



**CONWAY**  
HISTORIC DISTRICT COMMISSION  
STAFF REPORT

**5:30pm • June 25, 2018 • City Hall**



June 25, 2018 • 5:30 pm • 1201 Oak Street

# AGENDA

**A. Call to Order**

**B. Approval of Minutes**

1. May 29, 2018

**C. Public Hearings - Asa P. Robinson Historic District**

1. 1618/1620 & 1622/1624 - Remodel to single-family residences
2. 1600 Robinson Avenue - Freestanding metal carport

**Public Hearings - Old Conway Design Overlay District**

3. 1417 Bruce Street - Replacement accessory building
4. 1833 Simms Street - New single-family residence
5. 1418 McKay Street - New single-family residence
6. 2113 Weems Street - New single-family residence

**D. Discussion**

1. July meeting date change
2. Guidelines and Commissioner Term Amendments

**E. Adjourn**

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## HISTORIC DISTRICT COMMISSION MEMBERS

Steve Hurd, Chairman  
Marianne Black, Vice-Chairwoman  
David Carolina  
George Covington, Sr.  
Shelby Fiegel  
Taylor Martin  
Gerald Tosh

Conway Historic District Commission May 29, 2018 Meeting Minutes

City Hall - Downstairs Conference Room, 5:30 p.m.

Roll Call Steve Hurd, Chairman - present Marianne Black, Vice Chairperson - present Taylor Martin - present George Covington, Sr. - present Gerald Tosh - present David Carolina - present Shelby Fiegel - present HDC City Staff - Bryan Patrick - present

Finding of a Quorum. 7 Commission members - Quorum present.

Also in attendance: Jan Clark - 1517 Caldwell Dylan Whitehead - 1708 Caldwell Joanna Nabholz - H+N Architects Cody Ferris - Sowell Architects Sarah Bryan - 1704 Mill St Jap Burton - 408 Locust St Kenneth and Cathy Brents - 1716 Caldwell

Meeting Minutes April 23, 2018 minutes. George Covington motioned for approval, seconded by Taylor MArtin. Minutes approved unanimously.

Robinson Historic District Certificate of Appropriateness Review

Clark Parking Lot and Landscaping 1517 Caldwell Street

Presentation: Jan Clark explained that she would like to build a parking lot that fits into the residential nature of the area. The submitted plan shows crepe myrtles but she plans to use some other shrub species that forms a continuous hedge row that would be at least 30 inches high. She wants the parking lot screened to make it as least visible as possible. She would also like to construct a 6 foot privacy fence that would extend across the south property line to provide privacy to the duplex on the abutting property.

Neighborhood Discussion: In favor: None. Opposition: None

Commission Discussion: Chairman Hurd started Commission conversation by saying that he and Bryan Patrick, HDC Staff, have visited with Ms. Clark on the property to discuss the Robinson District regulations and to see the site firsthand. Marianne Black said that the fence design needed to be settled. There are two requests on tonight's agenda that have similar fence situations. Ms. Clark stated that she would rather build a typical 6 foot privacy fence to offer the most privacy between the parking lot and duplex. Ms. Black said that she wants the fence to be as residential as possible and blend with other area fencing and thought that a typical 6 foot wooden privacy fence would be appropriate at this location.

Motion made by Taylor Martin to approve the parking lot with staff recommended conditions striking the second sentence of recommendation 6 concerning Robinson District guidelines 2 foot lattice atop a 4 foot wooden privacy fence. Approved conditions:

- 1. The parking lot asphalt area shall be constructed as shown in submitted plans. 2. A continuous hedge row screening the parking area shall be required as shown on Staff sketch. 3. Vertical "accent" plantings shall be required as per Staff sketch. 4. Tree and shrub species shall be determined as part of Planning Staff development review. 5. Lighting shall be determined as part of Planning Staff development review. 6. A 6 foot tall wooden privacy fence shall be allowed along the south property line.

Motion seconded by David Carolina. Motion approved unanimously.

Whitehead Fencing and Driveway Expansion 1708 Caldwell Street

Presentation: Mr. Whitehead explained that he would like to install a 6 foot wooden privacy around the entire rear yard. He would also like to place a section in the front yard similar to the existing fence two lots to the west. This section decreases from 6 feet to around 4 feet. In addition, a section of concrete driveway would be added starting inline with front porch and extending to the rear of the garage to allow better vehicular access to the garage. Currently, the turning radius is tight and hard to maneuver.

Neighborhood Discussion: In favor: Kenneth and Cathy Brents spoke in favor of the fence. Opposition: None

Commission Discussion: Chairman Hurd asked the Commission to consider a wooden picket fence. Mr. Hurd suggested that a picket fence might be more appropriate for a front yard setting. The existing

front yard decreasing height fence was placed prior to the creation of the Robinson District. Although it sets precedent, it might not be one to follow. Mr. Patrick, HDC Staff, read 2 related Robinson District guidelines; one concerning picket fencing as appropriate for front yards and two, privacy fencing restricted to rear and side yards. Mr. Patrick stated that the boundary in question is a side yard and the guidelines could be interpreted as allowing either fencing situation. Additional Commission discussion ensued with general consensus allowing the decreasing height wooden privacy fence along part of the side yards.

Motion made by Taylor Martin to approve the fencing and concrete driveway extension with staff recommended conditions and striking recommendation 3 concerning Robinson guidelines for a 2 foot lattice atop a 4 foot privacy fence. Approved conditions:

- 1. A 6 foot tall wooden privacy fence shall be allowed around the rear of the property as shown on submitted site plan. 2. The wooden privacy fence shall be allowed to extend 18 feet beyond the residence as planned. This section of fence shall taper from 6 feet to 4 feet across the 18 foot distance. 3. A new section of driveway concrete shall be allowed as shown on submitted plan.

Motion seconded by Marianne Black. Motion approved unanimously.

Old Conway Design Overlay District Certificate of Appropriateness Review

McKinney Office Building Remodel 923 Parkway Street

Presentation: Cody Ferris, with Sowell Architects, presented the proposed remodel to the existing office building. Mr. Ferris stated that the remodel would add accent brick walls to better define the front entrance and to offer detail on the side of the building. The new dormer will have brick on the main facade with fiber cement board siding on the sides to match the existing dormers. The dumpster pen shown on submitted perspectives is actually on the abutting property and would not be part of the actual project. The proposed remodel is phase 1. The entire structure would be eventually remodeled and will have a more symmetrical balanced look when all phases are complete.

Neighborhood Discussion: In favor: None Opposition: None

Commission Discussion: Ms. Black asked about the siding to be used on the sides of the dormer and will false dividers be used on the windows? Mr. Ferris explained that fiber cement siding is planned. He further stated that the windows and doors will be commercial aluminum storefront and will include dividers to match the existing windows. The dormer would likely have vinyl windows with dividers to match. Mr. Patrick pointed out that the dumpster enclosure was not part of the project and that the recommendation concerning it should be omitted from the staff recommendations.

Motion made by George Covington to approve the parking lot with staff recommended conditions striking number 3 concerning the dumpster pen and number 4 concerning false window dividers. Approved conditions:

- 1. The remodel and 2nd story addition shall be constructed as shown in submitted plans. 2. New dormer siding material shall be brick and fiber cement lap siding.

Motion seconded by Shelby Fiegel. Motion approved unanimously.

St. Joseph Parish Parking Lot 1201 College Ave

Presentation: Joanna Nabholz presented the project. Ms. Nabholz stated that St. Joseph plans to demolish the existing recreational hall and replace with the proposed parking lot. She showed the Commission photos of the newly constructed low walls and stated that a similar wall will be constructed at the parking lot's Front Street entrance.

Neighborhood Discussion: In Favor. None Opposition. None

Commission Discussion: Mr. Covington asked if Front Street is closed. Mr. Patrick stated that as part of the College Avenue reconstruction several years ago, this portion of Front Street was closed and is now Church property. Ms. Nabholz added that hew intent is to make to look like Front Street was never there.

Motion made by Marianne Black to approve the parking lot with staff recommended conditions:

- 1. The parking lot shall be constructed as shown in submitted plans. 2. Tree and shrub species shall be determined as part of Planning Staff development review. 3. Lighting shall be determined as part of Planning Staff development review.

Motion seconded by Gerald Tosh. Motion approved unanimously.

**Discussion**

**Robinson District and Old Conway Design Overlay District Guideline Amendments**

Planning Staff is intends to place the HDC’s approved changes to the Robinson District and Old Conway Design Overlay District guidelines concerning vinyl and synthetic siding on the City Council’s June 12, 2018 agenda.

**HDC Term Limitations Amendments**

Planning Staff is intends to place the HDC’s approved changes concerning allowing HDC members to serve (2) 3 year terms followed by alternating terms (3 years on-3 years off) on the City Council’s June 12, 2018 agenda.

**2018 CLG Grant**

The Conway HDC has been awarded a Certified Local Government grant from the Arkansas Historic Preservation Program for fiscal year July 1, 2018 through June 30, 2019. The grant award is as follows:

- \$5838 for Conway Historic District Commission member attendance to the National Alliance of Preservation Commissions Forum in Des Moines, Iowa in July 2018.
- \$600 for Conway Historic District Commission member attendance at Arkansas training events.
- \$360 for printing and postage of informational bailouts to residents and owners in the Robinson Historic District.
- \$943 for printing of Robinson District Guidelines and flash drives to be given to local realtors as part of a Realtor education session.

**Adjourn**

Motion to adjourn made by Marianne Black. Seconded by Gerald Tosh. Meeting was adjourned.

**ROBINSON HISTORIC DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
REMODEL TO SINGLE-FAMILY RESIDENCES  
1618/1620 & 1622/1624 ROBINSON AVENUE**

**APPLICANT**

Liz Hamilton  
H+N Architects  
1109 Main Street  
Conway, AR 72034

**OWNER**

Ken Jones & Leslie Allen

**SITE**

**Address.** 1618/1620 & 1622/1624 Robinson Avenue (Historic 2 story apartments - converting to single family structures)

**Lot Area.** ± 0.45 acre (2 lots).

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Robinson Historic District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Robinson Historic District.

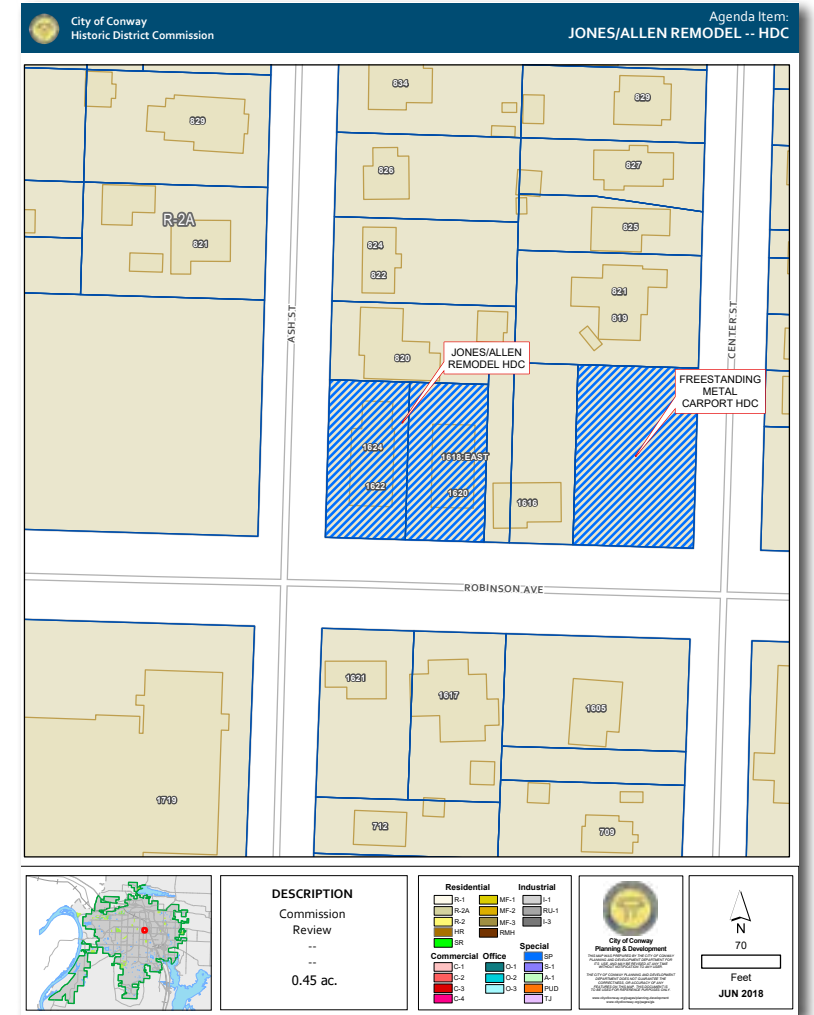
**Surrounding Area Structures.** The property is located on the north side of Robinson Avenue within the Robinson Historic District. To the east and west, are parking lots. To the south are single family residences in Queen Anne, craftsman, and international/prairie styles. First Baptist Church is diagonal to the southwest.

**General Description of Property and Proposed Development.**

The applicant is proposing to restore and remodel both structures, but the first phase will be directed at 1624 Robinson. 1620 Robinson will receive a new ribbon driveway, carport?, and front entry. Plans show 1624 will be remodeled with a new rear carport, new front entry steps, a short ribbon driveway, a corner pergola, porch on the west side, some window and door relocation/replacement, and sidewalks. A low picket fence is also shown.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 80% to 110% of the average area front setback. The front setbacks will not be changed. The new porch on the west side of 1624 would be set back around 18 feet from the west property line. This is inline with the 17.5 foot Ash Street average setback. The west carport sits 11 feet from the north property line and 13 feet from the middle property line. The east carport sits 1 foot from the middle property line and 4 feet from the north property line. There is almost 9 feet between the new carport and the existing east residence. This building separation distance will need to be increased to 10 feet in order to meet fire code.

**Spacing.** Established spacing distance pattern between area structures. Spacing remains essentially unchanged.



**Lot Coverage.** he new porch and carports will add some lot coverage. However, the large asphalt paving area between the two structures will be removed. Much more permeable area will be created. Lot permeability will be well over 40%.

**Orientation.** The direction in which the front of a building faces. The Robinson facing facades will remain unchanged. The new porch will face Center Street possibly creating a more inviting facade.

**Alley.** There are no alleys in the reviewed property’s block.

**Driveway/Parking.** There is an existing wide asphalt driveway/parking area between the two residences. There is also a driveway and rear parking area accessed from Ash Street. The large asphalt area and existing driveways will be removed. Two ribbon drives are proposed a long one accessing a new carport on the east and a short drive accessing a carport on the west. Concrete turn around areas are also shown.

**Carports.** There are two carports shown. At this time only the west carport will be constructed. The east carport’s distance to the house will need to be slightly adjusted in order to meet fire code. The proposed carports are shown with columns that

**C1 REMODEL TO SINGLE-FAMILY - 1618/1620 & 1622/1624 ROBINSON AVE**

match existing columns and a low masonry wall. The carport is connected to the residence via a roofline breezeway.

