



CITY OF CONWAY, ARKANSAS HISTORIC DISTRICT COMMISSION

May 22, 2023 • 5:30pm • 1111 Main Street



City of Conway

HISTORIC DISTRICT COMMISSION

May 22, 2023

MEMBERS

Steve Hurd, Chairman
Emily Walter, Vice-Chairman
Marianne Black, Secretary
Jenny Davis
Shelby Fiegel
Liz Hamilton
Shane Lind

Call to Order.

Roll Call.

Approval of Minutes. April 24, 2023

I. Public Hearing Items - Old Conway Design Overlay District

- A. 354 Watkins Street - Exterior modifications (HDR-0423-0058)
- B. 1262 Lincoln Street - New single-family residence (HDR-0423-0062)
- C. 303 Locust Avenue - Exterior modifications (HDR-0423-0069)
- D. 920 Mitchell Street - Accessory structure modifications (HDR-0423-0076)

II. Additional Business

- A. Items as decided by the Commission

Adjourn.

354 Watkins Street - Exterior modifications

Old Conway Design Overlay District

I.A

APPLICANT/AUTHORIZED AGENT

Melvin Gonzalez
2 Hopkins Ln
Conway, AR 72032

OWNER

MK Rentals, LLC
2 Hopkins Ln
Conway, AR 72032



SITE DATA

Address. 354 Watkins St.

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District.

Abutting Zoning. North/South/East/West: R-2A (Two Family Residential District), Southwest corner: MF-3 (High Density Multi-Family District), Old Conway Design Overlay Suburban District.

Lot Area. ±0.13 acres.

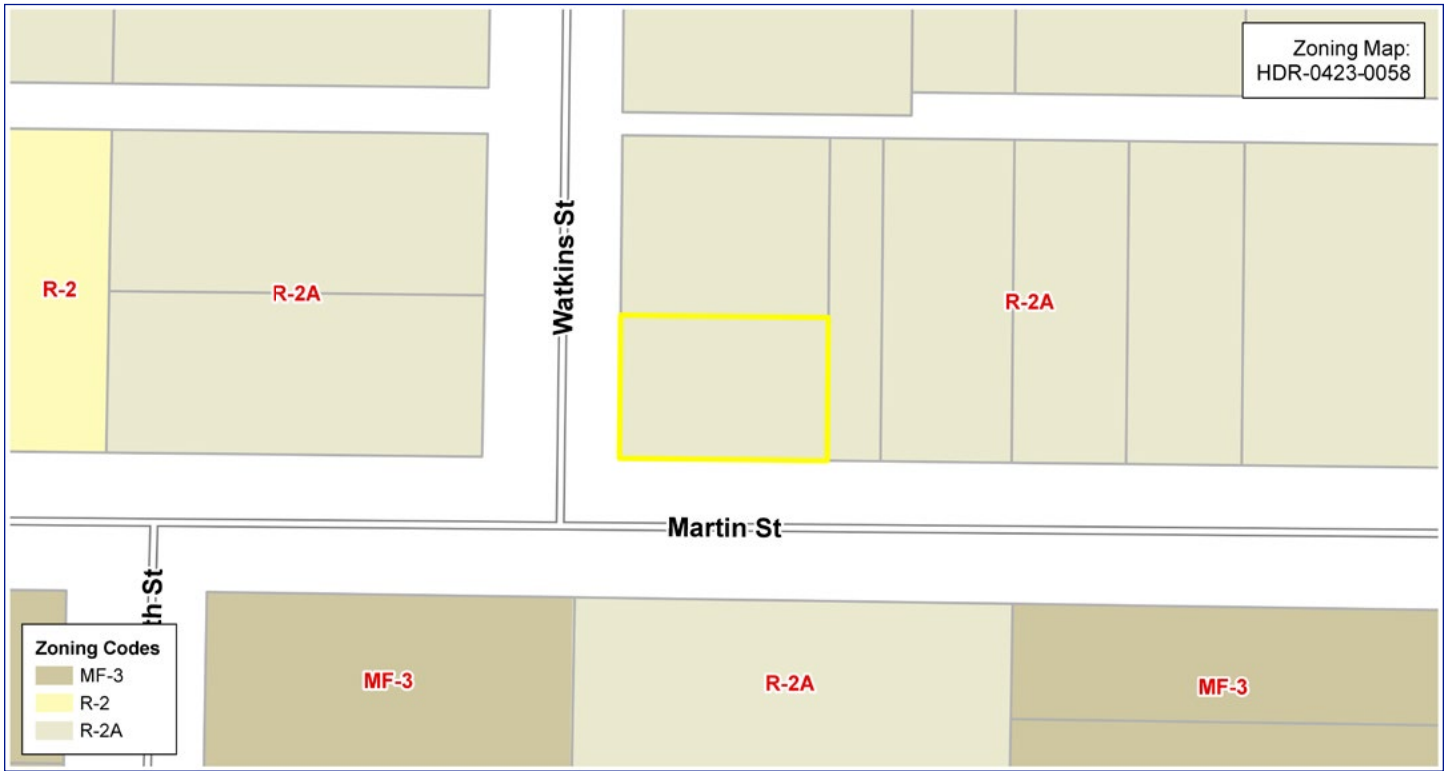
Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on the northeast corner of the intersection of Martin and Watkins Streets. Area uses include a mix of Single-Family, Duplex, and Multi-Family residential. Along Watkins St are homes in Gable Front House and Gabled Ell House styles intermixed with contemporary and minimal traditional styles.

General Description of Property and Proposed Development. The application is a result of a stop work order issued due to unpermitted modifications to the exterior of the structure. These include removal of two windows, window replacement, replacement siding, new shingles, new door, carport roof replacement, porch trim band replacement, and replacing metal, lattice columns with wood columns. Additional work proposed includes improving the carport's wood columns to be tapered with brick bases to match the porch column as well as completing shingle replacement where necessary.

354 Watkins Street - Exterior modifications

Old Conway Design Overlay District

I.A



MASSING

Complexity of form. The detailing and articulation of the structure should respect the forms of the vicinity.

The house generally maintains a complexity of form that is complementary to surrounding structures. Existing architectural detailing remains.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

The applicant has removed two windows on the right elevation that will not be replaced. The resulting void is three (3) total windows on the right elevation and the front door.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.

The style and character of the structure will be compatible with the area.

Entries, Porches, and Porticos, Doors and windows, Awnings. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted. Roofing for porches should match the main structure.

The applicant has replaced a security door with a white door which matches the windows and trim. Windows are one-over-one. Carport remodel is similar in form and size to original, and proposed columns will improve compatibility with existing porch elements.

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.

Previous siding was vinyl and applicant is proposing to replace portions of the siding with vinyl to match.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Recommend asphalt shingles for any roof repairs/re-roofing. No changes to be made to the pitch or design of the roof.

No shutters have been proposed and it is recommended that shutters not be allowed.

