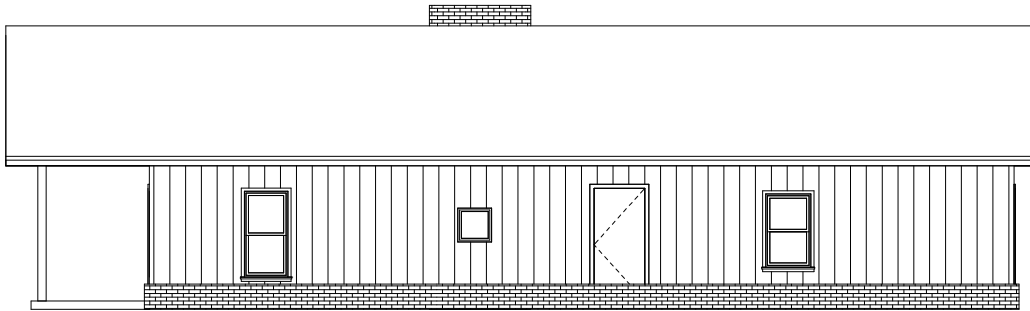
2115 Hickory Street - Remodel and Addition

Old Conway Design Overlay District

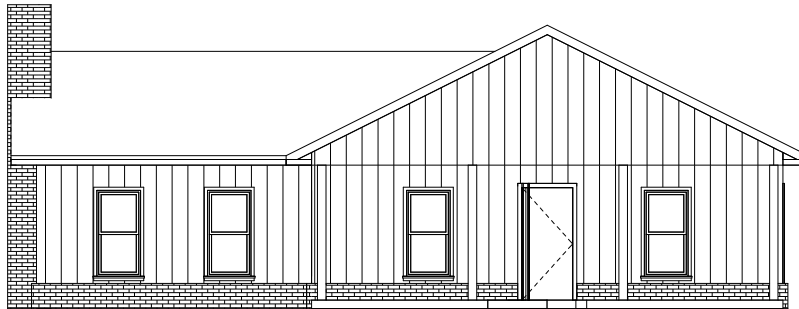
II.A



② LEFT
1/4" = 1'-0"



④ RIGHT
1/4" = 1'-0"



① FRONT
1/4" = 1'-0"

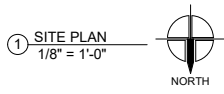
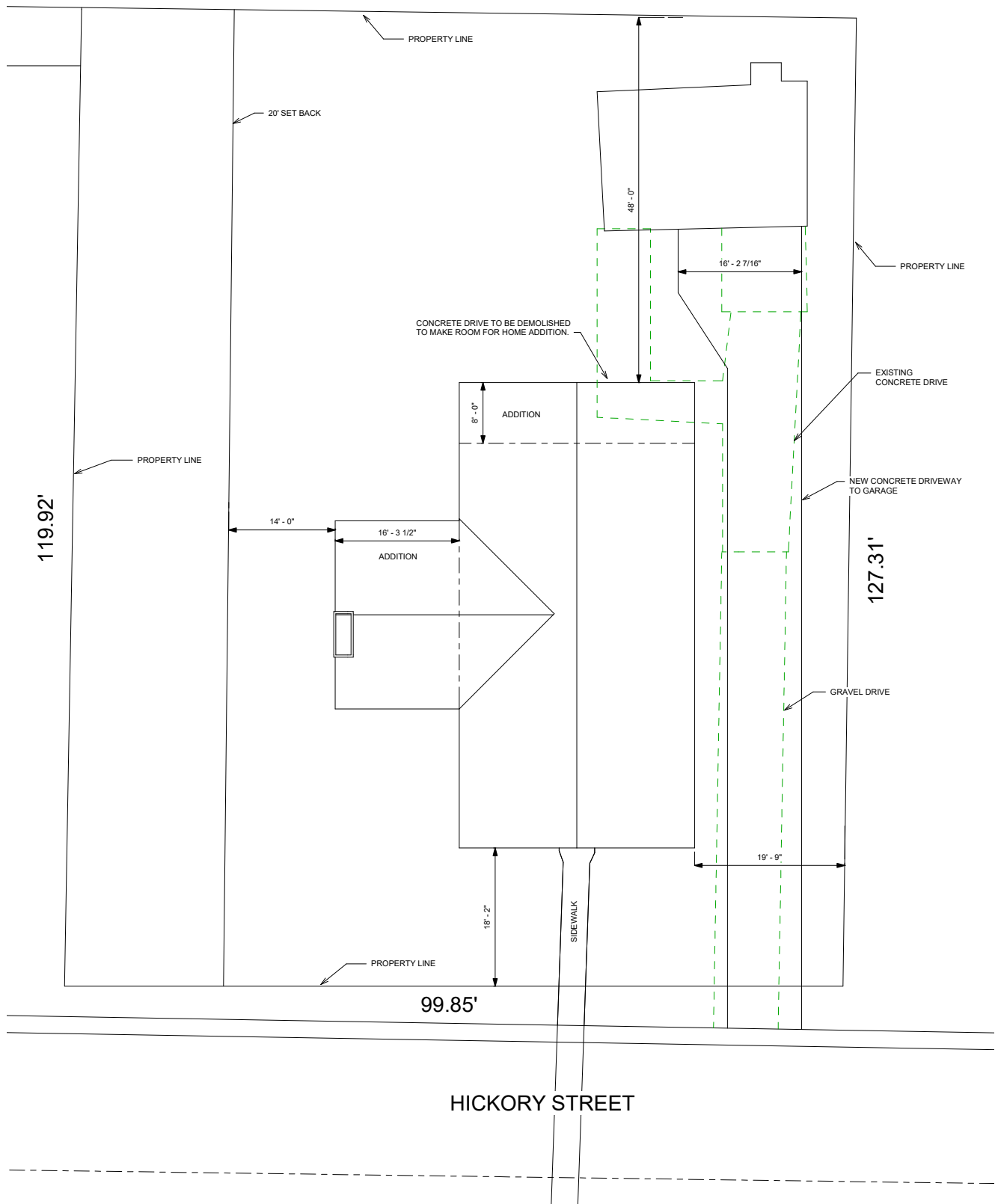


③ BACK
1/4" = 1'-0"

2115 Hickory Street - Remodel and Addition

Old Conway Design Overlay District

II.A



Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Reroofing is proposed. The addition will also extend the roofline towards the east. The proposed design maintains a gable style. Existing roof is metal so applicant may replace in kind or use architectural shingles as proposed.

Additions. Additions generally should be made to the rear of the structure and should be done in such a way to protect the historic integrity of the property with regards to massing, scale, size, and architectural features.