**Sidewalks.** There is a broken sidewalk along Robinson across the front of the property. There is no sidewalk along Ash Street. HDC review requires that the Robinson sidewalk be replaced and a new sidewalk be constructed along Ash Street.

**Fences.** A future picket fence is proposed around the sides of the property. No details are given on the fence. Additional details can be obtained at the meeting if an allowance for fencing is to be added to the Certificate of Appropriateness.

**Tree preservation.** A couple of large pine trees on the west side of the west residence will need to be removed to make room for the new porch. The plans indicate a new remedial canopy tree will be added at the southwest corner of the property.

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The overall scale of the west residence will slightly increase with the side porch addition. The east residence will not change.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines will not change.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The width of the west residence will slightly increase with the side porch addition. The east residence will not change.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residences remains unchanged.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The west residence will have a slightly larger footprint due to the side porch. The east residence remains unchanged.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The overall level of detailing will remain the same. The west residence porch addition will add a new layer of depth and detailing with columns and railings.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. Although some windows are being added/relocated, the overall facade wall void to solid area is unchanged. A new element of rhythm is added to the west and south facades of the west residence due to the porch addition. The new porch continues the established rhythm through similar column spacing and railing.

**DESIGN ELEMENTS**

**Style.** The style should compliment the existing and area structures. The two structures are listed as a "Plain traditional/ Colonial Revival" on the 1998 Robinson District survey. The style of the residences remains unchanged. The west residence porch addition would continue the established style and detailing.

**Entries**

**Front Entries.** Currently, the private sidewalks and front steps do not center on the front entry door. Plans call for the sidewalks and steps to be relocated and rebuilt to better center on the doors. The front facades of both residences have two doors; one entering the downstairs, the other going upstairs. Inside, the stairs will be re-routed and the exterior stair door will be removed. The existing transom above the door will be retained and a new, replaced, or reclaimed window will be placed below the transom. A new front entry door with a side lite is proposed. A wooden railing is planned for the ground floor porch. Currently, there is no railing. It's likely that building code will require a railing.

**West Residence Rear Entry.** Existing concrete steps will be removed and replaced with new concrete steps. These steps will lead to the carport under the breezeway.

**West Residence Side Entry (east side).** There is a door entering the east side of the west residence towards the rear of the structure. This door is planned to be removed and replaced with siding.

**Porches, and Porticos**

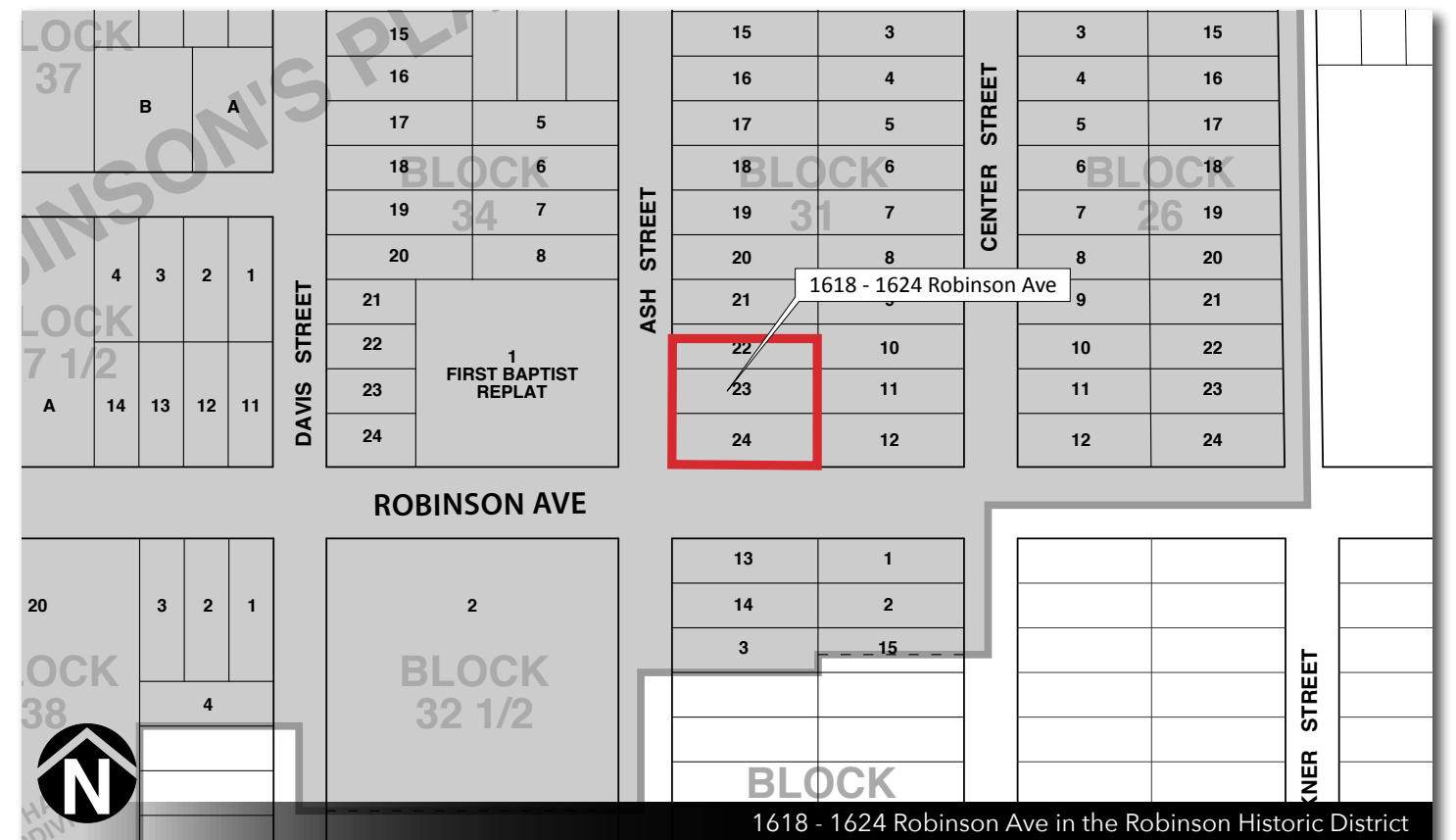
**New Porch West Residence.** A new porch is planned for the west side of the west residence. The new porch appears to be around 6 feet in depth by 45 feet long. The porch is shown with a brick base to match the existing. The porch will have a concrete slab floor. Columns are shown sized to match existing 9 inch by 9 inch columns. Wooden porch railing is shown matching the proposed front porch ground floor railing. In the southwest corner of the porch, a small wooden pergola area is proposed to transition between the front and side porches. The pergola area appears to have wooden decking. A concrete paver walk is shown accessing a new double door with transom on the west side of the residence.

**Doors and windows.** It appears that almost all existing windows and doors are original. The applicant plans to restore existing windows. It appears that 3-4 windows will be removed and relocated. If the windows cannot be relocated, new matching windows or reclaimed matching windows will be used. A new window is shown on the front entries replacing the exterior stair access door.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.



Aerial View of 1618 - 1624 Robinson Ave



1618 - 1624 Robinson Ave in the Robinson Historic District

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residences have simple detailing in classic proportions. Wide window and door trim is used. A drip edge moulding is used above most windows. Additional moulding is used on the Robinson Ave facade around doors and windows. A wide trim board is used at the cornice. Existing porch columns are appropriately sized. The siding is a narrow wooden clapboard. New construction shows matching brick base, appropriately sized columns, and glazed doors with transoms.

**Landscaping.** In addition to Historic District Commission review and conditions, parking lots must meet Planning Department development review standards for landscaping. A hedge 30” in height or other means including a low wall, berms, etc must be used to screen the parking area from the street. Perimeter trees are also typically required.

The proposed site plan shows crepe myrtles surrounding the parking area. Crepes can be used but would be in addition to the required screening hedge.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. No shutters are shown.

**Roof.** Roofing will be replaced with in-kind asphalt shingles.

**Decks/Plaza Space.** No decks or patio space are shown on the submitted plans.

**Skylights.** None are shown.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street. Screening shrubs will be needed for any existing or new exterior HVAC units.

**ROBINSON HISTORIC GUIDELINES**

**2.2.1 Site Features and Plantings Guidelines.**

1. Sidewalks are an integral part of the Robinson Historic District. The repair, replacement, or construction of sidewalks is required with new construction approved by a Certificate of Appropriateness.

2. As part of a Certificate of Appropriateness review, removal of any trees over eight inches (8”) in diameter must be approved by the HDC. Also as part of this review, street canopy trees shall be planted along street frontages at a rate of one (1) tree per thirty feet (30’) of street frontage. If overhead utilities exist, then understory trees shall be planted at the same rate as canopy trees. Existing street trees over eight inches (8”) in diameter may count towards the required number as per approval of the HDC.

**2.2.2 Fences and Walls Guidelines.**

14. Wood picket fences may be located in front or side yards of bungalows or cottages along property lines. Size, scale, design and form should be compatible with the house.

**2.2.3 Walkways, Drives, & Parking - Guidelines.**

6. Design new walkways, driveways, and off street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and off street parking areas that contribute to the overall historic character of the district.

10. Location of parking areas should be at the rear of the property or preferably off the alley if possible.

16. Recommended materials for parking areas: brick or stone pavers, concrete, or compacted crushed rock or brick.

20. Asphalt is not a historic paving method and should not be used for new driveways.

**2.2.3 Garages and Accessory Structures - Guidelines.**

6. Locate and orient new garages and accessory buildings in locations compatible with the traditional relationship of garages and accessory buildings to the main structure and the site in the district.

**2.3.2 Treatment of Wooden Buildings - Guidelines.**

1. Retain and preserve wooden features that contribute to the overall historic character of a building and a site, including such functional and decorative elements as siding, cornices, architraves, brackets, pediments, columns, balustrades, and architectural trim.

**2.3.3 Windows and Doors - Guidelines.**

1. Retain and preserve windows that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, sash, muntins, sills, heads, moldings, surrounds, hardware, shutters, and blinds.

2. Retain and preserve doors that contribute to the overall historic character of a building, including their functional and decorative features, such as frames, glazing, panels, sidelights, fanlights, surrounds, thresholds, and hardware.

4. Repair historic windows and doors and their distinctive features through recognized preservation methods for patching, consolidating, splicing, and reinforcing.

5. If replacement of a deteriorated window or door feature or detail is necessary, replace only the deteriorated feature in kind rather than the entire unit. Match the original in design, dimension, and material. Consider compatible substitute materials only if using the original material is not technically feasible.

6. If replacement of a deteriorated window or door unit is necessary, replace the unit in kind, matching the design and the dimension of the original sash or panels, pane configuration, architectural trim, detailing, and materials. Consider compatible substitute materials only if using the original material is not technically feasible.

13. It is not appropriate to remove original doors, windows, shutters, blinds, hardware, and trim from a character-defining facade.

**2.5.1. New Construction - Guidelines (New Porch and Carports)**

1. New construction shall maintain, not disrupt, the existing pattern of surrounding historic buildings along the street by being similar in the following:

- Size or mass
- Form
- Proportion
- Scale (height and width)
- Roof shape and pitch
- Orientation to the street
- Location, proportion, and scale of windows and entrances
- Foundation/first floor height and ratio
- Floor-to-ceiling height
- Materials (texture and color)
- Lot placement, setbacks, and spacing

**2.5.2 Additions - Guidelines (New Porch and Carports).**

1. Construct new additions so that there is the least possible loss of historic fabric and so that the character-defining features of the historic building are not destroyed, damaged, or obscured.

5. Locate a new addition on an inconspicuous elevation of the historic building, usually the rear one.

6. Limit the size and the scale of an addition in relationship to the historic building so that it does not diminish or visually overpower the building.

7. Design an addition to be compatible with the historic building in mass, materials, color, and relationship of solids to voids in the exterior walls, yet make the addition discernible from the original.

8. It is not appropriate to construct an addition if it will detract from the overall historic character of the principal building and the site, or if it will require the removal of a significant building element or site feature.

9. It is not appropriate to construct an addition that significantly changes the proportion of built mass to open space on the individual site.

10. The addition shall be constructed in such a manner that if removed in the future, the essential form of the historic structure would be unimpaired. New design should not use the same wall plane, roof line, or cornice line of the existing structure.

11. The front building elevation facing the street or an important pedestrian route shall be treated under the tightest standards of the design guidelines. district.