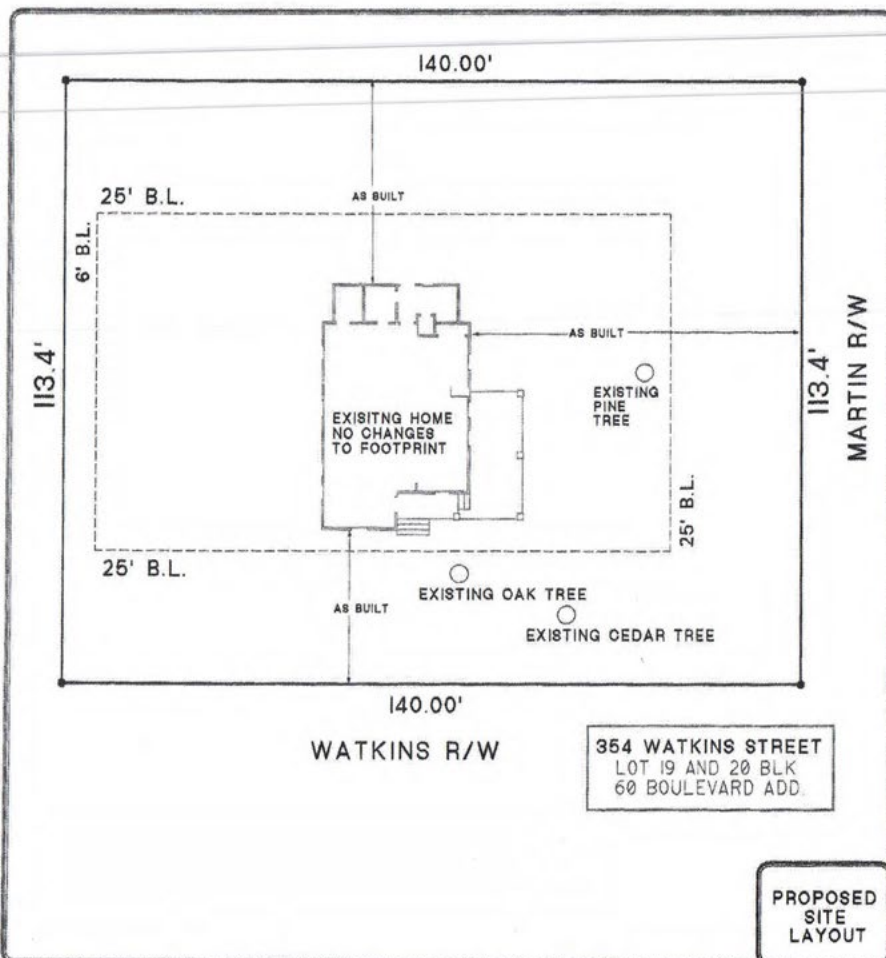
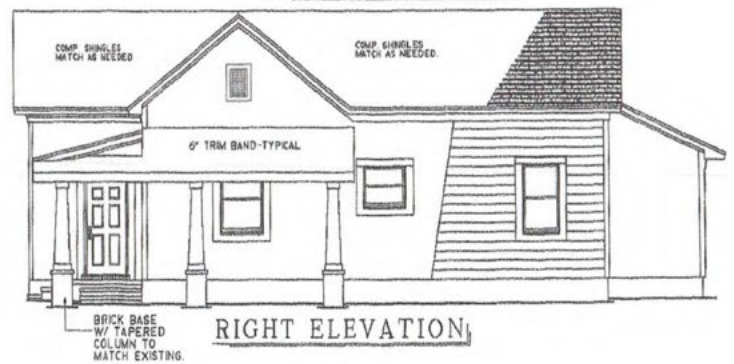
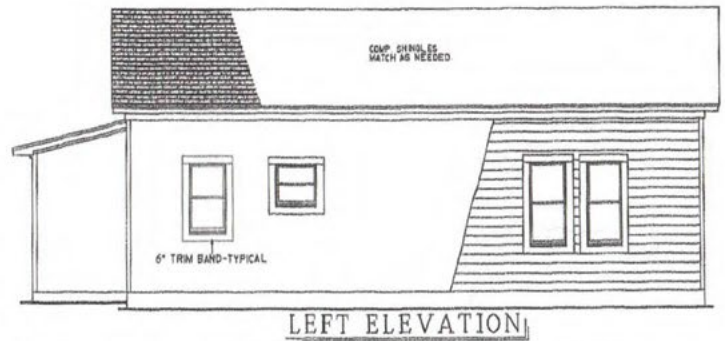
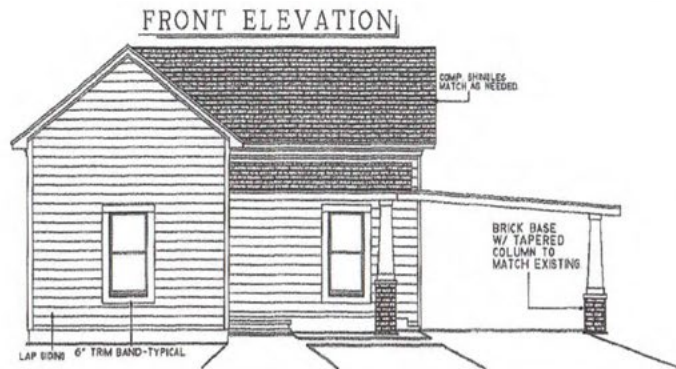
Additions. Additions generally should be made to the rear of the structure and should be done in such a way to protect the historic integrity of the property with regards to massing, scale, size, and architectural features.

No additions are proposed.

RECOMMENDATION

Staff recommends that the application be approved with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. All windows will be required to be one-over-one.
3. Window removal shall be limited to the two already removed. Should another window need to be removed it shall be replaced in a manner that maintains the same number of windows per room as is currently displayed on the plans included with this submittal.
4. Roofing shall be composed of asphalt shingles.
5. No shutters shall be allowed.
6. Applicant must complete/repair house skirt using brick to match existing.
7. Applicant shall provide safe egress from rear portion of house by installing stairs/ramp.



354 Watkins Street - Exterior modifications

Old Conway Design Overlay District

I.A



View of subject property from Watkins St looking E



View of subject property from Watkins St looking NE



View of subject property from Martin St looking N



Property adjacent to the E



Property adjacent to the W, across Watkins St



Property adjacent to the N

APPLICANT/OWNER

Dietrick Greenlaw
Greenlaw Maintenance
15 Sheffield Dr
Little Rock, AR 72209



SITE DATA

Address. 1262 Lincoln St.

Present Zoning. T3 (Suburban Zone) Northeast Old Conway Area Specific Plan, Old Conway Design Overlay Suburban District.

Abutting Zoning. North/South/East/West: T3 (Suburban Zone) Northeast Old Conway Area Specific Plan, Old Conway Design Overlay Suburban District.

Lot Area. ± 0.17 acres.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District east of Lincoln St between Pine and Walnut Streets. Area structures consist of a mix of single-family homes in Craftsman, contemporary, and minimal traditional styles. There are also historic churches in the surrounding area.

General Description of Property and Proposed Development. The application is proposing to construct a new 2,270 sf minimal traditional style home with a total heated area of 1,468 sf.

Setbacks and Spacing. Setbacks in the Northeast Old Conway Area are dictated by zone. Minimum setbacks are 25' with a maximum of 35', 8' for exterior yards, and 5' for internal/rear yards (Fire Code Requirement).

Setbacks will meet requirements.

1262 Lincoln Street - New single-family residence

Old Conway Design Overlay District

I.B



Lot Coverage. Lot coverage for all impervious surfaces shall be less than 60%.