The proposed addition is to the east of the existing residence. Considering the gabled ell houses and ranch style residences in the neighborhood, this side addition conforms to the established horizontal directional expression in the vicinity.

RECOMMENDATION

Staff recommends that the application be approved with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. All windows should be one-over-one (except for the single picture window above the kitchen sink.) If divided light windows are used, they shall be true divided light as fake muntin bars are prohibited.
3. No shutters shall be allowed.
4. Siding on residence, addition and garage shall be Hardie® siding or wood.
5. Skirt and chimney shall be brick
6. Roof on residence, addition and garage shall be metal or composition shingles.
7. Driveway shall be composed of concrete or permeable pavers.

2115 Hickory Street - Remodel and Addition

Old Conway Design Overlay District

II.A



View of subject property from Hickory St looking SW



View of subject property from Hickory St looking SE



Property adjacent to the N, across Hickory St



View of accessory structure at rear of subject property



Property adjacent to the E



Property adjacent to the W

APPLICANT/AUTHORIZED AGENT/DESIGN PROFESSIONAL

Brandon Ruhl
Taggart Architects
600 Main St, Ste 300
Little Rock, AR 72114

OWNER

Eagle Rock Capital, LLC
1090 Spencer St
Conway, AR 72034



LOCATION

Address. 565 Front St.

Lot Area. ± 0.81 acre.

Present Zoning. C-1 (Central Business District), Old Conway Design Overlay Urban Zone.

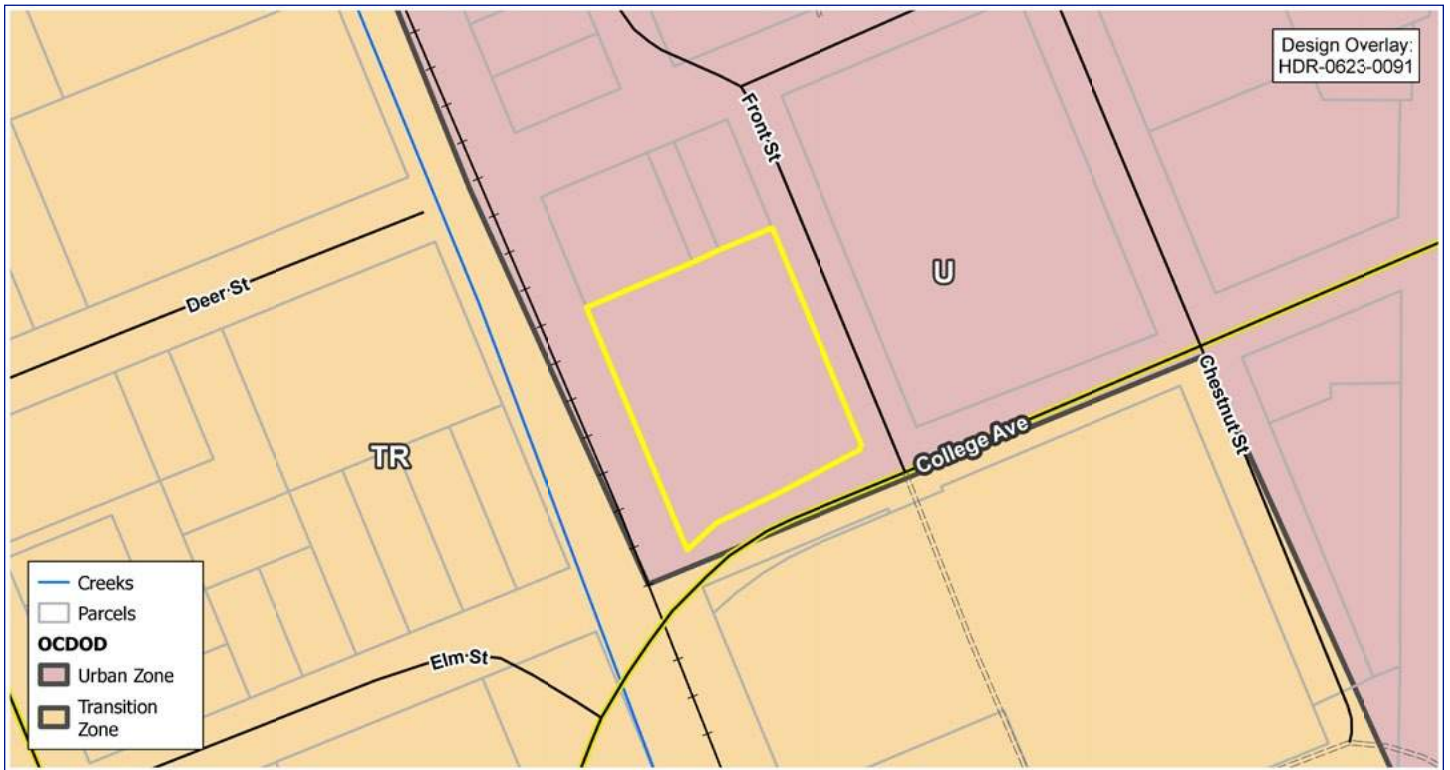
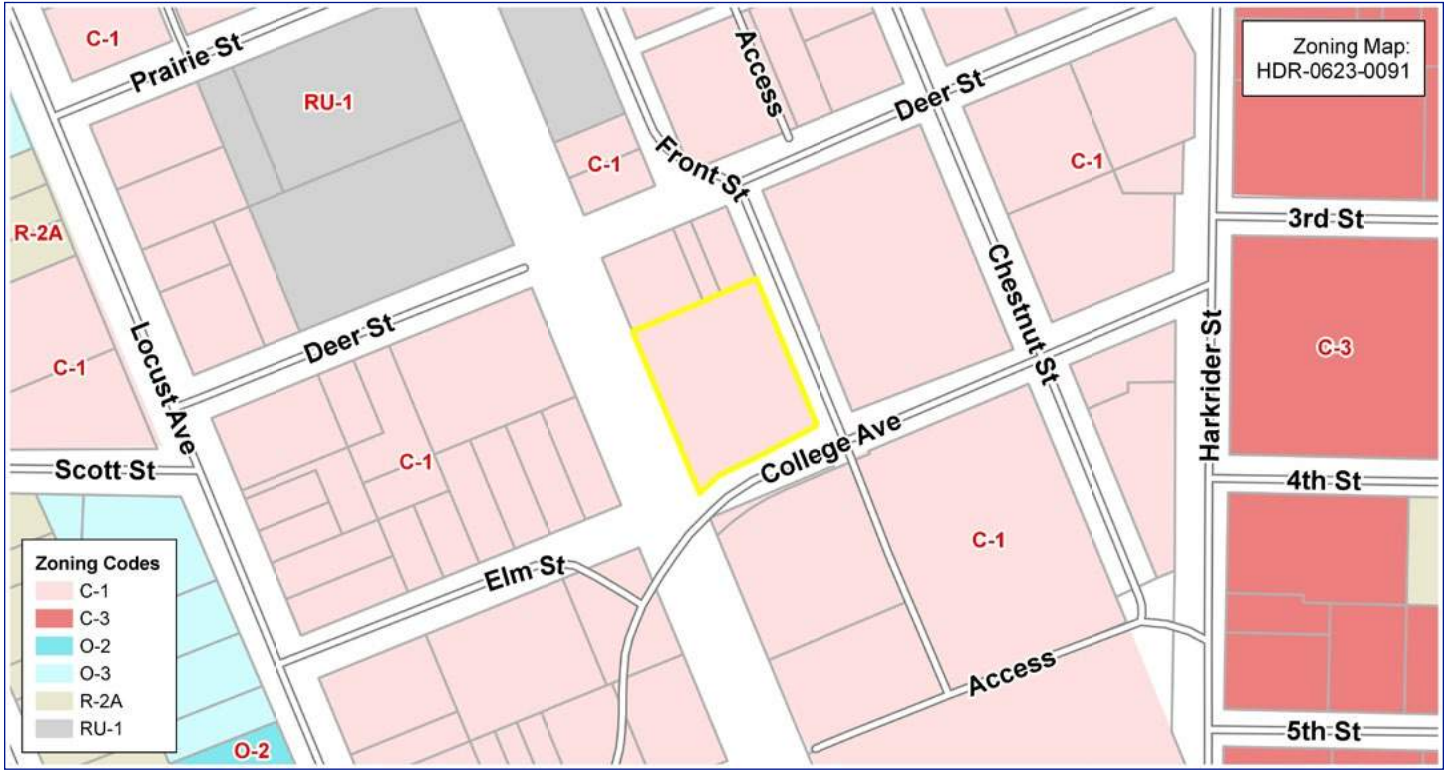
Abutting Zoning. C-1 (Central Business District), Old Conway Design Overlay Transition and Urban Zone.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Urban District on the southwest corner of the intersection of Front St and College Ave. Area structures include a private high school and associated parking to the south, a multi-tenant office development to the east, and an unimproved parking and small retail building to the north. The site abuts an active railroad to the west.