**RECOMMENDATIONS**

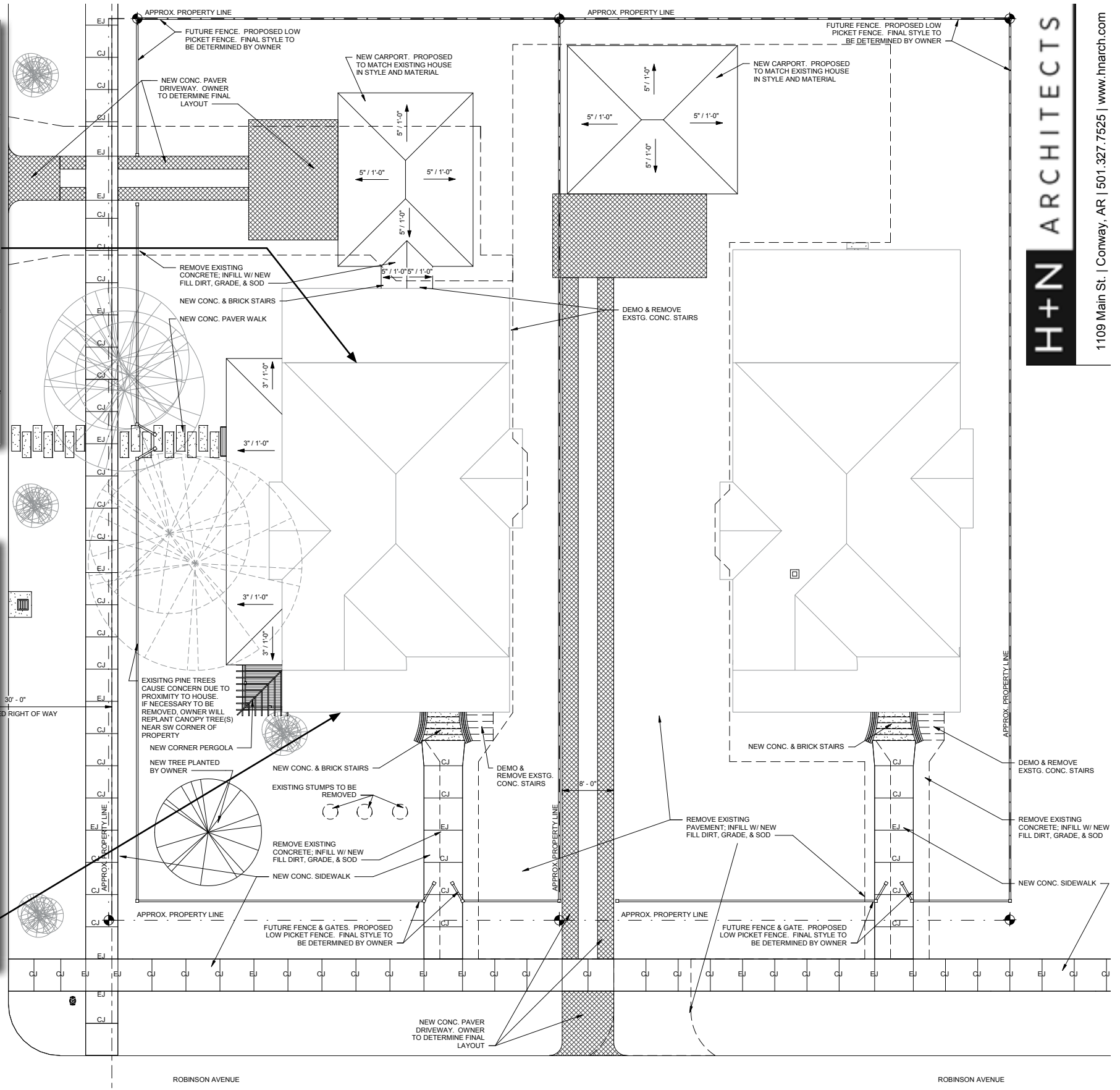
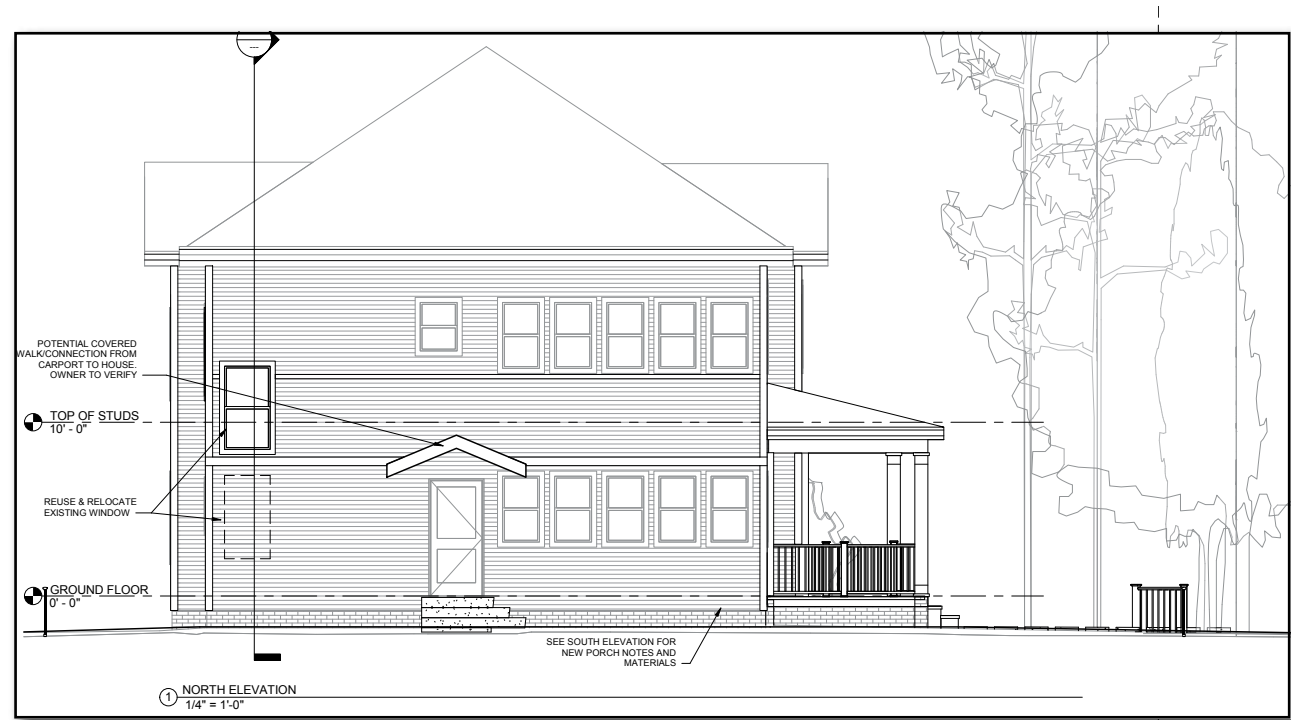
Overall, the porch addition, new construction, and remodeling of the residence(s) appear to be appropriate. However, these changes must be filtered through the Robinson District Guidelines. The proposed reconstruction of sidewalks, tree removal/remediation, picket fence, driveways, carport design and locations, appear to generally meet the guidelines.

A preservation review is caused by the addition of a new porch, ground floor porch railings, the removal and relocation of windows and doors, and the use of new windows and doors. Guidelines 2.3.2 states that contributing features to the structure should be retained. Guidelines in 2.3.3 state that historic windows should be repaired and restored. If a window cannot be restored or new windows are necessary, they should match the historic windows. It is not appropriate to remove doors and windows from character defining facades. Guidelines concerning new construction 2.5.1 and 2.5.2, state that new construction should be compatible in shape, mass, proportion, and form. New construction should not create a loss historic fabric or character defining features. The scale of a new addition should not visually overpower or detract from the existing structure. The addition should be constructed so that if it were removed, the original structure would not be impaired. The front elevation is to receive the tightest standards of the design guidelines.

Carport(s). In examining the proposed carport(s), the intent of the guidelines seems to be met. The carport(s) do not dominate or detract from the structure(s), they are appropriately located at the rear, and constructed of compatible materials. The carport and connecting breezeway could be removed without impairing the original structure.

New Porch. The new porch is an addition to the historic structure. The shape, mass, proportion, and form of the porch do not appear to overpower or detract from the residence’s west facade. The porch looks as if it could have been part of the original design. Porch columns, base, and railing are shown to match existing porch features. The porch could be removed without impairing the original structure. A more modern pergola feature is added to the southwest corner of the structure to bridge the existing front porch and new side porch.

Front Facades. One of the bigger changes in light of the guidelines is the front facades. Guideline 2.5.2 states that the front elevation should have the greatest scrutiny. A front stair access door is proposed to be removed and replaced with a window (the transom will be retained). The ground floor front door and upstairs porch doors are to be removed and replaced with half glazed doors (transoms will be retained). New porch railing is planned for the ground floor porch. New concrete steps and brick wing walls are proposed. From a preservation standpoint, existing doors and windows are original features. From a design standpoint, these changes would create a better defined and grander entry. The removal of the exterior stair

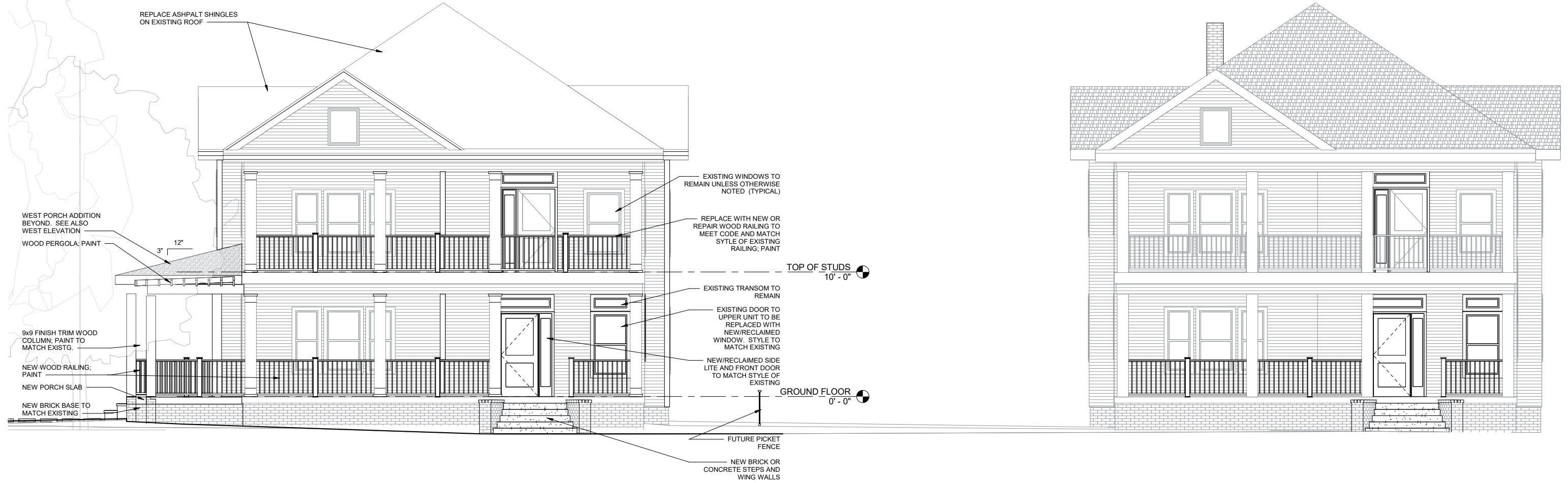


Site Plan

**H+N ARCHITECTS**

1109 Main St. | Conway, AR | 501.327.7525 | www.hnarch.com

1618/1620 & 1622/1624 Robinson Ave - South Elevations



1622/1624 Robinson Ave - West Elevation



access is due to the conversion from multifamily to single family. With appropriate new doors and/or relocated windows, these changes can be seen as appropriate. Window and door guidelines in 2.3.3 state that character defining windows, doors, and hardware should be retained. The existing doors are historic, but possibly not character defining.

Other Door and Window Removal, Relocation, and Replacement. Proposed window removal and relocation on the east and west facades would have a minor affect on the facade's character. Reuse of existing windows would be most preferred followed by the use of reclaimed windows, and new windows last.

HDC Staff Recommended Conditions:

1. The new porch on the west residence, new carport(s), new driveway(s), renovations, and remodeling shall be constructed and completed as shown on the submitted plans.
2. Windows and doors may be removed and relocated as proposed. The preferred order for use/replacement of windows is; reuse of existing windows, followed by the use of matching reclaimed windows, and new windows. Matching moldings shall be used around doors and trim. New windows and doors must be approved by HDC Staff.
3. Replacement siding shall be wooden with matching profile.
4. A picket fence meeting the Robinson Guidelines section 2.2.2 may be constructed.
5. Pine trees on the west side of the west residence may be removed. If removed, a canopy tree shall be planted in the southwest corner of the property at 1624 Robinson.
6. HVAC equipment must be located at the rear or sides of the structures and screened with a low fence and/or shrubs.



**C2 FREESTANDING METAL CARPORT - NW CORNER OF CENTER STREET & ROBINSON AVENUE**

**ROBINSON HISTORIC DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
FREESTANDING METAL VAN COVER  
NW CORNER OF CENTER STREET & ROBINSON AVENUE**

**APPLICANT/OWNER**  
Robinson & Center Church of Christ  
1505 Robinson Avenue  
Conway, AR 72034

**SITE**  
**Address.** 1600 Robinson Avenue - Northwest corner of parking lot located at the northwest corner of Center Street and Robinson Ave.

**Lot Area.** ± 0.40 acres.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Asa P. Robinson Historic District.

**Abutting Zoning.** R-2A (Large Lot Duplex) and MF-3 (Multifamily). The property is within the Asa P. Robinson Historic District.

**Surrounding Area Structures.** The Robinson and Center Church of Christ facilities (mid century and contemporary), ranch, a hand made concrete block two story craftsman/ vernacular, craftsman bungalow, Queen Anne residences. The Lincoln Apartments are listed as plain traditional/ colonial revival.

**General Description of Property and Proposed Development.** Robinson and Center Church of Christ has constructed a 1080 s.f. metal cover to protect their Church van and other vehicles. This metal cover was assembled without first obtaining HDC approval or a building permit. The structure was constructed in one day. HDC Staff was alerted that the cover was constructed on June 6, 2018.

**Setbacks.** The cover is set back 10 feet from the west property line and 25 feet from the north property line.

**Spacing.** Established spacing distance pattern between area structures. As an outbuilding or accessory structure, the cover is similar located comparing to other area outbuildings.

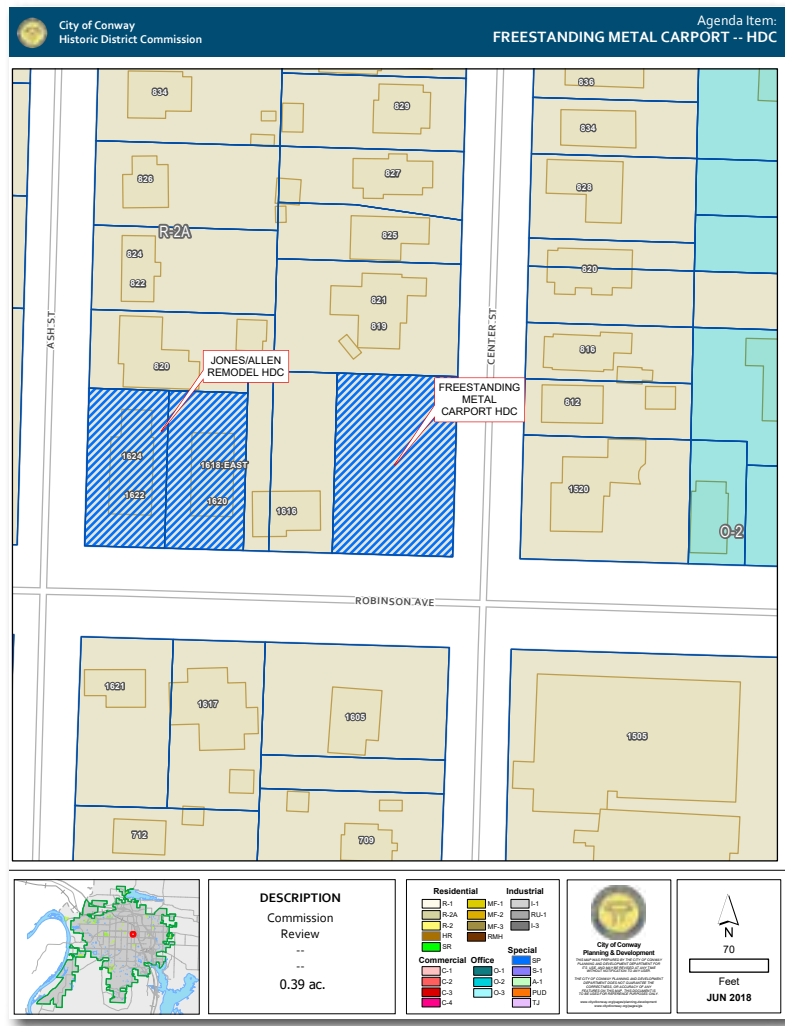
**Lot Coverage.** There is approximately 27% permeable area.

**Orientation.** The direction in which the front of a building faces. The cover is open sided. The south and north ends of the cover are the most open.