Lot coverage for this site is less than 40% (30.6%).

Orientation. The front door of the structure should follow the orientation of entries along the street.

The front door for this structure faces the street in a similar fashion to other structures on the street.

Garages/Outbuildings. Garages should be placed at the rear of the lot. When lot depth prevents a rear placement, the garage may be placed at the side of the structure along the back half of the structure. Two and three car garages should be placed at the rear of the lot in a detached structure.

The applicant is not proposing any detached garages. The garage will be attached to the home with a garage door. This is appropriate considering the surrounding homes.

Alley. There is no alley access to these lots.

Driveway/Parking. Parking in the front yard is not permitted. Parking is to be placed at the rear or side. Driveways should be concrete, pavers, or permeable paving and sharing of driveways is encouraged.

The applicant has indicated a concrete driveway off Lincoln St. Recommend no additional concrete be added to the front yard as parking in the front is not permitted.

Sidewalks. Sidewalks are required for new construction projects.

There are no existing sidewalks on the site. The applicant will be required to show a sidewalk to be placed along Lincoln St. A 5' sidewalk with a 6.5' greenspace setback is required.

Fences/Walls. No fencing is proposed.

Tree preservation. Any trees over 8" in diameter or greater must be protected and preserved. Canopy trees shall be required for each 30' of street frontage.

It appears numerous significant trees have been impacted in preparation for construction. The site plan will need to reflect which trees have been removed. Each canopy tree removed is required to be replaced by a canopy tree from the approved tree list. Plans should indicate all trees to be removed and preserved and the planting of any new canopy trees.

MASSING

Scale. The scale of the building should maintain the relationship of the structure's scale to the lot size of surrounding buildings.

The scale of the proposed structure is compatible to the overall scale of structures in the surrounding area.

Height/Width/Directional Expression. The height/width and directional expression of the structure should relate to historic patterns in the neighborhood.

The height of the structure as a single story home with an 8/12 pitch roof and a width of 37' will not be out of scale of the pattern of the neighborhood. There are predominantly one-story structures in the immediate vicinity. The area features a mix of forms.

Footprint. The structure should respect the ratio building footprint to lot area of homes within the general vicinity.

The building footprints will cover less than 40% of the site, similar to other structures in the area.

Complexity of form. The detailing and wall breaks should relate well to structures in the area.

The structures will contain a level of detailing and form that is compatible with the patterns of the area.

Façade, wall area, rhythm. New façades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

All elevations contain windows including several on the front façade. A calculation of the front elevation will be required to ensure 25-40% of this façade contains windows.

Style. New design should respect the context of the area while expressing the contemporary nature of the structure.

The surrounding area does not have a cohesive theme of styles, mixing traditional, historic vernacular, modern, and contemporary elements.

The design appears to be generally compatible in design with the surrounding area using traditional forms and patterns.

Entries, Porches, and Porticos, Doors and windows, Awnings. Porches are encouraged and should be at least 6' deep, when present. Entries should contain special decorative elements and ornamentation. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntin bars are not permitted.

An open front porch with an 7'4" depth is proposed and meets the requirements. The proposed windows should feature wide trim and one-over-one design. If muntin bars are proposed, they must be true divided lights. Fake muntin bars are prohibited.

Lighting. Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property.

No lighting shown on submitted plans.

DESIGN ELEMENTS

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.

The applicant is proposing brick and board and batten vertical siding as the materials for construction. Materials used for board and batten siding will need to comply with the approved list of materials.

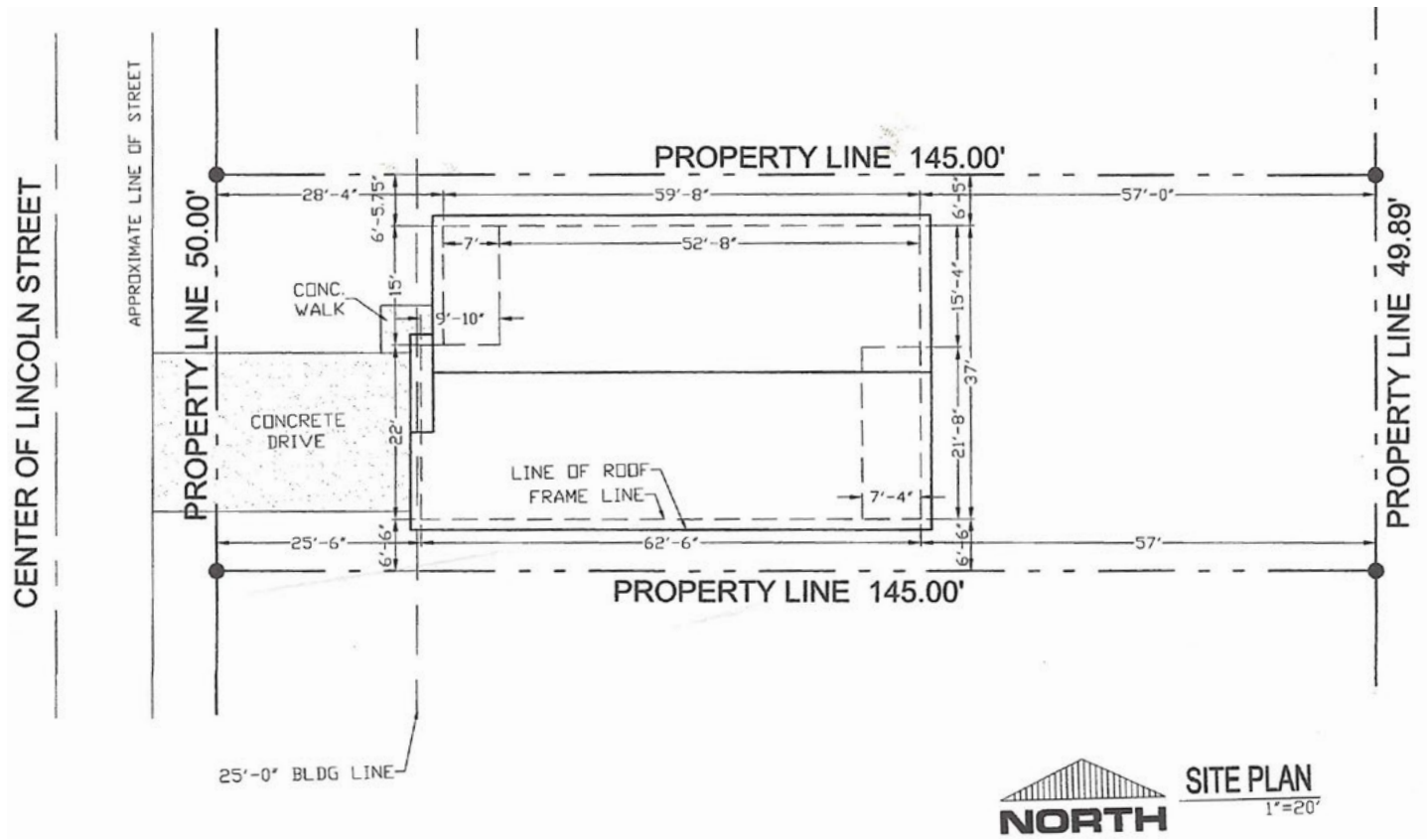
Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

No shutters are being proposed which is desirable. The applicant is proposing a gable roof. This is compatible with surrounding homes.