General Description of Property and Proposed Development. The applicant is proposing an adaptive reuse of the former Conway Block Co location consisting of multiple concrete block and metal industrial buildings and office buildings, and support structures and elements. The new establishment, Conway Social, is planned to be a restaurant with indoor/outdoor dining options and pickleball courts. On February 27, 2023, the Historic District Commission reviewed this project and approved staff recommendations 6-0. In May 2023, the applicant provided Planning Staff with revisions to the proposed exterior. Staff determined that the revisions necessitated review by the Historic District Commission as they differed significantly from that which was approved on February 27, 2023.

565 Front Street - Adaptive Reuse

Old Conway Design Overlay District



SITE & DENSITY

Setbacks and Spacing. In the Urban Zone, a zero setback is appropriate. A minimum of 80% of any building facade shall be within 3' of all property lines.

The existing structures to be reused are built to the property line or within the allowed build-to zone and are therefore appropriate.

Building Height. Buildings shall have a front façade which is no fewer than 2 stories in height.

The proposed modifications of the existing structures will create varied primary façades of one and two stories along Front St and College Ave with a maximum height of 34'-8". Given the adaptive reuse nature of the project, the proposed building heights are appropriate.

SITE & SERVICE

Landscaping & Paving. Recessed entries shall be paved with terrazzo, concrete pavers, concrete, stone, brick, tile or another high-quality hardscape material; asphalt and loose paving such as gravel are prohibited. Any proposed landscaping shall not block pedestrian access to storefronts or building entrances.

No courtyard or recessed entries are proposed. The primary entrance to the establishment is located interior to the site, abutting on-site parking. No landscaping is proposed that would interfere with patrons entering the establishment. Additional landscaping may be required as part of the site development review process.

Fences, Railings, & Walls. Fences, railings, and walls on private property are discouraged except when used to screen surface parking, protect pedestrians against grade changes, or to delineate a private courtyard. Fences, railings, and walls shall be constructed of metal, brick, or stone. Plastic, chain link, and wood are prohibited. Fences and railings shall be a minimum of 70% open.

No fencing, railings or walls are proposed along College Ave. A fence is proposed surrounding an outdoor pickleball court along Front St, but the fence material is not noted. While the use of the fence is appropriate to delineate the private pickleball court from the abutting public pedestrian pathway, the applicant needs to provide proposed fencing material and alter design so that the fencing is at least 70% open.

Additionally, the design proposes to utilize an existing approximately 7.5' solid masonry screen wall along the west property boundary which will screen on-site parking from abutting railroad and school and residential uses beyond.

Vehicular Access Points. Alleys, where they exist should be counted as curb cuts and considered the primary vehicular access point for the block. On blocks without alleys, access points should be minimized to no more than one per block and be located as close to mid-block as possible. Curb cuts in the Urban Zone shall be no wider than 20'.

There is no alley access to this lot. The applicant is proposing one curb cut at approximately mid-block on Front St which appears to be 20' in width. The applicant shall confirm that the curb cut does not exceed 20' in width.

Off-Street Parking. Surface parking lots should be located in the interior of a block.

The off-street parking proposed is appropriately located in the interior of the block. 2 accessible parking spaces are proposed, which are adjacent to each other and share an access aisle. Additional off-street parking is proposed to the north on adjacent private property not owned by the applicant. A shared parking agreement will be required; a landscape screen will be required to separate all on-site parking from proposed adjacent off-street parking. This Historic District review does not encompass the proposed shared parking; this component will be reviewed during site development review.

On-Street Parking. On-street parking is critical to the Urban Zone. Every effort should be made by both the City and developer to provide the maximum number of curbside spaces along streets.

There is very limited on-street parking available in the immediate area. 5 on-street parking spaces are available along College Ave abutting the multi-tenant development to the east. While these spaces are located in public right-of-way, they appear to be primarily utilized by the businesses which front College Ave. There is no other feasible option to provide on-street parking due to street design, etc.

Dumpster. Trash dumpsters are essential, but they should not be visible from streets or sidewalks and should be located center-block. They shall be screened by gates which complement the design of the primary building and utilize similar materials.

The dumpster enclosure is proposed center-block in an appropriate manner. The applicant needs to provide proposed gate material. Dumpster enclosure will be more closely reviewed during site development review for size compliance.

Utilities & Equipment. Mechanical and utility equipment [exclusive of fire hydrants], while essential, are unattractive and detract from the pedestrian environment. They should be located out of view from the public realm such as at the rear of the structure, screened by a gate or landscaping if along frontage, or behind a parapet or other architectural feature if roof-mounted.