**Alley.** There are no alleyways in the affected block.

**Driveway/Parking/Carport.** The Church parking lots, driveways, etc, remain unchanged.

**Sidewalks.** There are existing sidewalks along Center Street and Robinson Avenue.



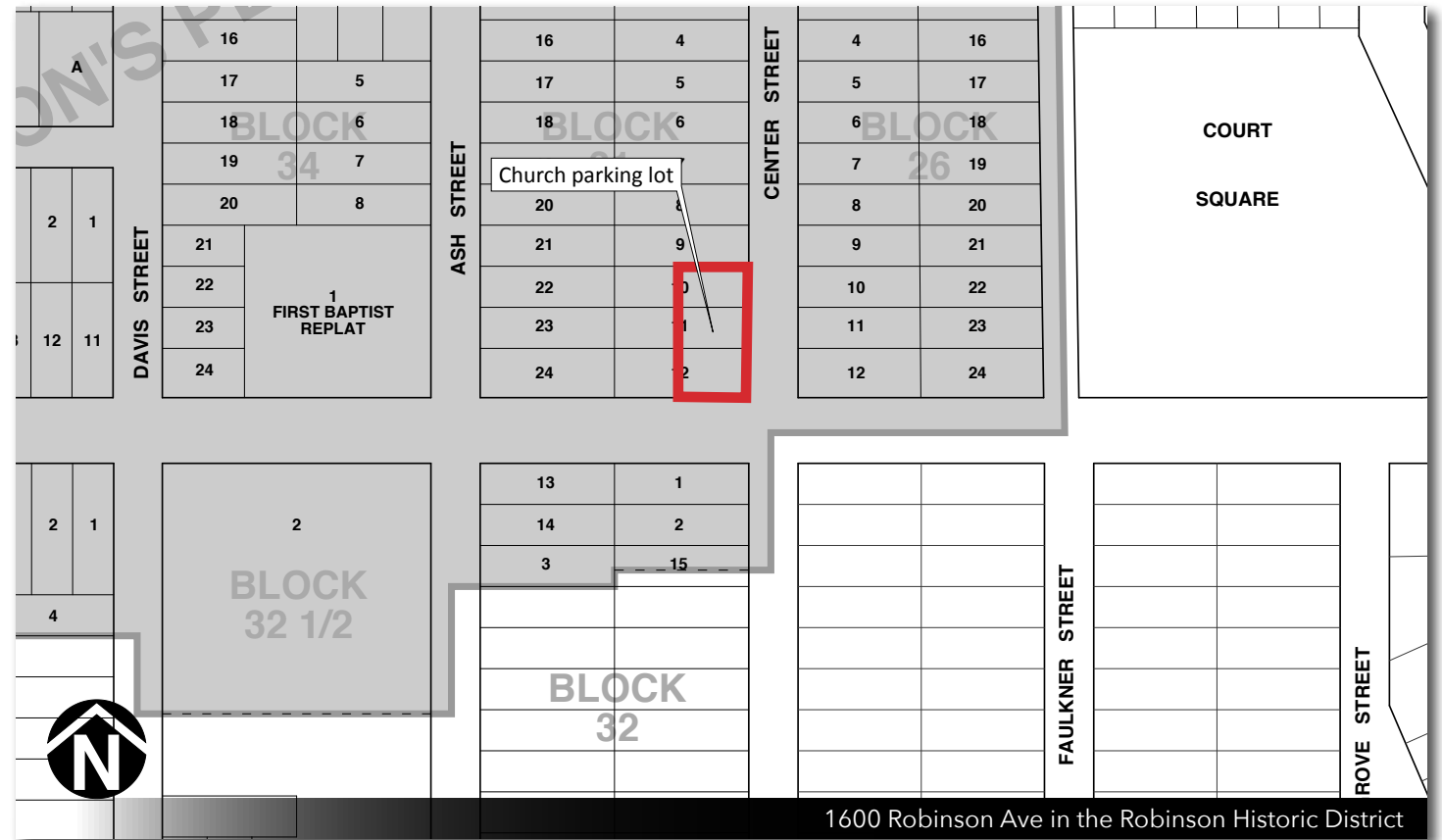
**Fences.** No fencing is proposed.

**Tree preservation.** No trees have been affected by the van cover.

**MASSING**  
**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The van cover is 45 feet long by 24 feet wide and 13 feet tall. It covers 1080 square feet. This is quite large as an accessory structure. Some area homes are almost this size. The van cover constructed by the Church of the Nazarene one block south covers 720 s.f. The Church of the Nazarene cover is in the Old Conway Design Overlay.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. Roof height is around 13 feet tall to accommodate the large Church van.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The proposed cover's width is on the large side in relation to other area outbuildings.



1600 Robinson Ave in the Robinson Historic District

**Directional expression.** Measurement of the height to width ratio of a structure’s elevation. The height of the cover is about the same height as adjacent one story homes.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The cover’s footprint is almost as large as smaller area homes.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The cover is strictly utilitarian and has no detailing.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The cover is open with metal support poles, therefore, there are no true facades.

**DESIGN ELEMENTS**

**Style.** The style should compliment the existing and area structures. The cover is strictly utilitarian. There is no discernible style.

**Entries, Porches, and Porticos.** Not applicable.

**Doors and windows.** Not applicable.

**Awnings.** Not applicable.

**Lighting.** No additional lighting has been constructed.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The cover is utilitarian with no architectural detailing.

**Shutters.** Not applicable.

**Roof.** The cover is basically all metal roof.

**Decks/Plaza Space.** Not applicable.

**Skylights.** Not applicable.

**Mechanical Screening.** Not applicable.

**ROBINSON DISTRICT GUIDELINES**

The utilitarian cover can be seen as an accessory structure and/or part of the parking lot. The following list contains relevant explanations and guidelines concerning accessory structures and parking lots:

**Parking Lot Explanations and Guidelines Site**

2.2.1 Features and Plantings Explanation. *The introduction of an intrusive contemporary site feature or item of equipment, such as a parking lot, a swimming pool, freestanding mechanical equipment, or a satellite dish, must be carefully reviewed to determine if it will compromise the historic character of the site*

*and the district. Although the impact of intrusive contemporary site features or equipment can often be diminished through careful siting and screening, in some cases it may be so detrimental to the character of the site or the streetscape that the alteration cannot be accommodated. Such might be the case if the bulk of a residential rear yard were paved for parking or if an addition required the removal of several healthy, mature shade trees.*

2.2.1 Features and Plantings Guidelines. *It is not appropriate to introduce contemporary equipment or incompatible features, including satellite dishes, solar collectors, playground equipment, mechanical units, storage units, and swimming pools, in locations that compromise the historic character of the building, site, or the district. Locate such features unobtrusively, and screen them from view.*

2.2.17 Features and Plantings Guidelines. New parking should be unobtrusive as possible. “Shared” parking should also be planned so that several businesses can utilize one parking area as opposed to introducing random, multiple lots.

2.2.3 Walkways, Drives, & Parking Explanation. If a parking lot must be located in the historic district, it should be located as unobtrusively as possible and must be screened from street view by a substantial planting strip or a combination of plantings and fencing. As many existing trees as possible should be saved, and new trees planted, to maintain or enhance the tree canopy.

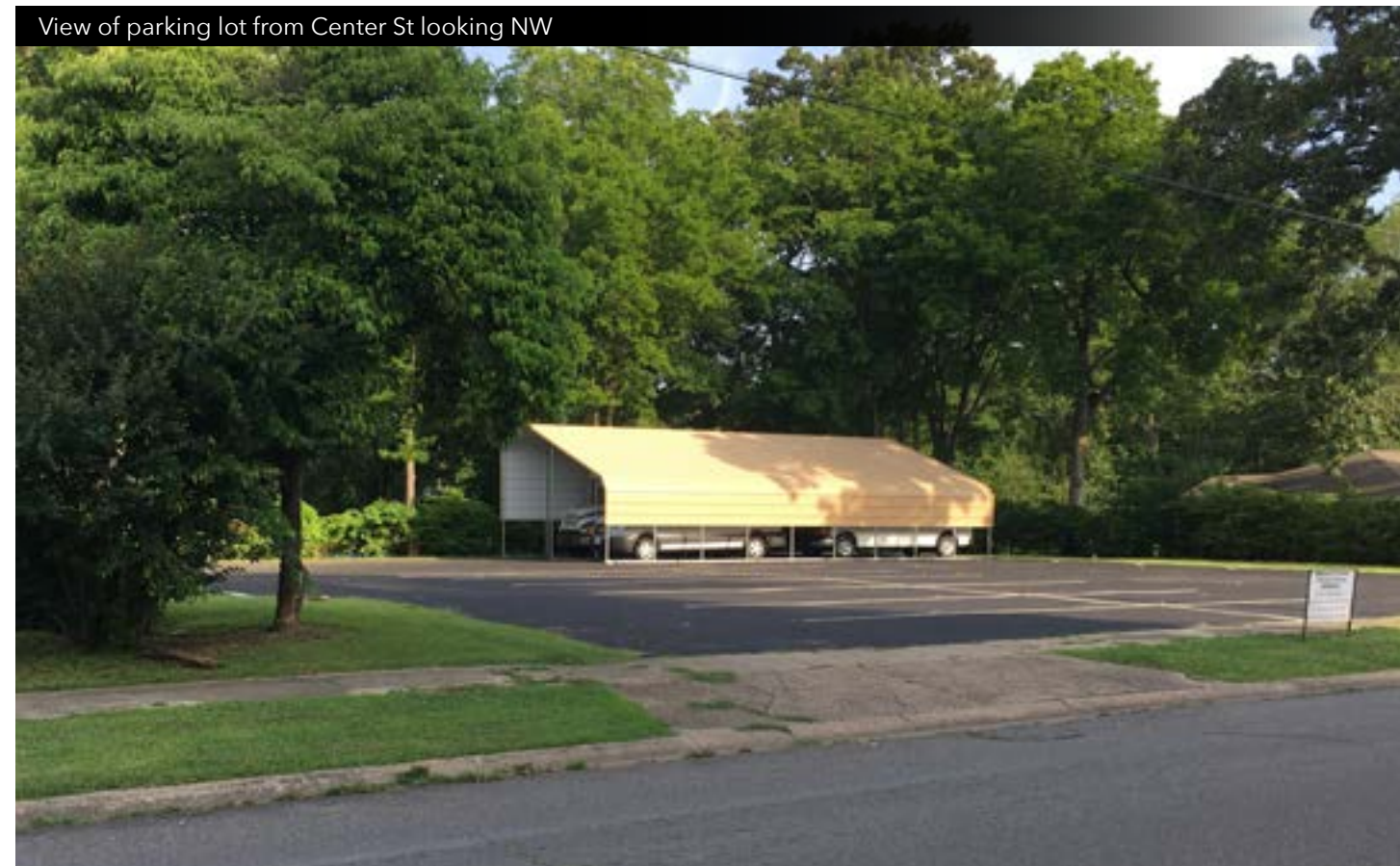
Residential parking areas shall be retained gravel, or concrete. Asphalt paving is not appropriate in residential areas.

In commercial areas, parking areas shall be concrete, asphalt, pavers, or an appropriate impervious material. Loose gravel is prohibited.

In residential districts, new paved areas should never directly abut the principal site structure, significantly alter the site topography, or overwhelm in area the residential, landscaped character of a backyard. Care must be taken that paved areas do not injure nearby trees by intruding onto their root areas.

2.2.3 Walkways, Drives, & Parking Guidelines.

1. Retain and preserve the topography, patterns, configurations, features, dimensions, materials, and color of existing walkways, driveways, and off street parking areas that contribute to the overall historic character of individual building sites, the streetscape, and the historic district.
6. Design new walkways, driveways, and off street parking areas to be compatible in location, patterns, spacing, configurations, dimensions, materials, and color with existing walkways, driveways, and off street parking areas that contribute to the overall historic character of the district.
9. Locate off-street parking in a manner that preserves existing topography, site features, and trees.
10. Location of parking areas should be at the rear of the property or preferably off the alley if possible.
11. On-site parking requirements should be compatible with existing Conway Zoning Ordinances.



**C2 FREESTANDING METAL CARPORT - NW CORNER OF CENTER & ROBINSON**

12. Introduce perimeter plantings, hedges, fences, or walls to screen and buffer off street parking areas from adjacent properties and the public street. Subdivide large parking areas with interior planting islands to break up any large paved area.
16. Recommended materials for parking areas: brick or stone pavers, concrete, or compacted crushed rock or brick.
18. If locating parking on a corner lot, it should be screened on both streets and the front of the lot should not extend past the setback of the adjacent properties on both streets.
19. Corner lot parking is not appropriate between commercial buildings and the street. Parking should be located at the rear or side of commercial structures.
20. Asphalt is not a historic paving method and should not be used for new driveways.
21. In lighting walkways, driveways, and off street parking areas, follow the guidelines for lighting.

**Garages and Accessory Structures Explanations and Guidelines**  
**Site**

2.2.4. Garages and Accessory Structures Explanation. In the historic district, the compatibility of a proposed new garage or accessory building should be reviewed in terms of location, orientation, form, scale, size, materials, finish, and details. It is also important to consider the impact of the proposed construction on the existing site and site features.

2.2.4. Garages and Accessory Structures Guidelines.

6. Locate and orient new garages and accessory buildings in locations compatible with the traditional relationship of garages and accessory buildings to the main structure and the site in the district.
7. *It is not appropriate to construct a prefabricated accessory structure that is not compatible with the main structure or similar to historic accessory structures within the district.*

**New Construction**

2.5.1 Garages and Accessory Structures Guidelines. Garages and Accessory Structures include garages, carriage houses, garden sheds, and pavilions. These structures should be smaller than the primary structure, located at the rear of the primary structure, and incorporate similar detailing as the primary structure. If lot width or depth prohibits a rear location, the garage may be placed at the side of the structure. The garage centerline shall not extend in front of the transverse centerline of the structure.

**RECOMMENDATIONS**

The proposed cover is a utilitarian structure that is basically a metal roof. The structure is not traditional in nature or constructed of traditional materials.

The HDC should consider whether the van cover is an appropriate structure to be allowed in the Robinson District.

Section 2.2.1 Features and Plantings Guidelines state. *It is not appropriate to introduce contemporary equipment or incompatible features, including satellite dishes, solar collectors, playground equipment, mechanical units, storage units, and swimming pools, in locations that compromise the historic character of the building, site, or the district. Locate such features unobtrusively, and screen them from view.*

Based on this guideline, it would be appropriate to relocate the structure to a more suitable screened location or to provide additional landscaping to screen the current location. The existing parking lot has continuous paving to the back of the sidewalk along most of Center Street and Robinson Avenue. There is a small landscaped area at the corner. If the cover were allowed to remain, ideally, landscaping including shrubs, screening trees, and possibly a low wall would be installed along Robinson and Center. This additional landscaping would require removal of some parking area and would be expensive.