RECOMMENDATION

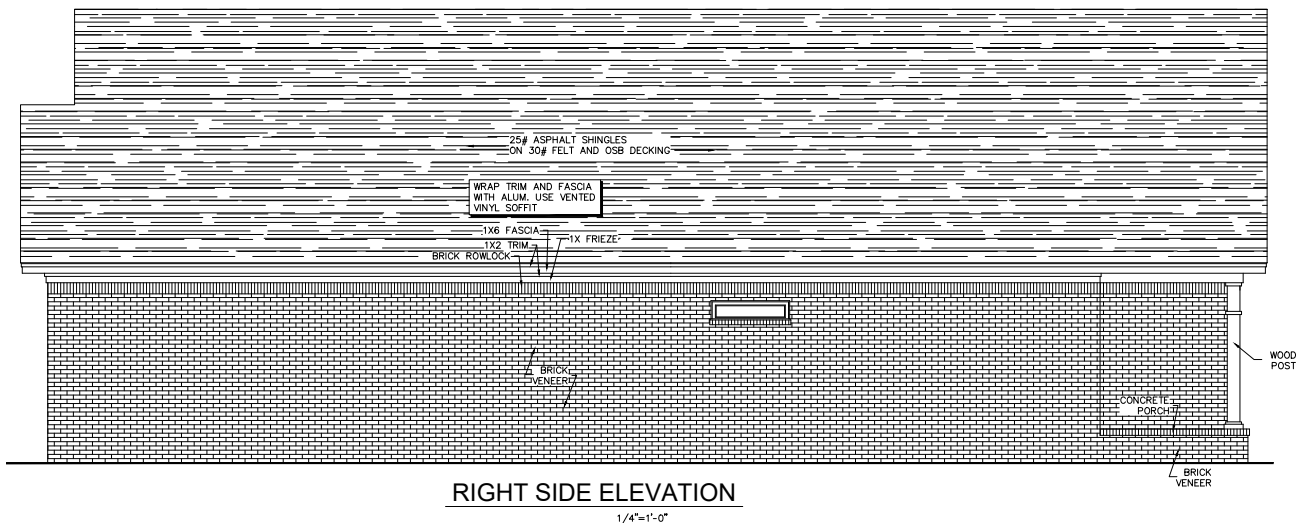
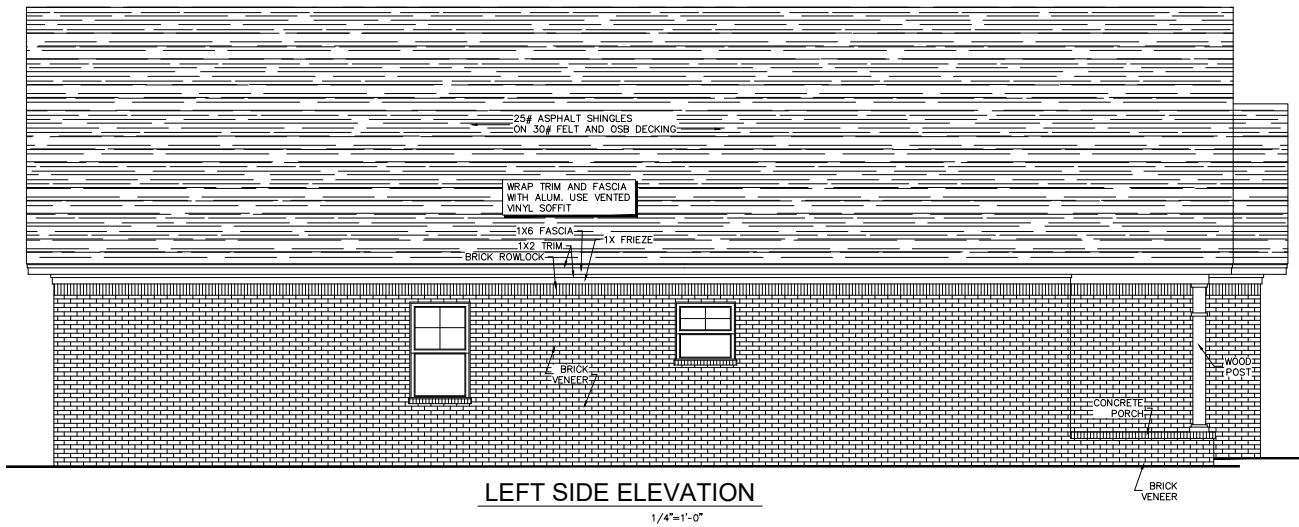
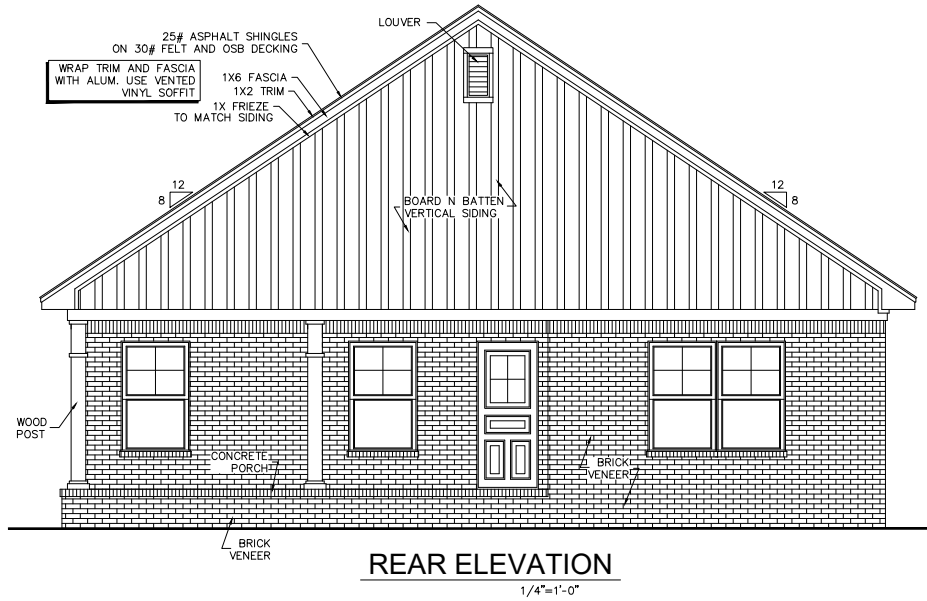
Staff recommends approval of the request with the following conditions:

1. Windows shall be one-over-one. If muntin bars are used, they must be true divided lights.
2. Board and batten siding should consist of wood or wood substitute such as Hardie® siding/LP® SmartSide® type siding.
3. 25-40% of front elevation must contain windows.
4. No additional parking area, beyond driveway, may be added to the front yard.
5. A 5' sidewalk with 6.5' greenspace is required. Sidewalk must link to any existing sidewalk.
6. Care should be taken to preserve all significant trees on the property. Any canopy tree removed must be replaced by a canopy tree from the approved tree list. Imagery shows at least two significant canopy trees were removed and these will need to be replaced by trees from the approved list.
7. Provide revised plans address windows, sidewalk, and trees to Planning Director for approval prior to issuance of a Certificate of Appropriateness.