The design indicates roof-mounted mechanical equipment screened by an architectural metal screen wall.

ARCHITECTURE

Facade Articulation. A minimum of 35% of each upper story shall be windows. Facades shall be broken down into 20-30' "modules" or "bays" to prevent a monolithic edge to the street. Large, unarticulated walls are discouraged and shall have either a window or a functional public access at least every 10'. Building corners which face an intersection are should strive for a high level of articulation; unique corner treatments are strongly encouraged.

The proposed façade articulation along Front St incorporates the appropriate amount of windows and strategies to achieve the desired articulation. The College Ave façade, and façades facing west and north are substantially close to the appropriate number of windows and also incorporate articulation elements such as varied building materials and the "Conway Social" sign. West and North sides are also in conformance with standards.

Ground-Level Facade Detail. A minimum of 2/3 of the first story shall be windows. First story windows shall be 3' above ground level of each upper story shall be windows.

Floor plans and elevations are unclear regarding windows on the east and south elevations. Staff requests confirmation that there are windows at approximately the ceiling of the 1st floor. Additionally, the façade would benefit from the addition of windows at the ground floor private dining area. If there is a row of windows along the first floor ceiling, as seen as a strip on the east and south elevations, the applicant will only need to provide additional windows for the private dining area. Otherwise, there will need to be windows added to the game room area. The addition of the windows to the private dining area will provide more rhythm to the façade, however, additional building materials and/or windows should be added along that railroad perspective to enhance that rhythm.

Building Materials. Urban Zone buildings are encouraged to include a large amount of transparent glass. 85% of first-story glass shall be transparent; the remaining 15% may be frosted or stained. Tinted or reflective glass is discouraged on all floors. Building materials (other than glass) shall include brick, stone, concrete, architectural metals (on no more than 20% of any facade), stucco/plaster, and wood trim. Prohibited materials shall include wood siding, pressed wood siding, composite siding, vinyl siding, and basic sheet metal sheathing. Exterior insulated finishing systems (EIFS) are discouraged and shall only be applied in upper story areas or areas not susceptible to impact damage. Materials covering the original architectural features of historic or significant buildings are strongly discouraged.

Applicant shall confirm that proposed glazing meets transparency requirements. In addition to glass, the applicant is proposing to apply stucco over the existing CMU. Material must be a true stucco material, not EIFS. The following is a list of proposed materials:

- Masonry
- Wood Siding
- Architectural Metals
- Glazing
- Stucco/Polycard
- Metal Screen Wall

The materials and their placements are appropriate.

Building Entries. The primary pedestrian entry to each building shall be along the street frontage or along each or at the corner if the building is at an intersection. Recessed entries are encouraged.

As the development is located outside the primary downtown core where pedestrian traffic is primary to entries and as it provides some on-site parking, the primary entrance corresponding with the parking area is appropriate. Additionally, the façades (proposed and recommended) along street frontages will include ample windows to adequately engage pedestrian traffic.

Overhead Cover. Overhead cover is generally encouraged along and above all sidewalks within the Urban Zone.

An overhead cover is not applicable due to the adaptive reuse nature of the development with limited building height at the street.

Exterior Building & Accent Lighting. All projects should provide appropriate levels of building mounted lighting on the façade; it helps light the sidewalk and improve safety and security within the public realm.

It is unclear if any exterior building or accent lighting is proposed other than string lights above the roof deck. This element will be reviewed further during site development review.

565 Front Street - Adaptive Reuse

Old Conway Design Overlay District

TAGGART
ARCHITECTS

Design approved as part of Certificate of Appropriateness HDR-0123-0001



1 EAST ELEVATION (FRONT ST)
1/8" = 1'-0"



2 SOUTH ELEVATION (COLLEGE AVE)
1/8" = 1'-0"



3 NORTH ELEVATION (ENTRY)
1/8" = 1'-0"



4 WEST ELEVATION (RAILROAD)
1/8" = 1'-0"

Changes proposed to approved design

TAGGART
ARCHITECTS



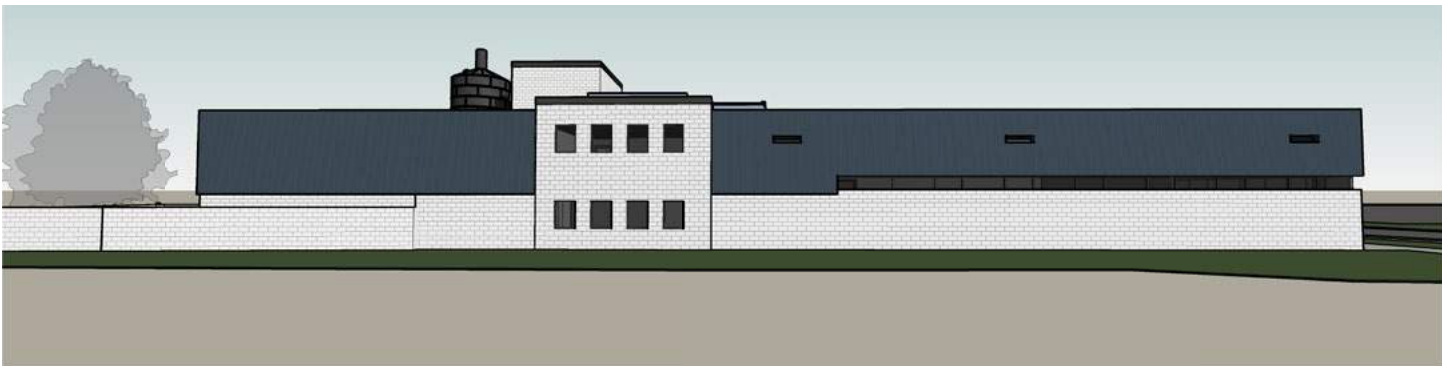
FRONT ST PERSPECTIVE



SOUTH PERSPECTIVE



NORTH PERSPECTIVE



WEST ELEVATION

STREETSCAPE

Sidewalks. Sidewalks shall be provided along all street frontages located within the public realm.

All frontages have existing sidewalks. If any sidewalks are damaged during construction the builder/developer will be required to repair them.

Signage. All signage should be considered integral to site and structure design and should complement the design character. All signage shall adhere to the guidelines and regulations detailed in Article XII of the Conway Zoning Code and the Old Conway Design Overlay District regulations.

Signage is proposed on the south facing side. It is composed in part of wood siding and complements the design character. There is an additional painted sign along Front St which contributes to the color scheme. The issuance of a Certificate of Appropriateness does not indicate approval of any proposed signage.