**C3 REPLACEMENT OUTBUILDING - 1417 BRUCE STREET**

**OLD CONWAY DESIGN OVERLAY DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
REPLACEMENT OUTBUILDING  
1417 BRUCE STREET**

**APPLICANT/OWNER**

James Dorsey  
1417 Bruce Street  
Conway AR 72034

**SITE**

**Address.** 1417 Bruce Street

**Lot Area.** ± 0.15 acre.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the south side of Bruce Street between Conway Boulevard and Oliver Street. Area structures consist of single family residences in craftsman cottage, minimal traditional, Queen Anne, and vernacular cottage structures.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new 384 square foot outbuilding to replace the dilapidated 192 s.f. outbuilding.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 85% to 115% of the average area front setback. The front setback will not be affected. Typical outbuilding setbacks are 5 feet from the side and rear property lines. The submitted site plan shows 5 foot setbacks.

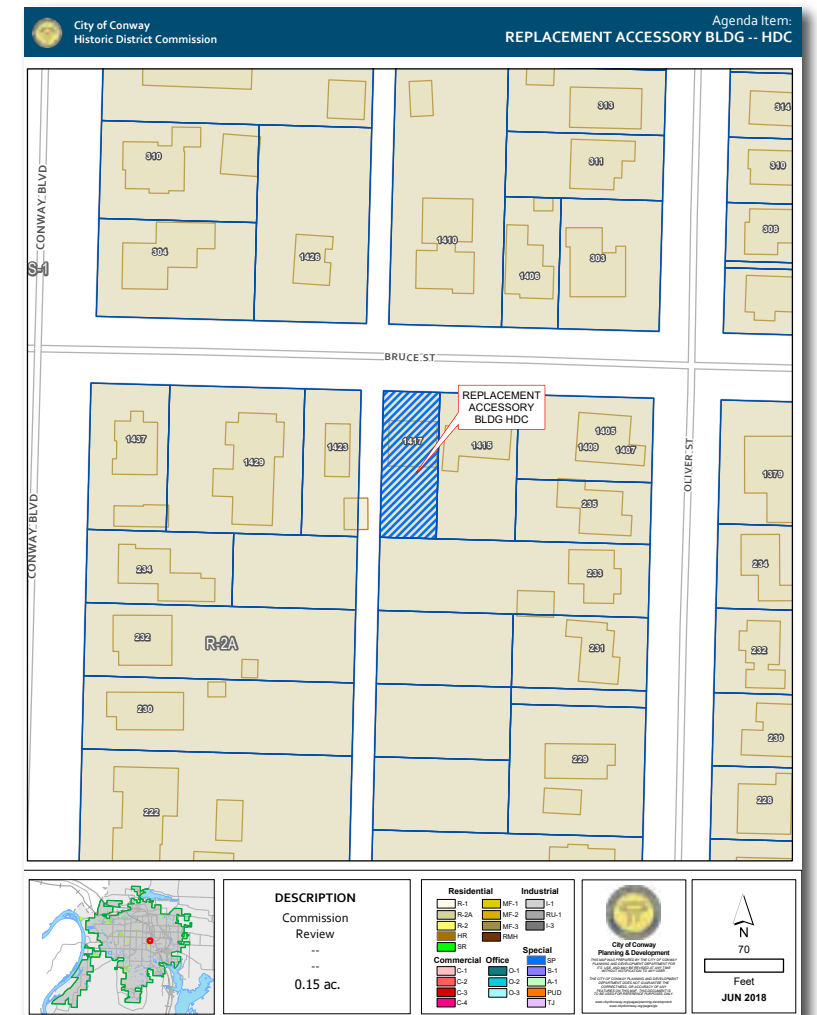
**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other outbuildings within the neighborhood.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The pervious area will be around 71%.

**Orientation.** The direction in which the front of a building faces. The outbuilding will have the main entry facade facing north.

**Alley.** There is a 10 foot unbuilt alley running north/south along the west property line. This unbuilt alley will not affect the proposed outbuilding.

**Driveway/Parking/Carport.** No new driveway or parking is proposed.



**Sidewalks.** There is no sidewalk along the south side of Bruce Street, property. No sidewalk construction is required due to the size of the new outbuilding.

**Fences.** No fencing is proposed. There is an existing 6 foot privacy fence around the rear yard.

**Tree preservation.** No significant trees will be affected by the proposed construction.

**MASSING**  
**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The new outbuilding's overall scale is compatible with the existing residence and other area residences.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The outbuilding is proposed to have 8 foot high walls and be approximately 14 feet in height overall. This height is appropriate.

**C3 REPLACEMENT OUTBUILDING - 1517 BRUCE STREET**

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The outbuilding's width is appropriate in scale with the existing residence and area residences.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the outbuilding is appropriate.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The outbuilding's footprint is appropriately scaled in relation to the primary and other area residences.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The residence has minimal detailing. The proposed outbuilding will also have minimal detailing and be mostly hidden from public view due to location and privacy fencing.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. This requirement is less relevant as a utilitarian outbuilding mainly hidden from public view. There is an appropriate level of wall to opening area.

**DESIGN ELEMENTS**

**Style.** The style should compliment the existing and area structures. The primary residence is a minimal traditional cottage with minimal detailing. The proposed outbuilding will also follow this style.

**Entries, Porches, and Porticos.** No porch or portico is proposed.

**Doors and windows.** A double door is shown on the north facade along with a single door on the east facade. Windows are shown on the north and south facades. As a utilitarian structure largely hidden from public view, The proposed doors and windows are appropriate.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. A small awning is shown over the east facade door.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The primary residence has minimal detailing. This will be reflected in the outbuilding.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. No shutters are shown.

**Roof.** An asphalt roof is proposed.

**Decks/Plaza Space.** No decks or patio space are shown.

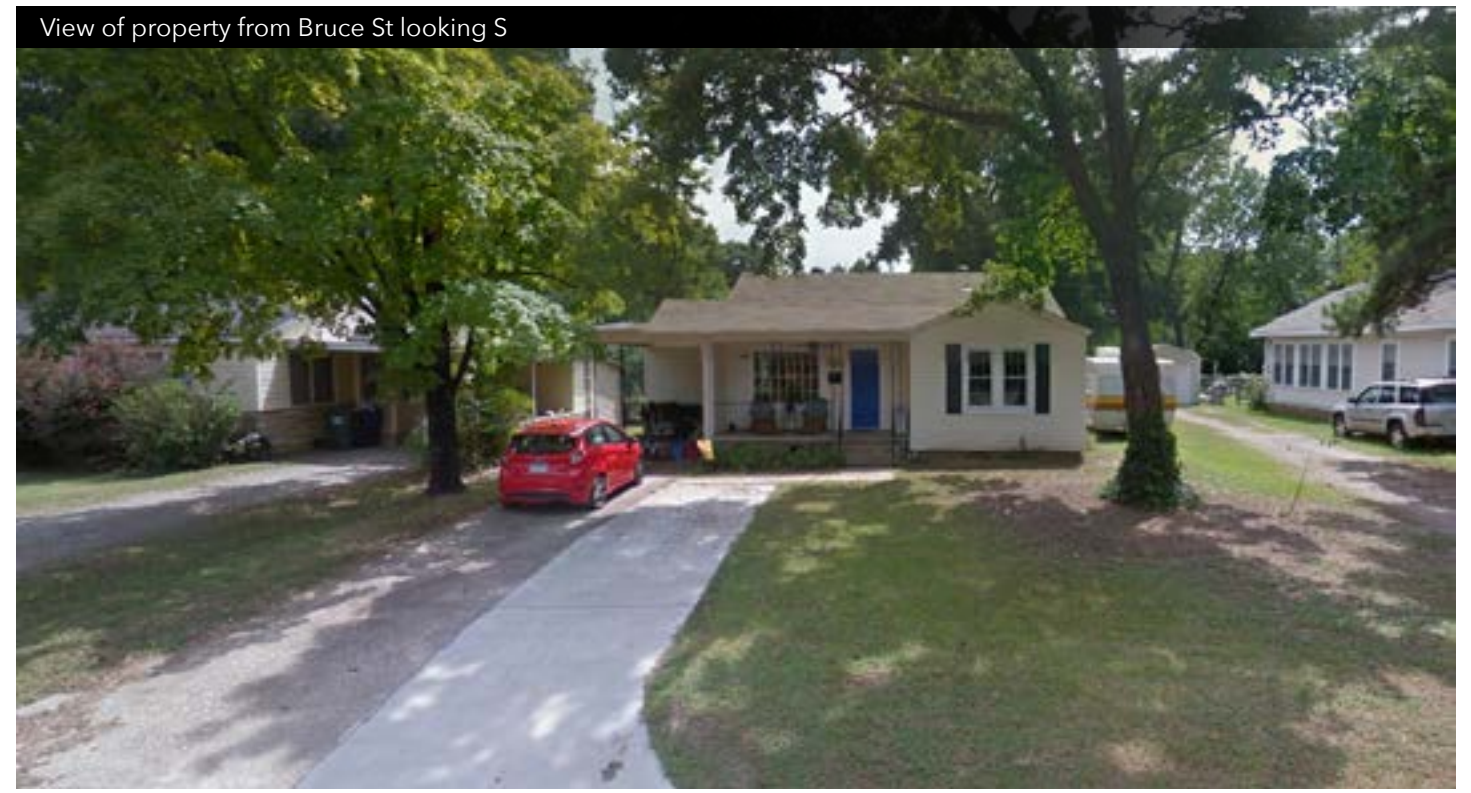
**Skylights.** None are shown.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

**RECOMMENDATIONS**

Staff recommends approval of the new residence and driveway with the following conditions:

1. The outbuilding shall be constructed as shown in submitted plans.



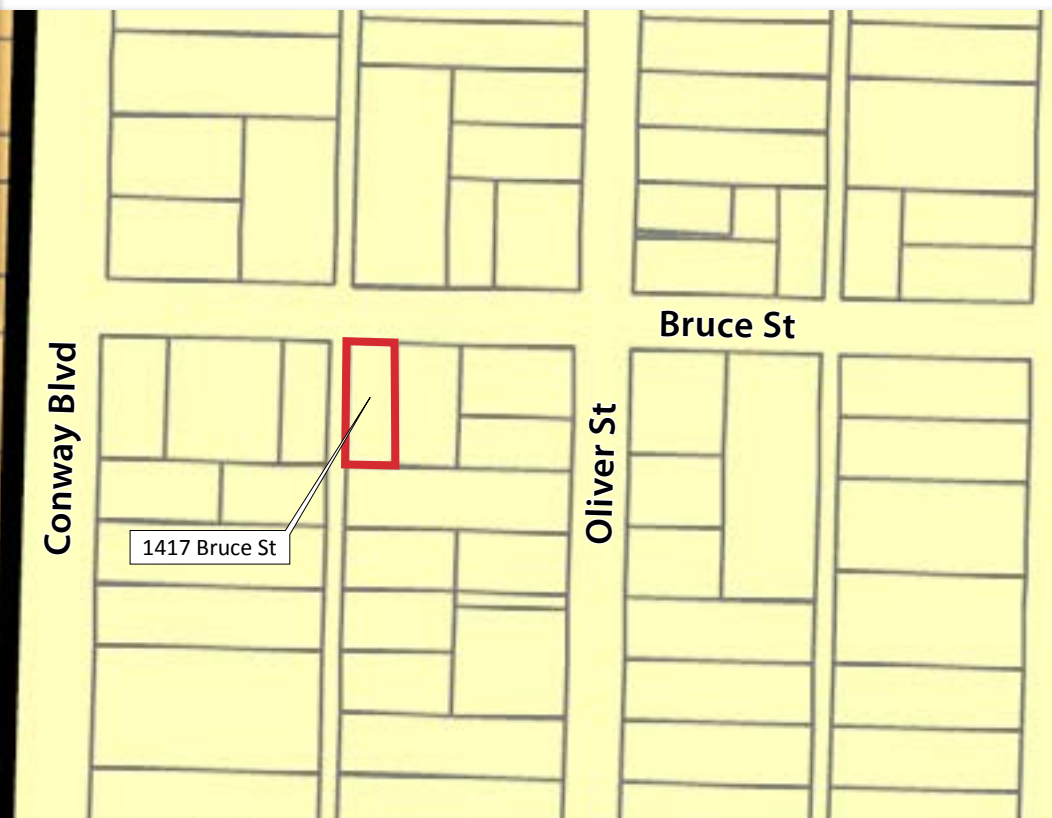
**C3 REPLACEMENT OUTBUILDING - 1417 BRUCE STREET**



Aerial View of 1417 Bruce St

**Old Conway Design Overlay District**

- OCDOD Boundary
- Urban Zone
- Transition Zone
- Suburban Zone



1417 Bruce St in the Old Conway Design Overlay District

**C4 NEW SINGLE FAMILY RESIDENCE - 1833 SIMMS STREET**

**OLD CONWAY DESIGN OVERLAY DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
NEW SINGLE FAMILY RESIDENCE  
1833 SIMMS STREET**

**APPLICANT/OWNER**  
Pinkston Custom Homes  
2450 Donaghey Ave  
Conway, AR 72034

**SITE**.....  
**Address.** 1833 Simms Street

**Lot Area.** ± 0.16 acres.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the south side of Simms Street one lot east of Mitchell Street. Area structures consist of single family residences in craftsman cottage, minimal traditional, vernacular cottage, and ranch style structures.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new 1365 square foot (heated and cooled) single family residence.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 85% to 115% of the average area front setback. The average area setback from the property line is 25'. The proposed front setback is 26 feet. The maximum allowed front setback is 28 feet while the minimum is 21 feet. The proposed front setback of 25 feet is appropriate. The side setbacks are 9 feet and the rear is 66+ feet. These setbacks are appropriate.

**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other residences and fits within the neighborhood spacing pattern.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The pervious area will be well over the required 60%.

**Orientation.** The direction in which the front of a building faces. The new residence will appropriately face Simms Street.

**Alley.** There is an unbuilt 20 foot alley running east/west through the property's block. This unbuilt alley will not have an affect this project.

City of Conway Historic District Commission Agenda Item: 1833 SIMMS NEW SINGLE FAMILY RESIDENCE -- HDC

DESCRIPTION	Residential	Commercial Office	Industrial	Special
Commission Review	MF-1	MF-2	MF-3	MF-4
0.16 ac.	MF-5	MF-6	MF-7	MF-8

**Driveway/Parking/Carport.** The proposed lot is vacant property with no existing driveway. No driveway is shown on the submitted site plan. There is approximately 40 feet of depth between the curb and proposed front porch. Additional information concerning the driveway can be obtained from the applicant at the meeting.

**Sidewalks.** There are no existing sidewalks on the south side of Weems. Sidewalk construction is required or an in-lieu fee of \$12 per linear foot is required (minus driveway width).

**Fences/Walls.** No fencing is proposed

**Tree preservation.** There does not appear to be any significant trees affected by the proposed construction.

**MASSING**.....  
**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The new residence's overall scale is compatible with other area residences.



Aerial view of 1833 Simms St



1833 Simms St in the Old Conway Design Overlay District

**Height.** The average height of area structure’s eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines are appropriate. The first floor height should be minimally 9 feet floor to ceiling. A note on the floor plan states that ceilings are to be 9 feet in height.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence’s width is appropriate.