FRONT ELEVATION

1/4"=1'-0"



1262 Lincoln Street - New single-family residence

Old Conway Design Overlay District

I.B



Property adjacent to the N



View of subject property from Lincoln St looking E



Property adjacent to the W, across Lincoln St



Property adjacent to the S



Property adjacent to the W, across Lincoln St

303 Locust Avenue - Exterior modifications

Old Conway Design Overlay District

APPLICANT/AUTHORIZED AGENT

EAC Investments
604 Spruce St
Conway, AR 72032

OWNER

Conway Quest Development
816 Oak St
Conway, AR 72032



SITE DATA

Address. 303 Locust Ave.

Present Zoning. R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District.

Abutting Zoning. North/South/East/West: R-2A (Two Family Residential District).

Lot Area. ±0.19 acres.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District on Locust Ave, between Bruce St and McKay Ave. Area structures consist of a mix of single-family homes in Gabled Ell, Gable Front, Craftsman and minimal traditional styles.

General Description of Property and Proposed Development. The application is a result of a stop work order issued due to unpermitted modifications to the exterior of the structure. These include alteration of the front porch, window replacement, window removal, front door replacement, siding removal and restoration and painting the front of the house. Additional work which will be required includes completion of the siding replacement, finishing the front porch as well as interior repairs.

MASSING

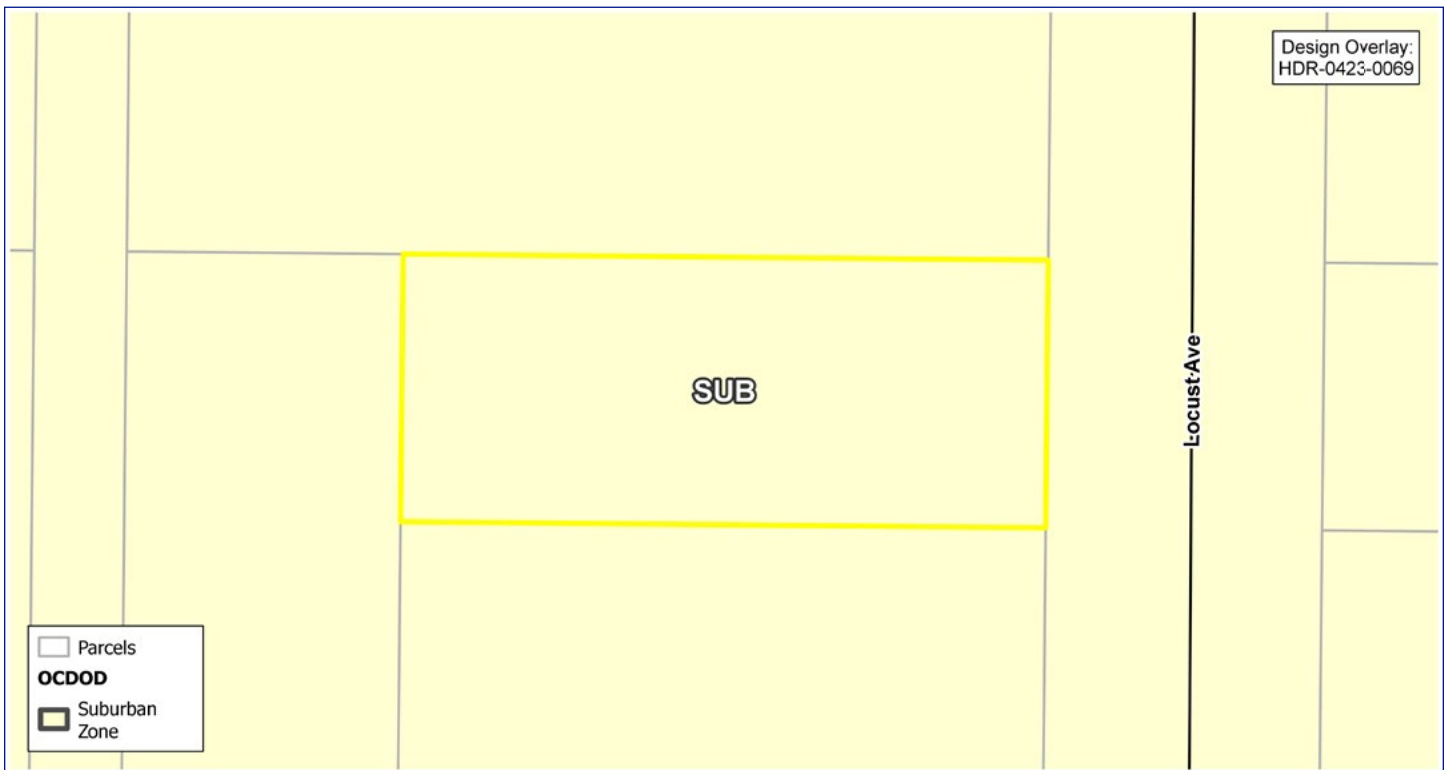
Complexity of form. The detailing and articulation of the structure should respect the forms of the vicinity.

The house generally maintains a complexity of form that is complementary to surrounding structures. Architectural detailing is being modified through alterations to the front porch and siding. This detailing is consistent with neighboring dwellings.

303 Locust Avenue - Exterior modifications

I.C

Old Conway Design Overlay District



Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

Originally, the front façade of the residence contained four (4) windows. The applicant has removed all four and replaced three (3) with an orientation which differs slightly from the original. This replacement has increased the spacing of the windows and improved the rhythm of the front façade. Similarly, five (5) windows on the left elevation were removed and replaced with three (3) windows with different spacing. On the right elevation, two (2) windows were removed and replaced with different spacing. In instances where replacement was not 1:1, the replacement windows appear wider than the originals, thereby maintaining a consistent void.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.

The style and character of the structure will be compatible with the area.

Entries, Porches, and Porticos, Doors and windows, Awnings. Windows should be of divided-light construction, where divided-light windows are proposed. Fake muntins are not permitted. Roofing for porches should match the main structure.

The front porch remodel improves the complexity of form. The original porch visually receded into the façade of the structure. The new porch projects from the house with a gable and proposed horizontal siding to match the front siding. The original front door was a metal security door and has been replaced with a white door which matches the new window trim. Window replacement has been one-over-one.

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.

Any replacement of siding or additional materials should be brick, stone, wood, and/or Hardie® siding/LP® SmartSide® type. Applicant proposes a combination of brick (side and rear) and board and batten (front).

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Recommend asphalt shingles for any roof repairs/re-roofing. Changes made to the pitch of the porch is consistent with neighboring properties. No shutters have been proposed and it is recommended that shutters not be allowed.

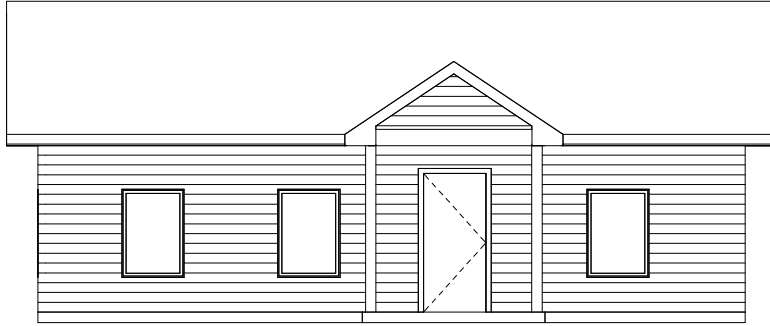
Additions. Additions generally should be made to the rear of the structure and should be done in such a way to protect the historic integrity of the property with regards to massing, scale, size, and architectural features.