RECOMMENDATION

Staff recommends approval of the proposed adaptive reuse design with the following conditions:

1. The property shall be re-platted prior to issuance of building permits.
2. The sidewalks along Front St and College Ave shall remain in place and shall be replaced/repared if damaged during construction.
3. Landscaping requirements will be reviewed as part of site development review. Additional landscaping may be required along west facade and screen wall.
4. Fencing proposed around outdoor pickleball court shall be 70% open.
5. Any material treatment applied to existing CMU to be true stucco; EIFS is not permitted on any first-floor areas.
6. 85% of all first story glazing shall be transparent.
7. Prior to issuance of a Certificate of Appropriateness, **the applicant shall provide Planning and Development with updated drawings showing:**
 - a. The inclusion of additional windows at the private dining area.
 - b. Description of windows/materials along the 1st first floor ceiling at the game room and private dining area
 - c. Updated façade design which breaks up the monolithic appearance of the railroad easement perspective.
8. All signage shall comply with Old Conway Overlay District guidelines and regulations detailed in Article XII of the Conway Zoning Code. All signage is permitted separately from all review and building permit processes.
9. Some level of exterior building/accent lighting should be provided; this element will be reviewed as part of site development review.
10. HVAC equipment be placed in a manner to minimize its visibility from the street and screened adequately.



1 ENTRY PERSPECTIVE



8 BIRSDYE PERSPECTIVE



2 CORNER PERSPECTIVE



3 RXR PERSPECTIVE

565 Front Street - Adaptive Reuse

Old Conway Design Overlay District

II.B



View of subject property from Front St looking SW



View of subject property from College Ave looking N



View of subject property from College Ave & Elm St intersection looking NE



View of subject property from College Ave looking W

APPLICANT/AUTHORIZED AGENT

Edgar Castillo
604 Spruce St
Conway, AR 72032

OWNER

Castillo Masonry, LLC
101 McNutt Rd
Conway, AR 72034



SITE DATA

Address. 2060 College Ave.

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District.

Abutting Zoning. North/South/East/West: R-2A (Two Family Residential District).

Lot Area. ±0.23 acres.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of College Ave near the College Ave and Donaghey Ave roundabout. Area uses include a mix of single-family residences and fraternity/sorority houses associated with the University of Central Arkansas. Across the roundabout are Conway Regional Medical Center offices. Single-family residences along College Ave are a mix of craftsman, and mid-century ranch homes.

General Description of Property and Proposed Development. Applicant proposes exterior renovations consisting of window and door replacement as well as repair and replacement of siding.

MASSING

Complexity of form. The detailing and articulation of the structure should respect the forms of the vicinity.

The house generally maintains a complexity of form that is complementary to surrounding structures. Existing architectural detailing remains.



Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

Applicant is proposing window and door replacement. There will be no changes to the façade, wall area, or rhythm.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.

The style and character of the structure will be compatible with the area.

Entries, Porches, and Porticos, Doors and windows, Awnings. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted. Roofing for porches should match the main structure.

No changes to the porch are proposed. Proposed windows are one-over-one.

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.

Applicant proposes Hardie® siding, board & batten siding.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

No changes to roof are proposed.

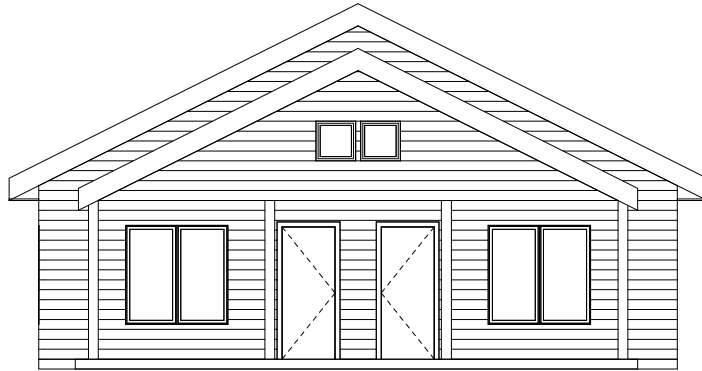
Additions. Additions generally should be made to the rear of the structure and should be done in such a way to protect the historic integrity of the property with regards to massing, scale, size, and architectural features.

No additions are proposed.

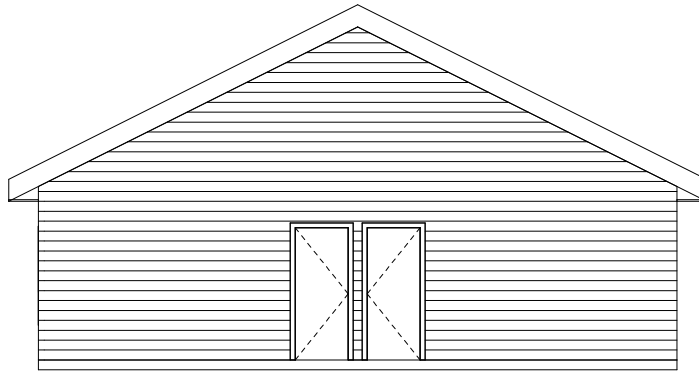
RECOMMENDATION

Staff recommends that the application be approved with the following conditions:

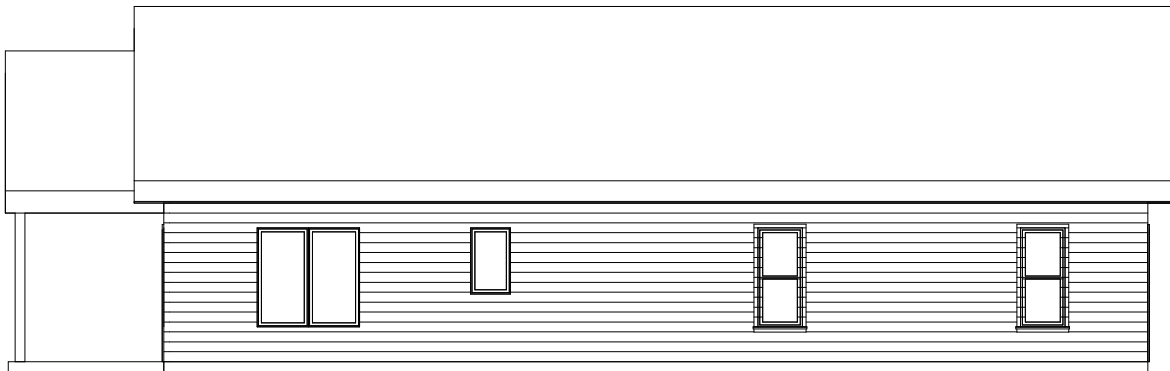
1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. All windows should be one-over-one. If divided light windows are used, they shall be true divided lights as fake muntin bars are prohibited.
3. No shutters shall be allowed.
4. Siding shall be Hardie® siding or wood.