**Directional expression.** Measurement of the height to width ratio of a structure’s elevation. The height/vertical expression of the residence is appropriate.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence’s footprint is appropriately scaled in relation to other area structures.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The residence a minimal amount of detailing. The residence’s front wall plane is broken by a hip roofed porch. A brick foundation wall is shown around the home’s perimeter. Other area homes have minimal detailing. The proposed residence’s detailing should blend with area structures.

**Façade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence seems to be lacking in windows on the left elevation. One additional window should be placed in the front master bedroom’s west wall.

**DESIGN ELEMENTS**  
**Style.** The style should compliment the existing and area structures. The residence is a modern interpretation of a minimal traditional bungalow/cottage.

**Entries, Porches, and Porticos.** Appropriate entry points are provided. Porches are to be a minimum of 6 feet in depth. The front porch is shown at around 5 feet in depth. The porch depth should be increased to at least 6 feet. Porch column width should be trimmed to at least 8 inches by 8 inches to create a solid appearance.

**Doors and windows.** The doors and windows are shown as simple one over one. These windows are more appropriate than windows with false dividers.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence has detailing provided through wide door and window trim. The drawings don’t indicate the type of siding. HDC Staff has instructed the applicant that vinyl siding is highly discouraged. Fiber cement siding or similar is preferred. The applicant can confirm the type of siding at the meeting.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. No shutters are shown.

**Roof.** An asphalt architectural roof is shown.

**Decks/Plaza Space.** No decks or patio space are shown.

**Skylights.** None are shown.

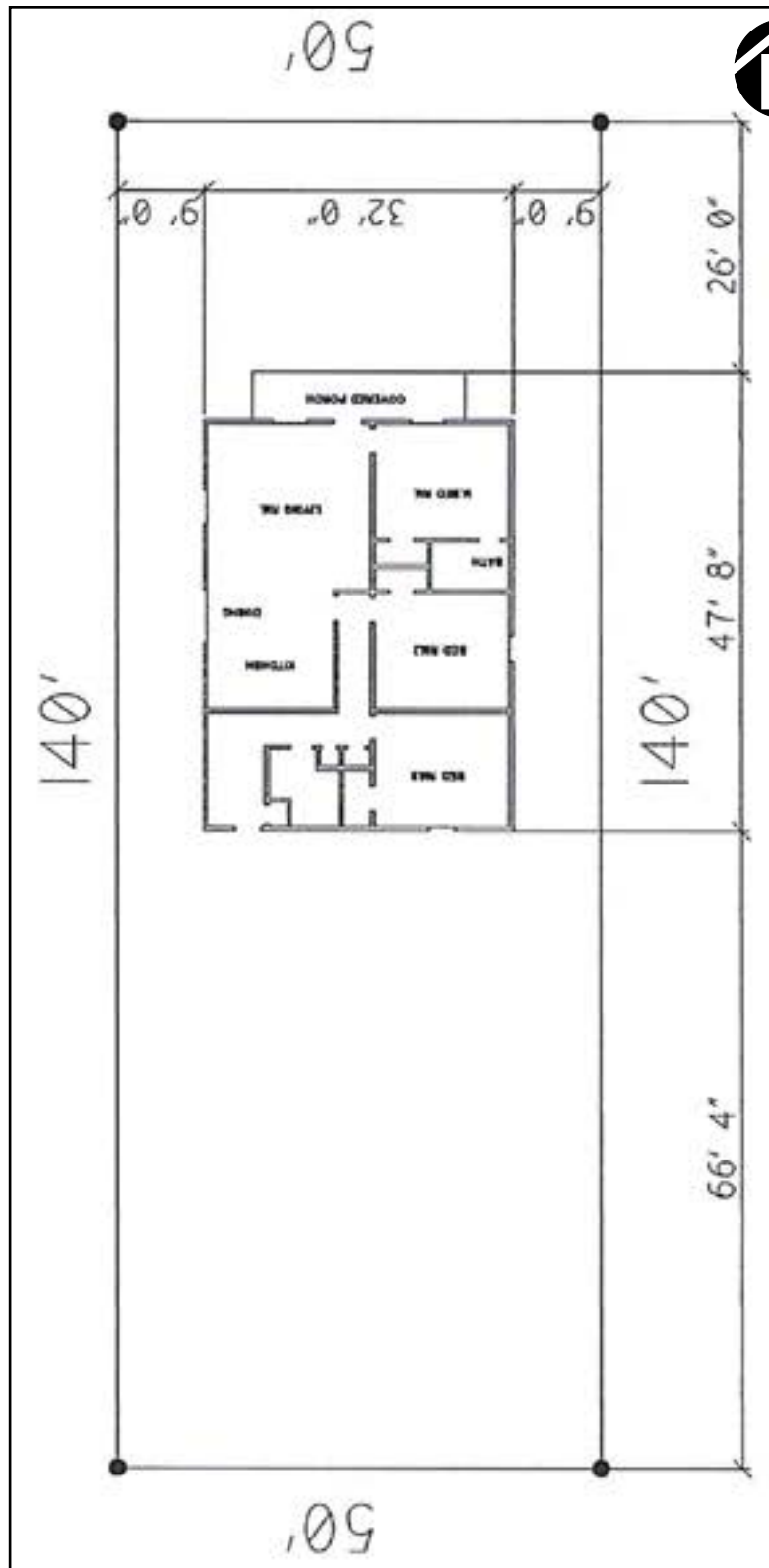
**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

**RECOMMENDATIONS**

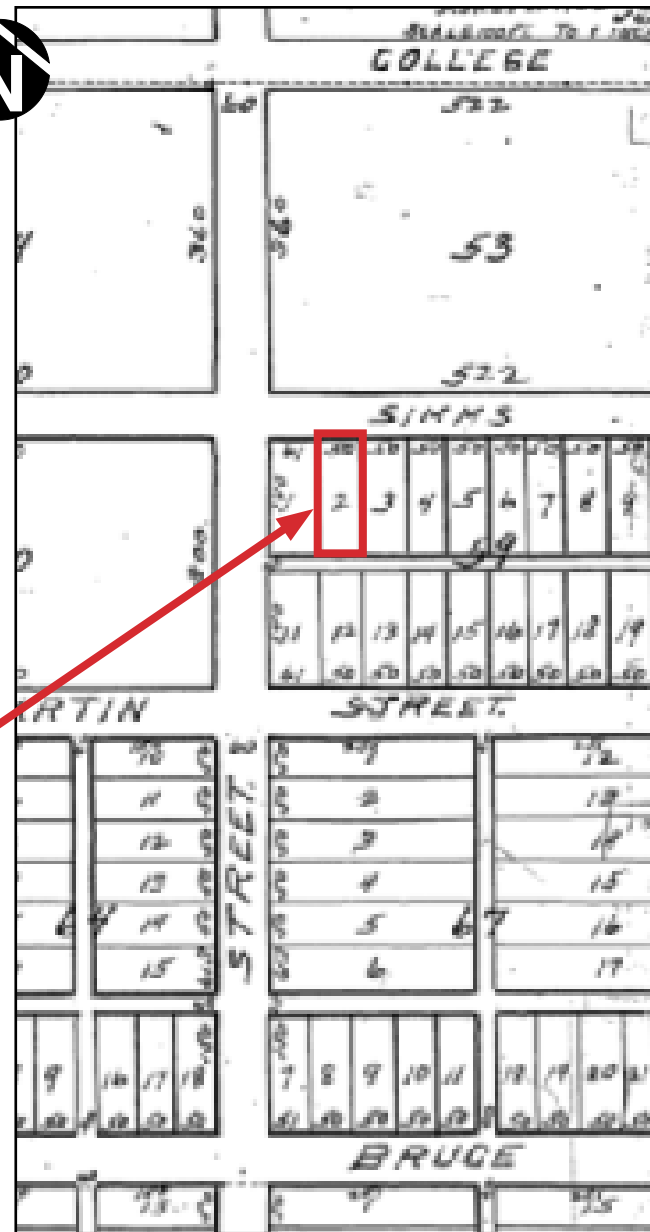
Staff recommends approval of the new residence and driveway with the following conditions:

1. The residence shall be constructed as shown in submitted plans.
2. Driveway shall be concrete with a maximum width of X? feet.
3. The residence’s front setback shall be approximately 25 feet from the property line.
4. Porch shall be 6 foot minimum in depth. Porch columns shall be a trimmed out to approximately 8 inches by 8 inches.
5. Floor to ceiling height shall be 9 foot minimum.
6. Siding material shall be fiber cement board or similar.
7. Wide trim around windows and doors shall be used.
8. One additional window shall be placed in the front master bedroom’s west wall.
9. One over one windows shall be used.
10. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
11. A new sidewalk shall be constructed along Weems Street or an in-lieu fee of (\$X) shall be paid prior to issuance of a Certificate of Occupancy.

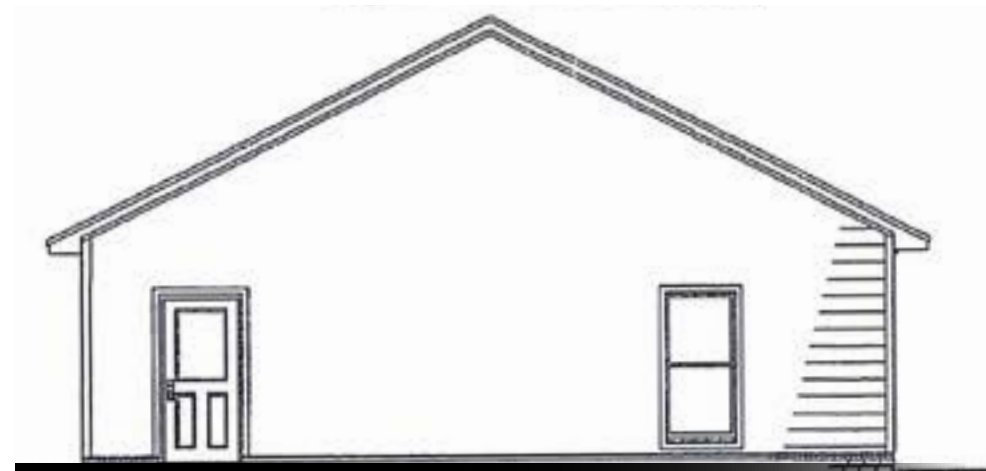
**C4 NEW SINGLE FAMILY RESIDENCE - 1833 SIMMS STREET**



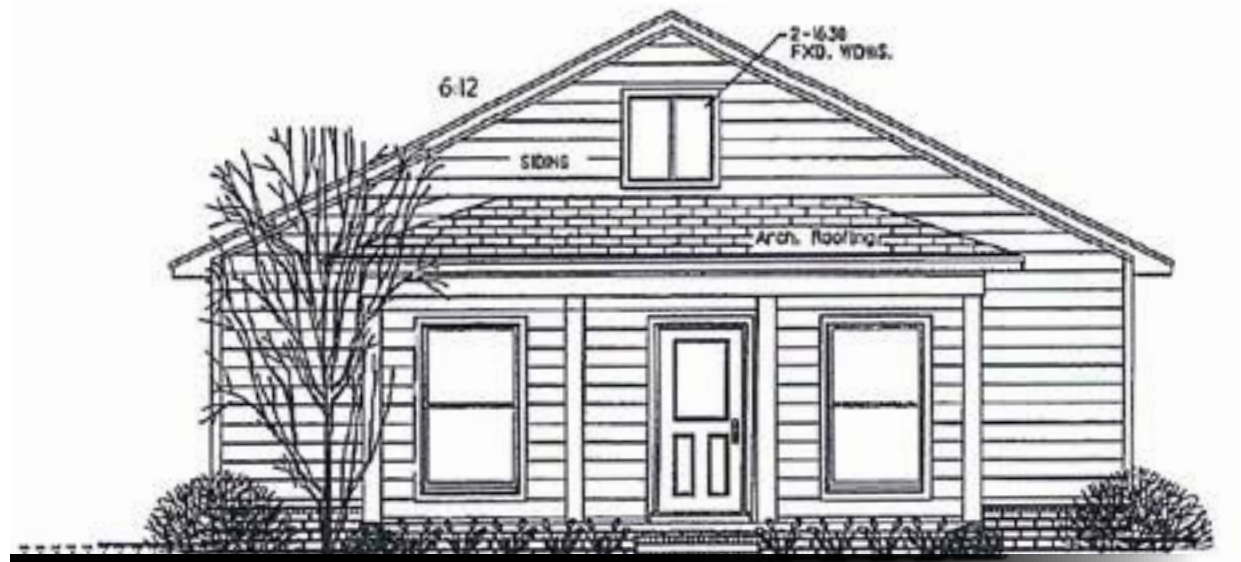
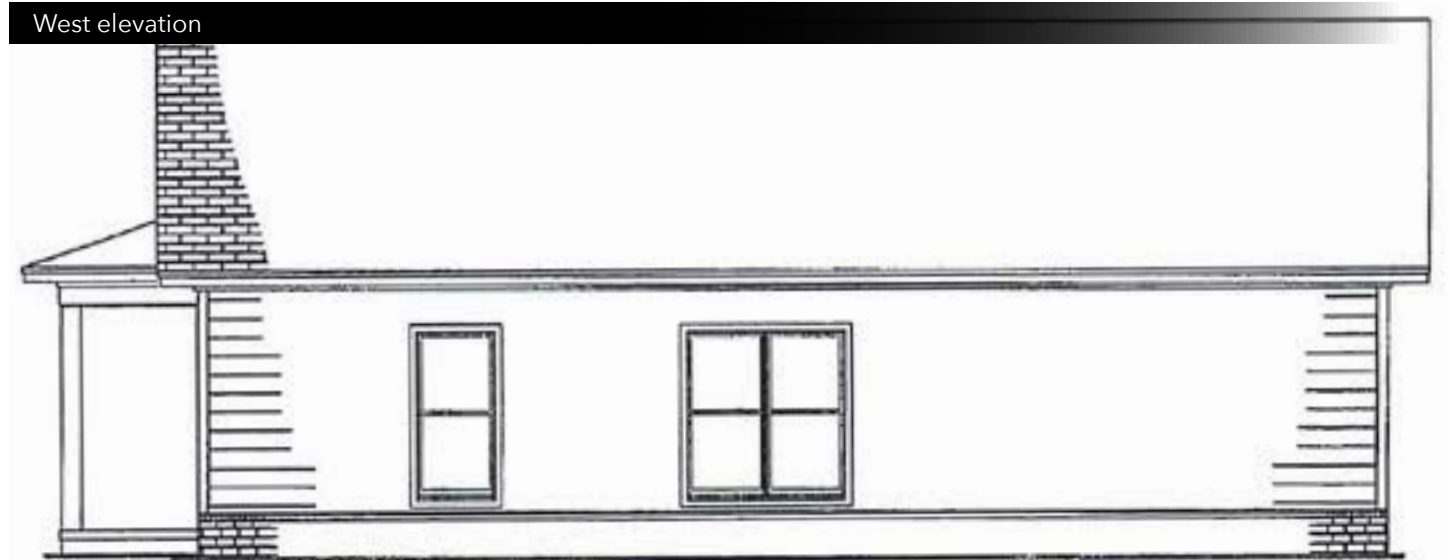
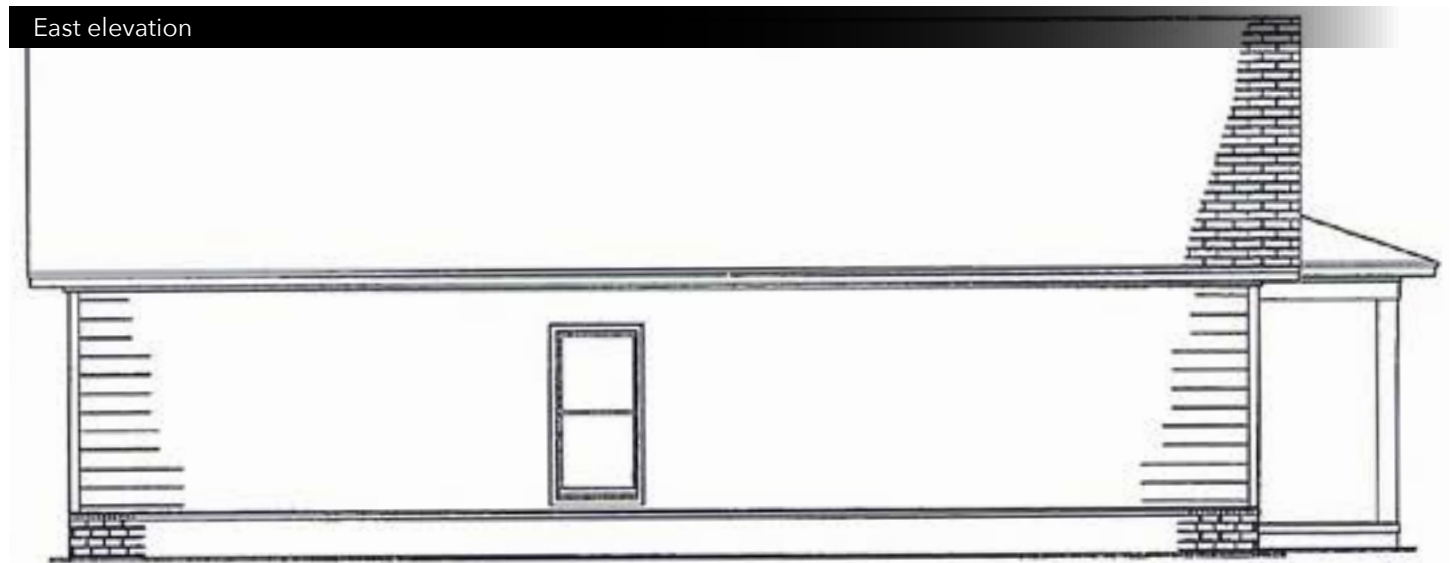
Site Plan