No additions are proposed.

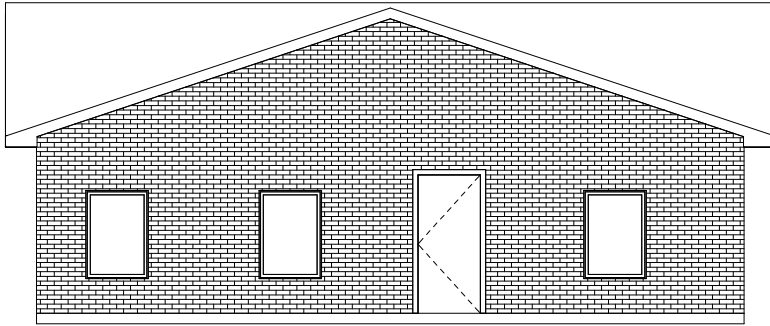
RECOMMENDATION

Staff recommends that the application be approved with the following conditions:

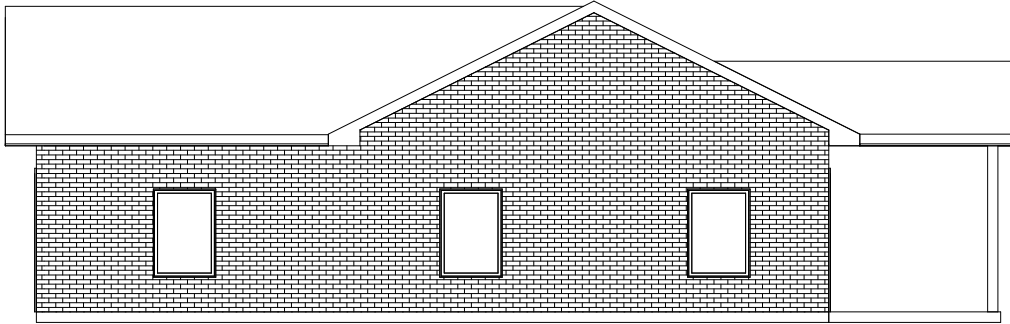
1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. All windows will be required to be one-over-one.
3. Window removal shall be limited to those already removed. Should any other windows need to be removed, they shall be replaced in a manner that maintains the same number of windows per room as is currently displayed on the floor plans included with this submittal
4. All fascia and soffits shall be repaired with wood or a wood-like material such as Hardie® siding/LP® SmartSide®.
5. Roofing shall be composed of asphalt shingles.
6. No shutters shall be allowed.
7. Porch shall have a minimum depth of 6 feet.



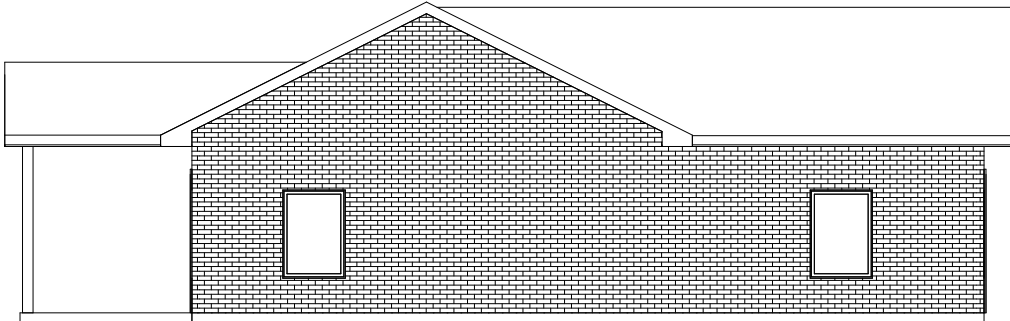
③ FRONT
1/4" = 1'-0"



④ BACK
1/4" = 1'-0"



② LEFT
1/4" = 1'-0"



⑤ RIGHT
1/4" = 1'-0"

303 Locust Avenue - Exterior modifications

Old Conway Design Overlay District

I.C



View of subject property from Locust Ave looking NW



View of subject property from Locust Ave looking SW



View of subject property from Locust Ave looking W



Property adjacent to the S



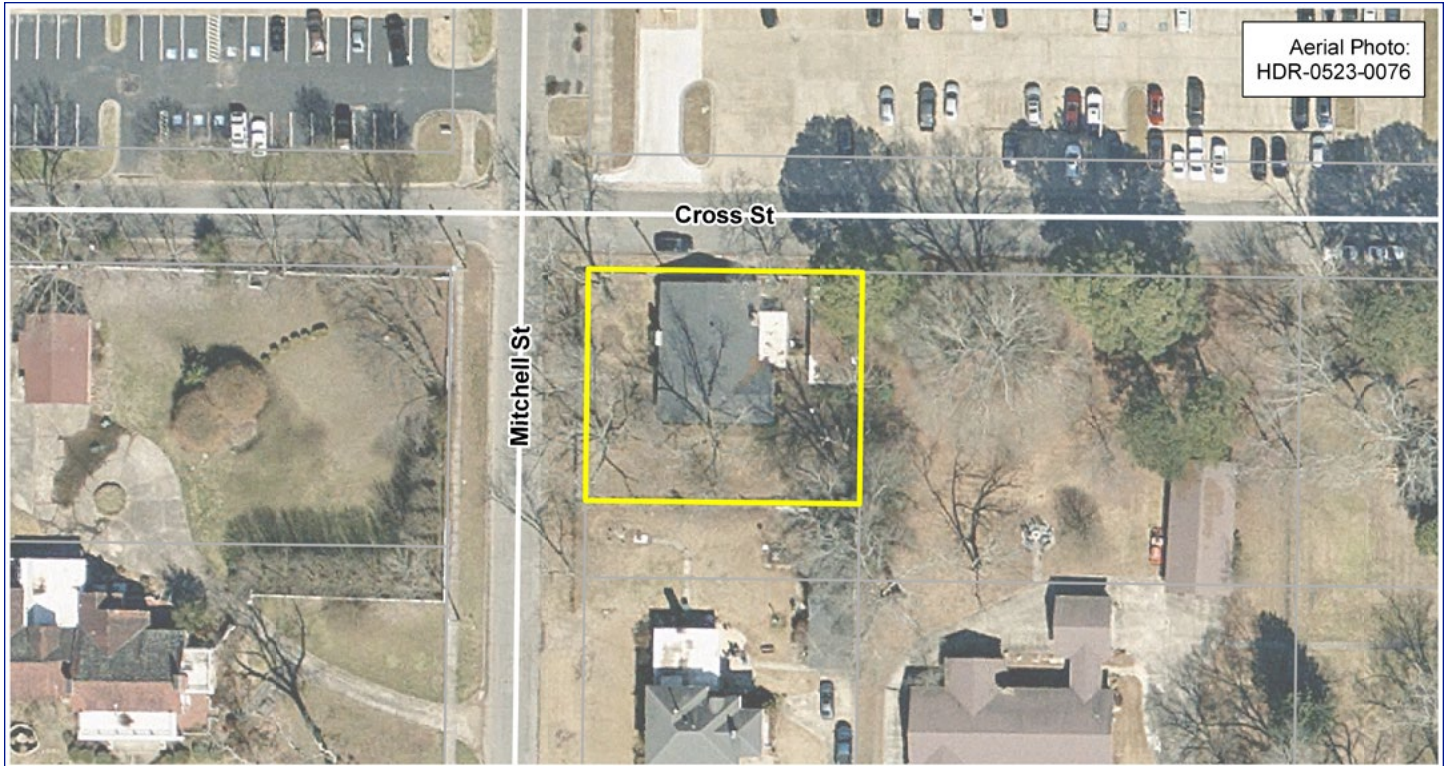
Property adjacent to the N



Property adjacent to the E, across Locust Ave

APPLICANT/OWNER

Spencer Gordon
920 Mitchell St
Conway, AR 72034



SITE DATA

Address. 920 Mitchell St.