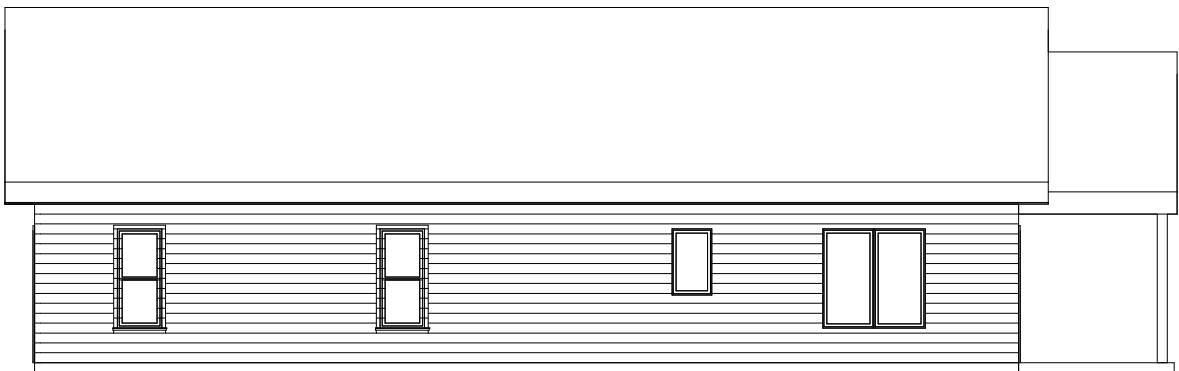
④ FRONT
1/4" = 1'-0"



③ BACK
1/4" = 1'-0"



② RIGHT
1/4" = 1'-0"



① LEFT
1/4" = 1'-0"

2060 College Avenue - Remodel

Old Conway Design Overlay District

II.C



View of subject property from College Ave looking N



View of east side of duplex



View of south and west sides of the duplex



Property adjacent to the E



Property adjacent to the W



Property adjacent to the S

2140 Caldwell Street - Remodel & Addition

Old Conway Design Overlay District

APPLICANT/AUTHORIZED AGENT

Leslie Gordy
550 Chestnut St
Conway, AR 72032

OWNER

Proprietaire, LLC
21 Sugar Maple Ridge
Conway, AR 72034



SITE DATA

Address. 2140 Caldwell St.

Present Zoning. R-2A (Two-Family Residential), Old Conway Design Overlay Suburban District.

Abutting Zoning. North: R-2A (Two-Family Residential) & O-3 (Restricted Office); South: S-1 (Institutional); East/West: R-2A (Two-Family Residential), all in the Old Conway Design Overlay District.

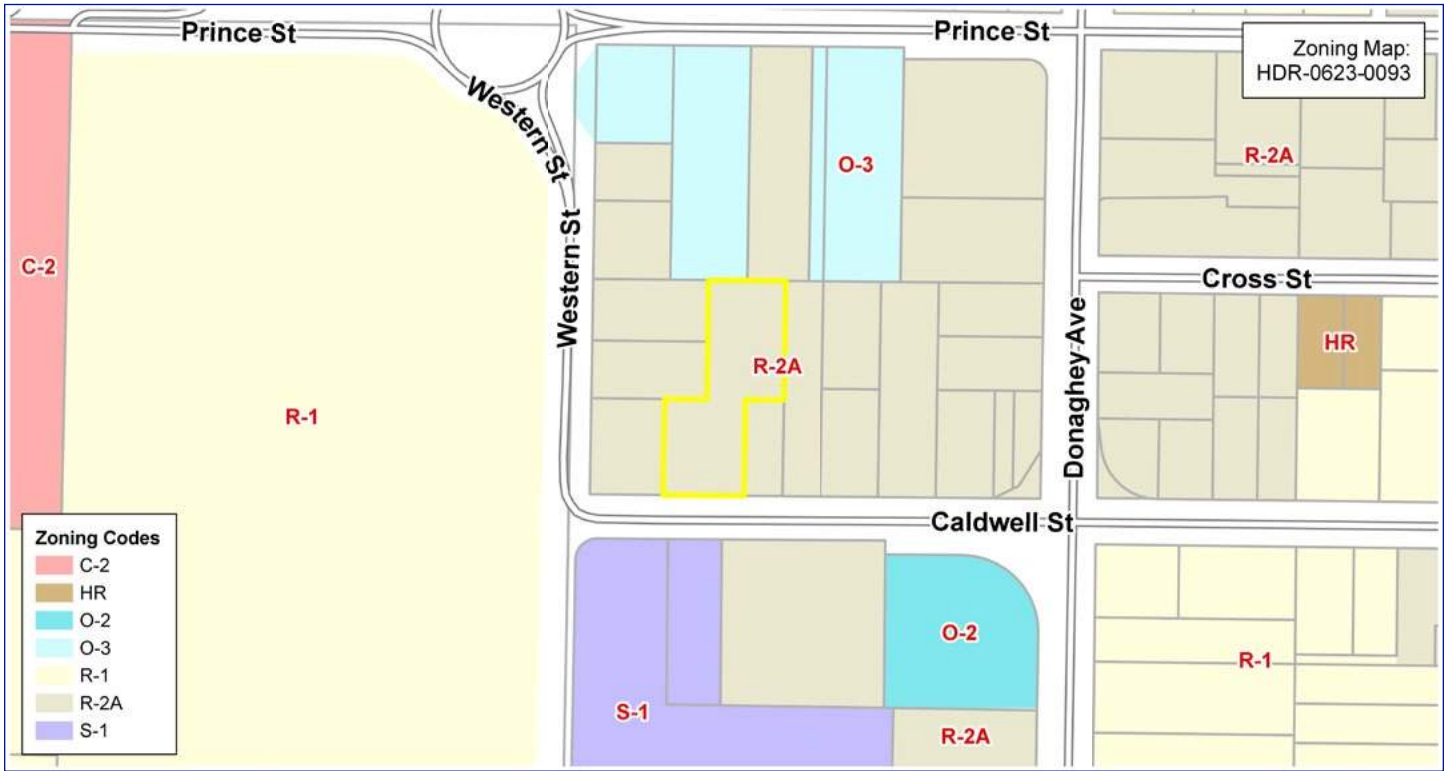
Lot Area. ±0.66 acres.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the north side of Caldwell St between Donaghey Ave and Western St. Area uses include contemporary duplexes, and single-family residences with plain/traditional styles.

General Description of Property and Proposed Development. Applicant proposes to replace the following: windows, doors, gutters, down spouts, foundation, piers, and roof. Applicant also proposes to enclose existing carport and convert the space into an extension of the residence.