Plat of record



Rear (South) elevation



Front (North) elevation

**C5 NEW SINGLE FAMILY RESIDENCE - 1418 MCKAY AVENUE**

**OLD CONWAY DESIGN OVERLAY DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
NEW SINGLE FAMILY RESIDENCE  
1418 MCKAY STREET**

**APPLICANT/OWNER**

Douglas Isanhart  
2610 TJ Drive  
Conway, AR 72034

**SITE**

Address. 1418 McKay Street

Lot Area. ± 0.18 acre.

**Present Zoning.** R-2A (Large Lot Duplex). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-2A (Large Lot Duplex) in the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the north side of McKay Avenue. Area structures consist of single family residences in ranch, minimal traditional, Queen Anne and colonial revival.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new 2064 square foot single family residence (1265 heat and cooled-799 s.f. garage & porch).

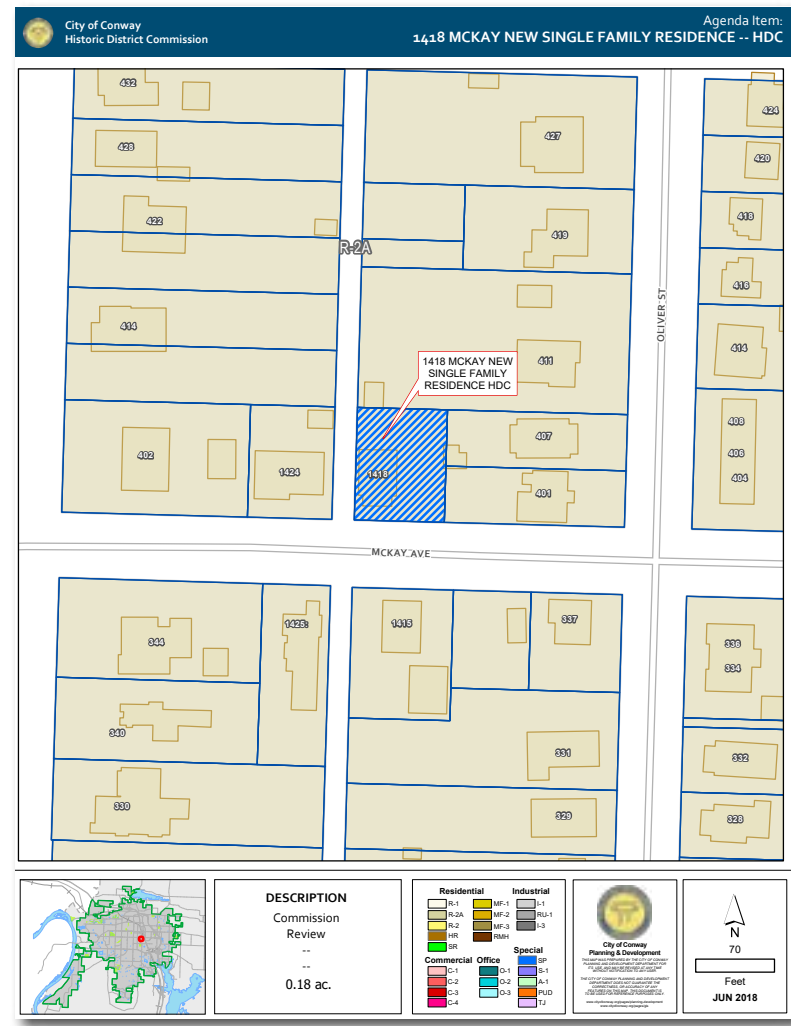
The HDC reviewed and approved another home design for this property submitted in April 2017. The original submission was for a 2893 s.f. residence (1685 s.f. heated and cooled - 1208 s.f. garage & porch). The applicant is now seeking approval of the new design.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 85% to 115% of the average area front setback. The average area setback from the pavement is 30 feet. The proposed front setback is around 15 feet from the property line or 30 feet from the pavement. The front setback is appropriate. The side setbacks are 9'-10" on the west and 7'-6" on the east. The rear is 27'-4". All setbacks are appropriate for the lot and area.

**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other residences and fits within the neighborhood spacing pattern.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The pervious area will be well over the required 40% pervious.

**Orientation.** The direction in which the front of a building faces. The new residence will face McKay Avenue and is appropriate.



**Alley.** There is a 20 foot unbuilt alley abutting the west lot line. A driveway turn-around is shown abutting, but not encroaching on the unbuilt alley.

**Driveway/Parking/Carport.** A semi-circular concrete driveway is proposed. Old Conway overlay guidelines state:

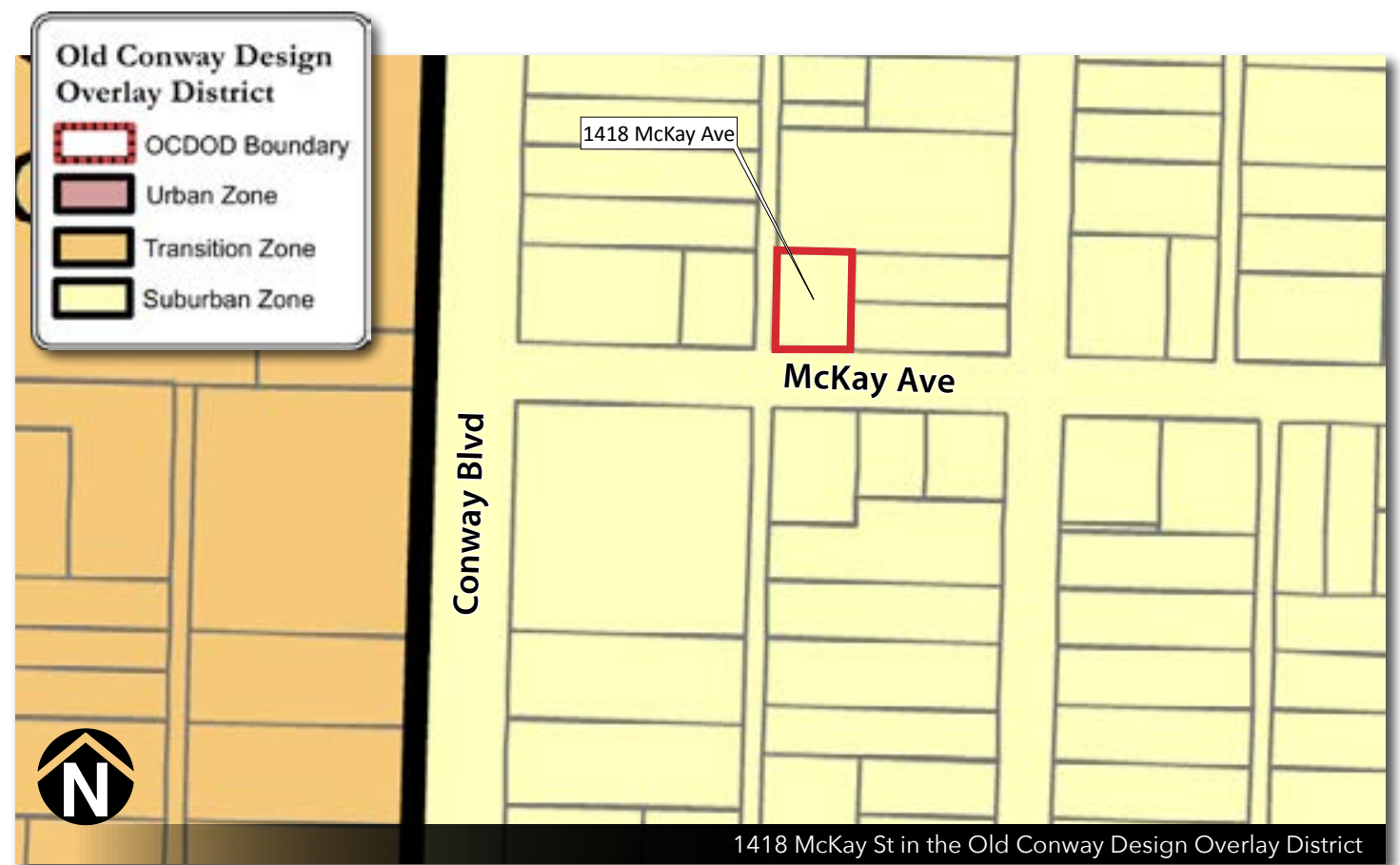
*Large paved areas for parking should not be placed in the front yard of any sized properties except extremely large lots with deep setbacks. Historic driveways such as concrete strips with a grass median are encouraged. Semicircular driveways with two entry points on the front of the lot are not appropriate for most small to medium-sized single-family residences in the Suburban Zone.*

The proposed concrete area is large for the lot size. There are no other examples of a semi-circular driveway in the area. A typical 20 foot wide driveway might be more appropriate.

There is a small turn around area for garage backing abutting the unbuilt alley.



Aerial View of 1418 McKay St



1418 McKay St in the Old Conway Design Overlay District



**C5 NEW SINGLE FAMILY RESIDENCE - 1418 MCKAY AVENUE**

**Sidewalks.** There are no sidewalks on the property or either side of the McKay. McKay is an open ditch street with no curb. Sidewalk construction or an in-lieu fee is required. It is typically more desirable to collect the in-lieu fee in the case of open ditch streets as it will likely be improved in the future. There is 58 feet of street frontage at \$12 per linear foot, requiring a sidewalk in-lieu fee of \$696.

**Fences.** No fencing is proposed.

**Tree preservation.** No significant trees will be removed due to construction.

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The new residence's overall scale is compatible with other area residences.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines are appropriate. The first floor height appears to be minimally 9 feet floor to ceiling. The overall height of the residence will blend with area residences.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence's overall width is slightly is similar to the home immediately west. The recessed garage will help create lesser visual width across the property.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The residence has a peak roof slightly taller than the home that previously occupied the lot. The height/vertical expression of the residence is more vertical in nature than abutting homes but blends with newly developed homes and the historic home at the corner of Conway Blvd. and McKay.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's footprint is appropriately scaled in relation to other area structures.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The residence has a moderate level of detailing accomplished with wide window and door trim, shutters, varying roof materials, and breaks in the wall planes.

**Facade, wall area, rhythm.** Facades shall be compatible with surrounding historic structures in proportion of wall to opening area. The residence appears to have an appropriate number of windows and doors.

**DESIGN ELEMENTS**

**Style.** The style should compliment the existing and area structures. The residence is a modern interpretation of vernacular southern architecture. This style should blend with area historic structures and newly constructed new-historically styled structures across McKay.

**Entries, Porches, and Porticos.** Appropriate entry points are provided. Porches are to be a minimum of 6 feet in depth. The front porch shown is shown at around 8 feet in depth. Porch columns appear to be around 8" x 8" final trim dimension.

**Doors and windows.** Windows are shown with muntin dividers creating two over two windows. Simple one over one windows would be more appropriate than windows with false dividers.

**Awnings/Canopies.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence has detailing provided through wide door and window trim, a garage roof overhang, and varying roof materials. These features add traditional detailing. The applicant has not provided the type of siding material. Fiber cement siding is preferred.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. The proposed shutters appear to be appropriately sized.

**Roof.** An asphalt roof is shown on the main portion of the house. Accent metal roofing is shown over the porch and garage.