Present Zoning. R-1 (One Family Residential District), Old Conway Design Overlay Suburban District.

Abutting Zoning. North/East: R-2A (Two Family Residential District), Old Conway Design Overlay Suburban District; South: R-1 (One Family Residential District), Old Conway Design Overlay Suburban District; West: HR (Historic Residential District), Old Conway Design Overlay Suburban District.

Lot Area. ±0.27 acre.

Surrounding Area Structures. The property is located in the Old Conway Design Overlay Suburban District near Conway Junior High School at the northwest corner of Cross and Mitchell Streets. Area structures consist of a mix single-family homes of various styles (Tudor Revival, English Revival, Modified Victorian, Ranch) and school related buildings.

General Description of Property and Proposed Development. The application is proposing a renovation of an existing carport including removal and replacement of damaged and rotted roofing. They are also proposing to enclose the carport.

MASSING

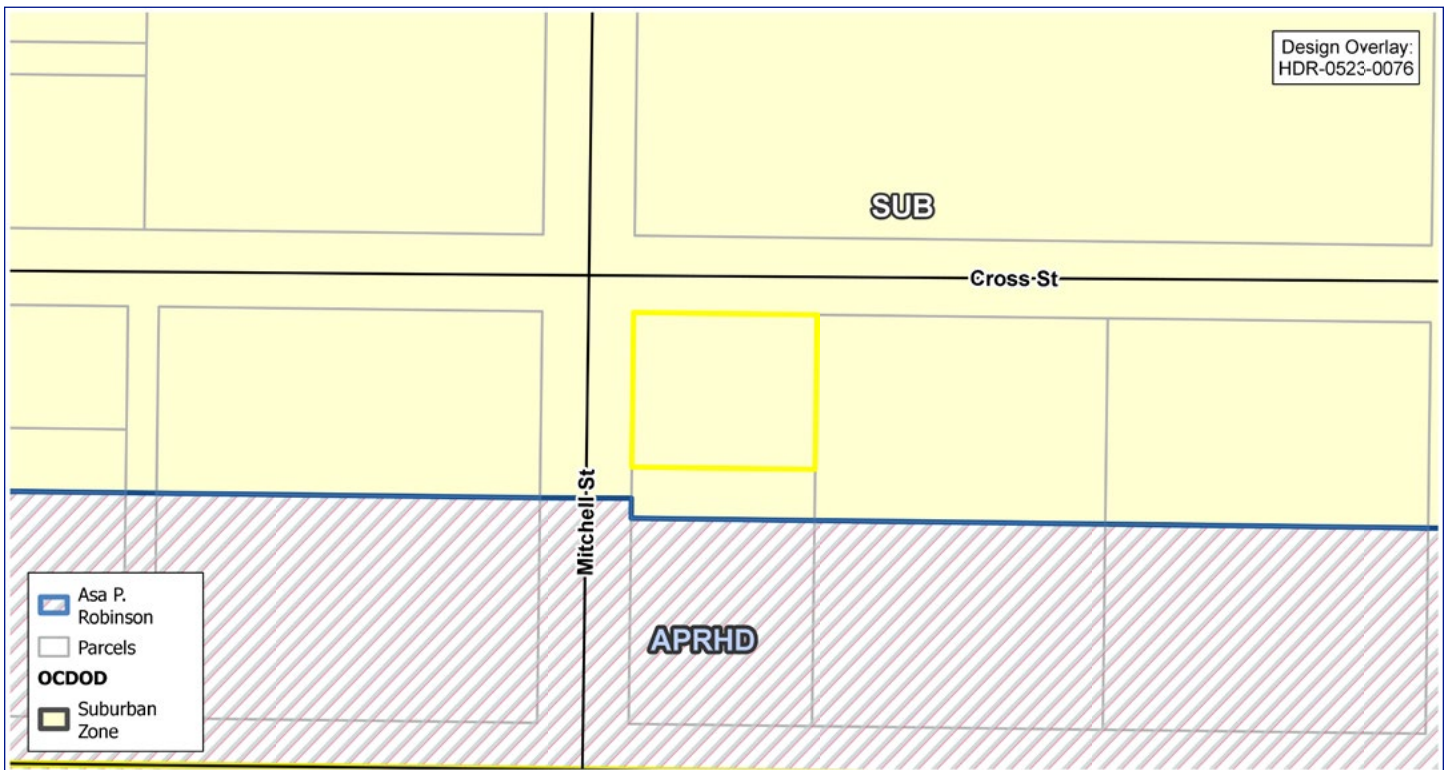
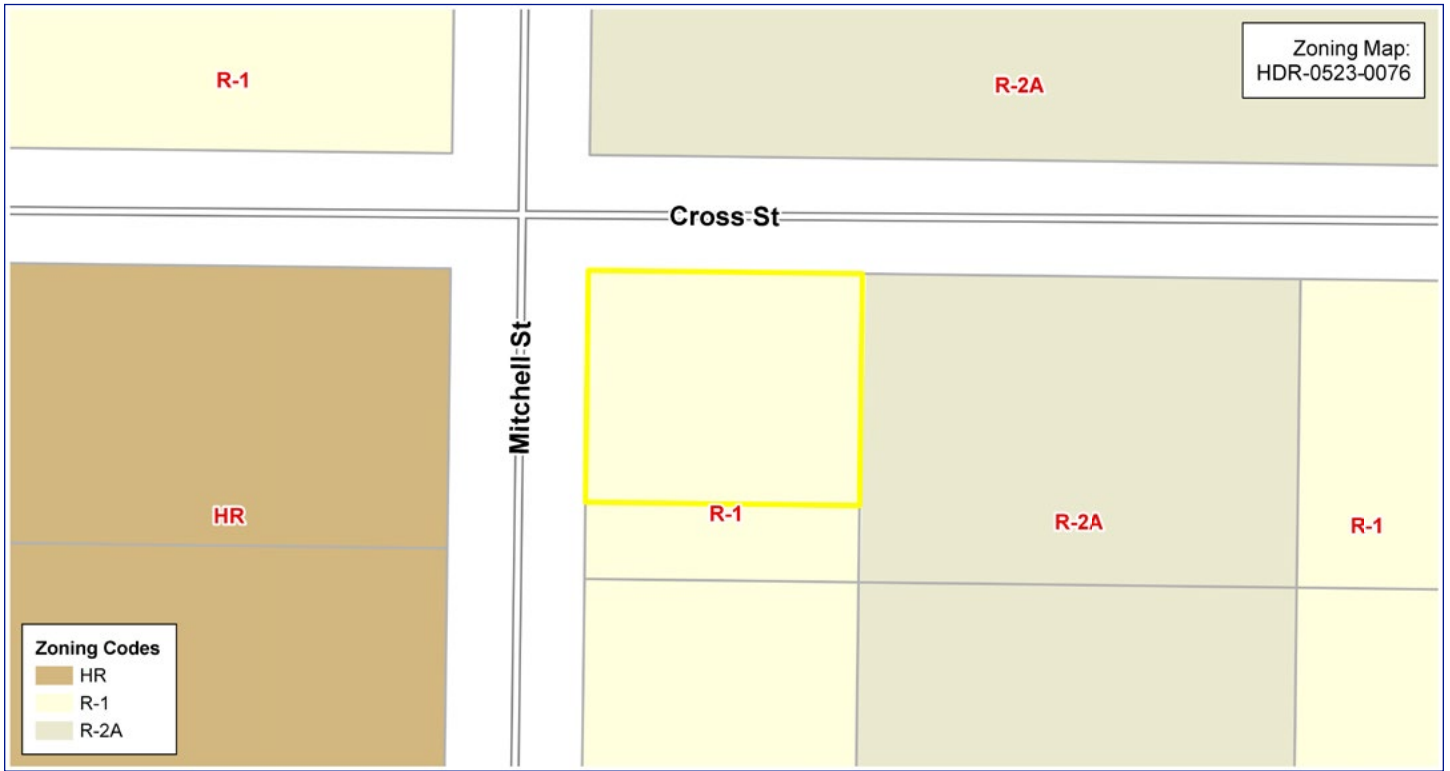
Complexity of form. The detailing and articulation of the structure should respect the forms of the vicinity.