Setbacks. Locate new construction between 85 and 115% of the average front setback distance from the street established by the existing adjacent historic structures.

Addition is an infill of an existing carport. Front of residence is not oriented toward Caldwell St and is accessed via a private driveway.



Lot Coverage. The maximum allowable lot coverage for new properties within the Suburban Zone shall be 60%.
The proposal conforms.

Parking. Parking is not permitted in the front yard of houses. Parking is allowed in driveways. No more than 50% of the front yard may be paved. Parking areas should be concrete, pavers, or permeable parking surfaces such as grass pavers. Two (2) parking spaces per dwelling unit are required.
It is unclear where the proposed parking area will be located. Applicant needs to provide an updated site plan showing the parking area composed of appropriate materials. Parking shall be located in the side yard, which given the unique configuration of the property and house, the side yard is located at the front of the residence.

Driveways. Driveways should be concrete, pavers, or permeable parking surfaces such as grass pavers. Historic driveways such as concrete strips with a grass median are encouraged.
Applicant proposes to realign the existing driveway as it currently encroaches on the neighboring property. The existing residence is not oriented toward Caldwell St but instead is accessed through a compacted, gravel driveway which is approximately 144' long. Because the existing driveway will be realigned, it will need to conform to current driveway standards. As such, it will need to be improved with concrete, permeable pavers, or a ribbon driveway (concrete strips with a permeable median).

Sidewalks & Walkway. A sidewalk shall be constructed or repaired as part of new construction. Sidewalk Exception: Sidewalks are not required with the construction of an addition or outbuilding with a footprint area less than 30% of the primary structure's footprint.
There is an existing sidewalk in good condition.

MASSING

Complexity of form. The detailing and articulation of the structure should respect the forms of the vicinity.
The house generally maintains a complexity of form that is complementary to surrounding structures. Existing architectural detailing remains and is consistent between the primary residence and the proposed addition.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.
Remodel will not alter the façade, wall area or rhythm of structure in relationship to those in the neighborhood. Over 25% of the front façade is windows/doors.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.
The style and character of the structure will be compatible with the area.

Entries, Porches, and Porticos, Doors and windows, Awnings. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted. Roofing for porches should match the main structure.
No changes to the porch are proposed. Proposed windows are six-over-six, divided light except for a divided light picture window which replaces an existing window of the same type.

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.
The exterior of the addition will have brick to match the existing residence. No other details and siding are listed in the project description or on floor plans/elevations.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.
New architectural shingles are noted in the applicant's material list. The addition is an infill of an existing carport which will maintain the same roofline and materials as currently exist.

Additions. Additions generally should be made to the rear of the structure and should be done in such a way to protect the historic integrity of the property with regards to massing, scale, size, and architectural features.

The proposed addition is to the side of the residence but is an infill of an existing carport and therefore does not alter the footprint or roofline of the existing structure.

RECOMMENDATION

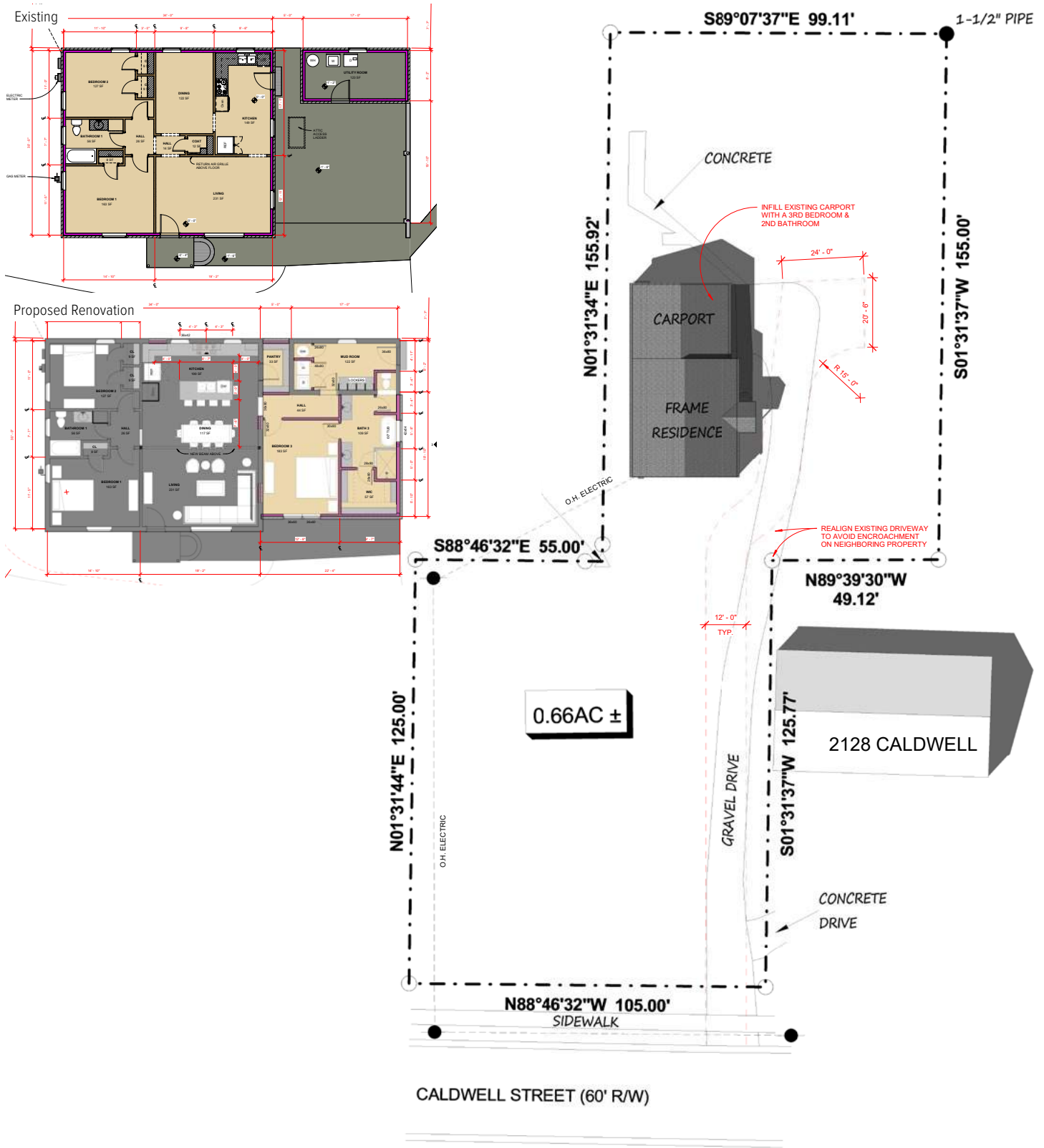
Staff recommends that the application be approved with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. Prior to issuance of Certificate of Appropriateness, **applicant shall provide Planning and Development with an updated site plan** showing two parking spaces. These spaces shall be comprised of concrete or pavers (the driveway can serve as parking).
3. Prior to issuance of certificate of completion, the driveway shall be concrete, permeable pavers, or a ribbon.
4. All windows should be six-over-six, true divided light. Fake muntin bars are prohibited.
5. No shutters shall be allowed.
6. Siding on residence and addition shall be brick.
7. Roofing material shall be composition or asphalt shingles.