The house generally maintains a complexity of form that is complementary to surrounding structures. Existing architectural detailing remains.

920 Mitchell Street - Accessory structure modifications

Old Conway Design Overlay District

I.D



Façade, wall area, rhythm. New facades shall be compatible with those of the surrounding area. 25-40% of front façades should contain windows. Window and door openings should relate to the size and proportions contained in the surrounding area.

No changes to the home. Alterations to be made to detached carport.

DESIGN ELEMENTS

Style. The structure's style should respect the context of the surrounding buildings.

The style and character of the structure will be compatible with the area.

Architectural Details, Siding, and Bricks. Detailing and siding should complement the surrounding area. Siding should include brick, stone, wood, or Hardie® siding/LP® SmartSide® type siding.

Applicant to use appropriate material for enclosure of carport. Materials must be provided prior to issuing of permit.

Shutters, Roof, Decks/Plaza Space, Skylights, Mechanical Screening. Roofing should respect the character of the surrounding area with respect to materials, pitch, and form. Metal roofing is prohibited unless historically used on the structure.

Recommend asphalt shingles for roof repairs/re-roofing. Roof height will match the roof peak of the main home.

Additions. Additions generally should be made to the rear of the structure and should be done in such a way to protect the historic integrity of the property with regards to massing, scale, size, and architectural features.

Applicant is proposing to enclose the carport on the existing foundation. Massing and scale appear to be appropriate.

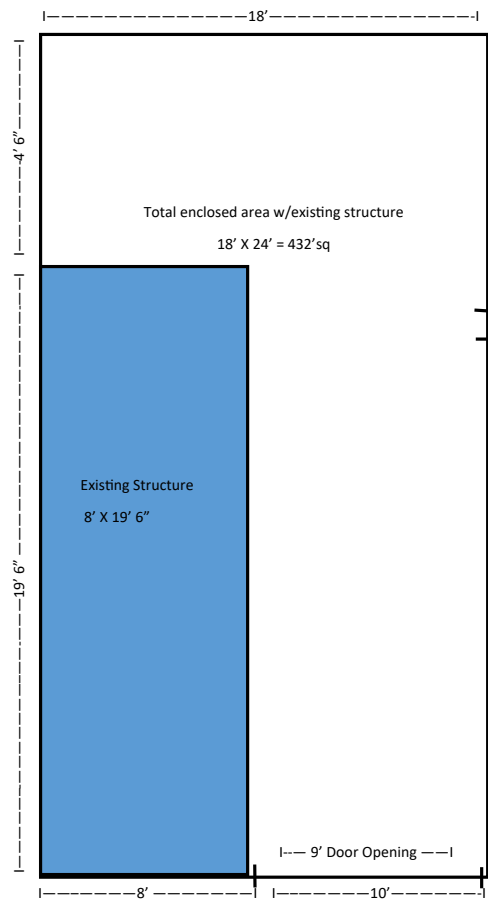
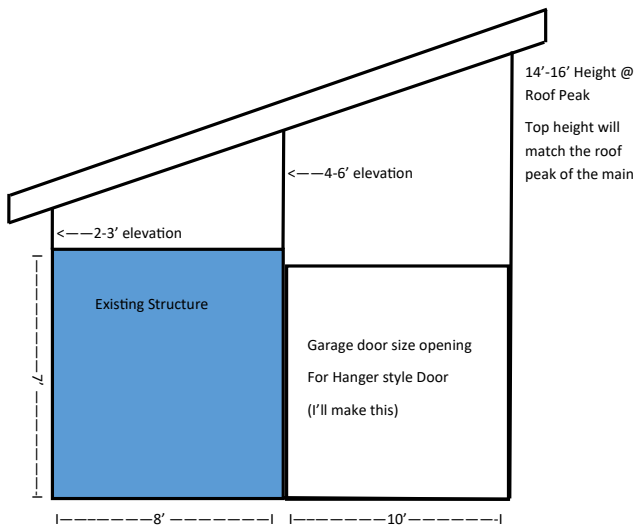
RECOMMENDATION

Staff recommends that the application be approved with the following conditions:

1. Applicant must obtain all applicable building permits* if/when a Certificate of Appropriateness is granted.
**Applicant shall provide proof of appropriate licensure of professionals performing work to the Building Permits Department.*
2. Roofing shall be composed of asphalt shingles.
3. Exterior materials must consist of stone, wood, or Hardie® siding/LP® SmartSide® type siding.
4. Carport must complement design elements and materials of the home and surrounding structures.



- Remove old roofing and all support materials
- Replace with shed angle/single angle roof
- Elevate side facing the main house to create matching roof peaks / angles
- Horizontal wood shingles to match existing siding (facing the school)
- Exposed wooden beams stained to match the wooden fence around the property



920 Mitchell Street - Accessory structure modifications

Old Conway Design Overlay District

I.D



View of subject property from Cross St looking S



View of subject property from Mitchell St looking E



View of subject accessory structure from Cross St looking SW



Property adjacent to the N



Property adjacent to the E



Property adjacent to the S

The following items, which do not require public hearings or Historic District Commission action, have been reviewed and approved by the Director of Planning & Development and are being reported to the Historic District Commission as required.

Item

- 1006 Garland Ave (MSN-SP CMU zoning district) - New fencing and 12' x 80' concrete pad (MSP-0423-0063)