2140 Caldwell Street - Remodel & Addition

Old Conway Design Overlay District

II.D



1 ARCHITECTURAL SITE PLAN
1/16" = 1'-0"

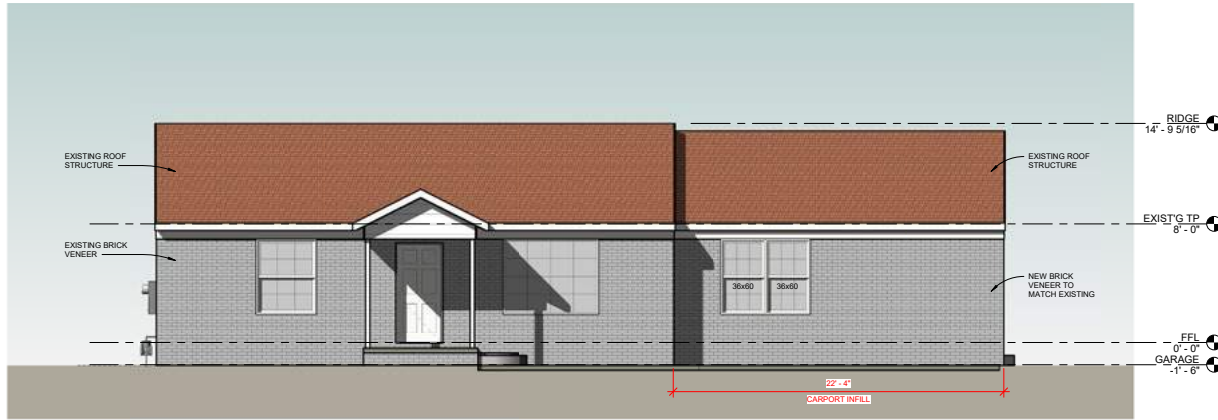
2140 Caldwell Street - Remodel & Addition

Old Conway Design Overlay District

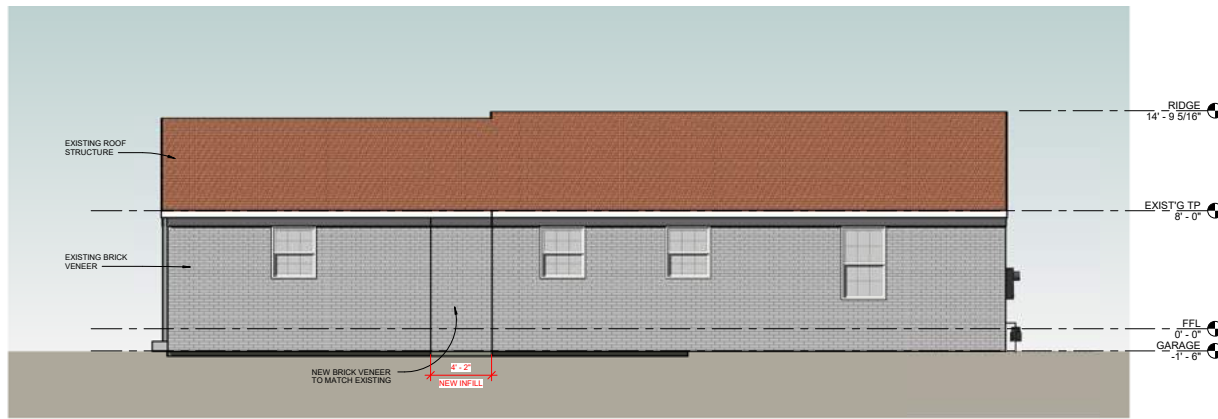
II.D



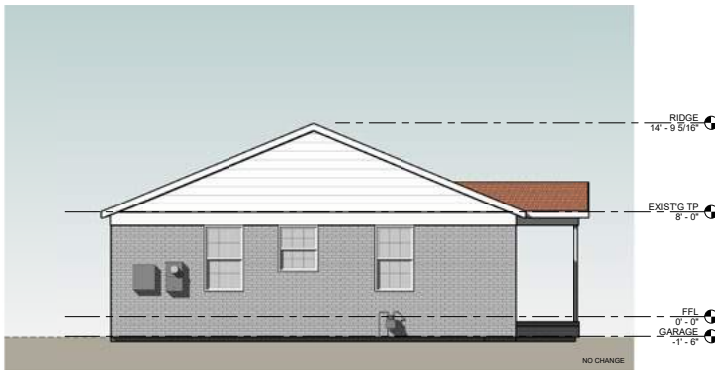
BRANDON RUHL
ARCHITECT



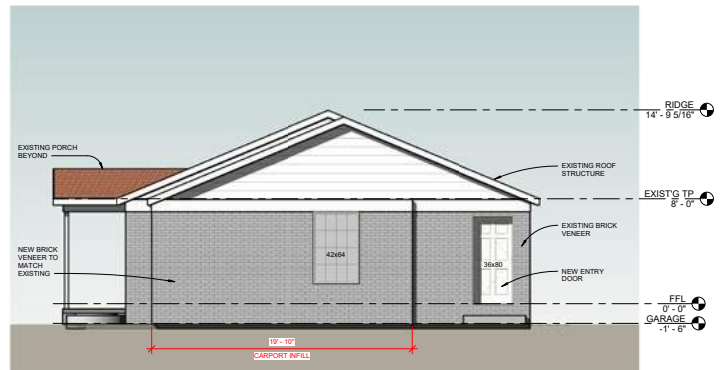
① EAST ELEVATION (FRONT)
1/4" = 1'-0"



② WEST ELEVATION (REAR)
1/4" = 1'-0"



③ SOUTH ELEVATION (LEFT SIDE)
1/4" = 1'-0"



④ NORTH ELEVATION (RIGHT SIDE)
1/4" = 1'-0"

2140 Caldwell Street - Remodel & Addition

Old Conway Design Overlay District

II.D



View of subject property from Caldwell St looking N



View of subject property looking W



View of subject property looking N



Property adjacent to the E



Property adjacent to the W



Property adjacent to the S