**Decks/Plaza Space.** No decks or patio space are shown.

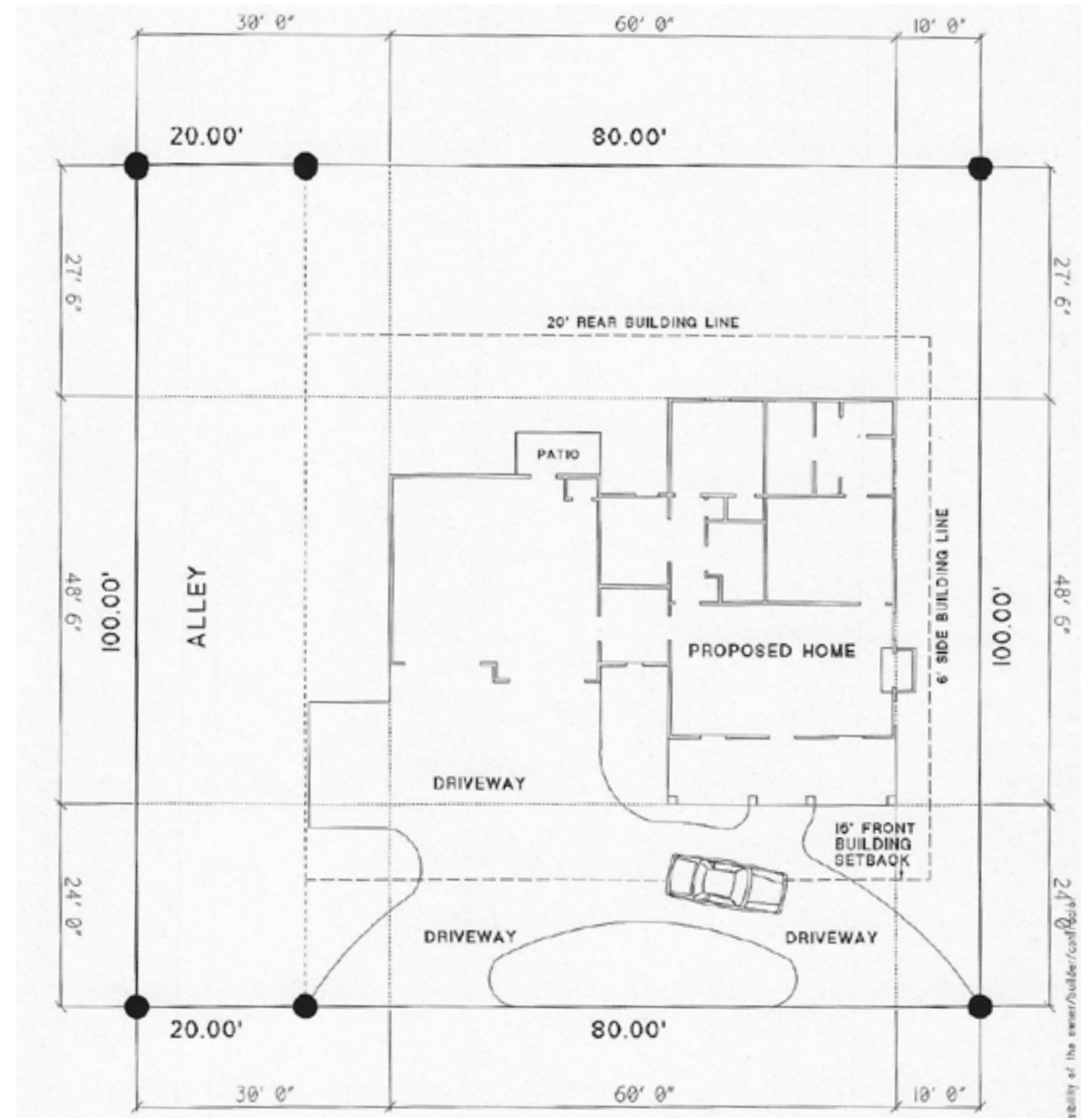
**Skylights.** None are shown.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

**RECOMMENDATIONS**

Staff recommends approval of the new residence and driveway with the following conditions:

1. The residence shall be constructed as shown in submitted plans.
2. The residence's front setback shall be approximately 30 feet from the McKay pavement or 15 feet from the property line.
3. Driveway shall be limited to typical 20 foot wide concrete driveway accessing the garage?
4. Porch columns shall be a trimmed out to 8 inch by 8 inch minimum.
5. Floor to ceiling height shall be 9 foot minimum.
6. Siding material shall be fiber cement siding such as Hardie board or similar.
7. Wide trim around windows and doors and mixture of roofing shall be used as shown.



Site Plan

8. Shutters shall be at least 1/2 width of windows?
9. One over one windows may be used in lieu of false window dividers.
10. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
11. A 4 foot sidewalk shall be constructed along McKay Avenue or an in-lieu fee of \$696 may be paid.



**C6 NEW SINGLE FAMILY RESIDENCE - 2113 WEEMS STREET**

**OLD CONWAY DESIGN OVERLAY DISTRICT  
CERTIFICATE OF APPROPRIATENESS REVIEW  
NEW SINGLE FAMILY RESIDENCE  
1833 SIMMS STREET**

**APPLICANT/OWNER**

Jamie Moon  
24 Smoking Oaks  
Conway AR 72034

**SITE**

Address. 2113 Weems Street

Lot Area. ± 0.11 acres.

**Present Zoning.** R-1 (Single Family Residential). The property is within the Old Conway Design Overlay Suburban District.

**Abutting Zoning.** R-1 (Single Family Residential). Within the Old Conway Design Overlay Suburban District.

**Surrounding Area Structures.** The property is located in the Old Conway Design Overlay Suburban District on the south side of Weems Street one lot west of Donaghey Avenue. Area structures consist of single family residences in ozark mixed masonry, minimal traditional, and ranch styles.

**General Description of Property and Proposed Development.** The applicant is proposing to construct a new 1562 square foot (under roof) 1266 s.f. (heated/cooled) single family residence. The lot was recently created through a variance approved by the Planning Commission (acting as the Board of Zoning Adjustment). The deep lot at 1117 Donaghey was split in two to allow a new residence. Two conditions of this variance are:

1. The existing concrete parking pad shall be demolished and a new, more appropriately located, parking pad shall be created to serve the existing residence. The Historic District Commission shall determine the most appropriate location.
2. A sidewalk shall be constructed along the Weems Street frontage of the west lot as part of the new construction in the Old Conway Design Overlay District or an in-lieu fee may be paid if placement of the sidewalk is not appropriate due to trees, existing sidewalks, utilities, etc. The sidewalk construction or in-lieu fee must take place prior to issuance of a certificate of occupancy for the new residence.

**Setbacks.** Proposed setbacks should respect the predominant setbacks of area structures, especially the front setback. Front setbacks are allowed within a range of 85% to 115% of the average area front setback. The average area setback from the property line is 18'. The proposed front setback is 11'-6". The maximum allowed front setback is 21 feet while the minimum is 15 feet. The proposed front setback of around 11 feet under the minimum. An average of the 2 abutting residence's setbacks is 15 feet. The west side setback is around 18 feet and the east side setback is around 10 feet. The rear is shown at around



15 feet. The side setbacks are appropriate. The front setback should be increased to 13 feet to get closer to the minimum average. This would decrease the rear setback to 13 feet.

**Spacing.** Established spacing distance pattern between area structures. Spacing is similar to other residences and fits within the neighborhood spacing pattern.

**Lot Coverage.** The Old Conway District allows up to 60% impervious lot coverage. The pervious area will be at least 48%.

**Orientation.** The direction in which the front of a building faces. The new residence will appropriately face Weems Street.

**Alley.** There are no alleys in the property's block.

**Driveway/Parking/Carport.** There is an existing concrete parking pad used by 1117 Donaghey. This pad is accessed from Weems. The approved variance to allow the lot split requires that this parking pad be demolished and a new more appropriately located pad be built to serve 1117 Weems. The proposed residence will be served by a parking pad on the west side of the new lot. Separating the parking pads prevents a large expanse of concrete.



Aerial View of 2113 Weems St



2113 Weems St in the Old Conway Design Overlay District

**Sidewalks.** There are no existing sidewalks along Weems Street. Sidewalk construction will be required on the newly created lot or an in-lieu fee of \$504 must be paid (42 feet @ \$12/linear foot).

**Fences.** No fencing is proposed at this time.

**Tree preservation.** There is a large tree located close to the new proposed parking area on Weems Street that will need to be removed. This tree appears to be half dead and is possibly a paulownia tree (invasive species).

**MASSING**

**Scale.** The size of new construction in relation to neighboring structures and the proportion of structures to the human scale. The new residence's overall scale is compatible with other area residences.

**Height.** The average height of area structure's eaves and cornices. Also, the first floor elevation / height relationship. The overall height and eave lines are appropriate. The first floor's top plate is shown at 10 feet. This will create a finished ceiling height over 9 feet floor to ceiling.

**Width.** New construction proportions shall respect the average widths of the majority of neighboring buildings in the area. The residence's width is appropriate.

**Directional expression.** Measurement of the height to width ratio of a structure's elevation. The height/vertical expression of the residence is appropriate.

**Footprint.** The area of land covered by a structure should be in relation to the majority of neighboring structures. The residence's footprint is appropriately scaled in relation to other area structures.

**Complexity of form.** The level of detailing and breaks in wall planes of a structure. The residence has minimal detailing. Wall planes are broken with a front porch and brick wainscoting on all four sides of the structure. The proposed residence should blend with other area homes as they have minimal detailing.

**Façade, wall area, rhythm.** Not applicable.

**DESIGN ELEMENTS**

**Style.** The style should compliment the existing and area structures. The residence could be considered a modern bungalow/cottage. The basic form resembles a traditional cottage/bungalow; however, there are no added "craftsman" or other features giving the residence a clean modern aesthetic.

**Entries, Porches, and Porticos.** Appropriate entry points are provided. The front porches are to be a minimum of 6 feet in depth. The front porch is around 8 feet deep. Porch column widths have a solid appearance.

**Doors and windows.** Doors and windows have a traditional vertical form. Windows on all elevation except the south have mullion dividers creating two over two windows. Simple one over one windows could be more appropriate than windows with false dividers.

**Awnings.** When new construction uses awnings, traditional awning designs, materials, and placement should be used. No awnings are proposed.

**Lighting.** Any new lighting should be inward, downward, and shrouded so as to stay within the bounds of the property. No lighting is shown on the plans.

**MATERIALS & DETAILING**

**Architectural Details, Siding, and Bricks.** Eaves, brackets, dentils, cornices, molding, columns, trim, etc. The residence has minimal detailing. Other area structures are also minimally detailed. Fiber cement siding is shown on all facades above a brick wainscot.

**Shutters.** If used, shutters should be in proportion to their window opening. If they were closed, they should cover the window opening. No shutters are shown.

**Roof.** Although illustrated as metal standing seam roofing, the roof is noted as asphalt shingle.

**Decks/Plaza Space.** No decks or patio space are shown.

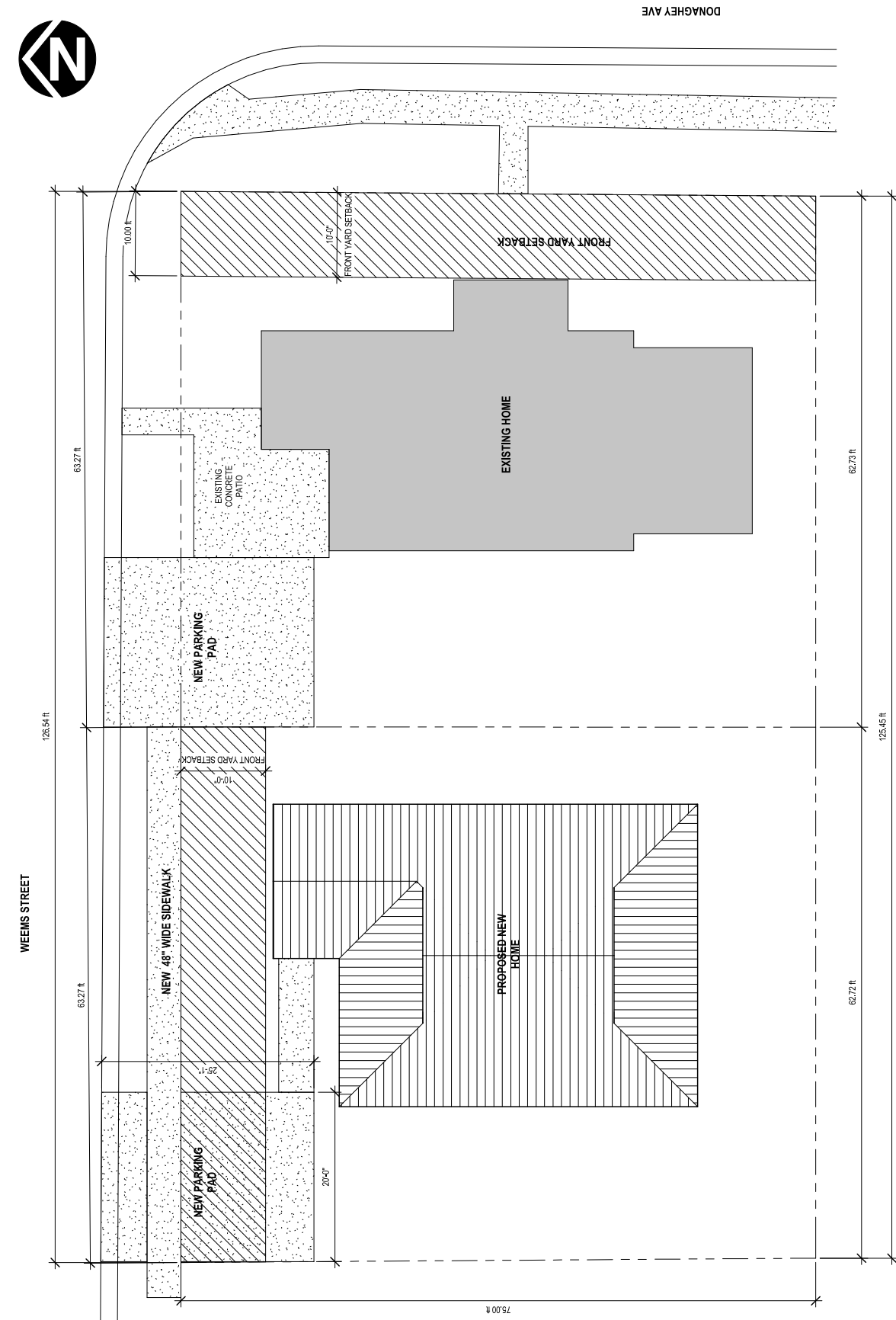
**Skylights.** None are shown.

**Mechanical Screening.** HVAC units should be visually located away from streets or screened by landscaping. Exterior HVAC ductwork should not be visible from the street.

**RECOMMENDATIONS**

Staff recommends approval of the new residence and driveway with the following conditions:

1. The residence shall be constructed as shown in submitted plans.
2. The residence's front setback shall be approximately 13 feet from the property line.
3. Driveway parking pads and interior sidewalks shall be concrete and located as shown on site plan.
4. Porch columns shall be a trimmed out to approximately 8 inches by 8 inches minimum.
5. Floor to ceiling height shall be 9 foot minimum.
6. Siding material shall be fiber cement board with a brick wainscot.
7. One over one windows are preferred rather than windows with false dividers
8. HVAC and utility equipment shall be appropriately located at the rear or side of the structure and/or appropriately screened.
9. A new 4 foot wide sidewalk shall be constructed along Weems Street on the newly created lot or an in-lieu fee of \$504 shall be paid. The sidewalk construction or in-lieu fee must take place prior to issuance of a certificate of occupancy for the new residence.



Site Plan



East Elevation



West Elevation



Front Perspective



South Elevation



North Elevation

**Reminder**

The July HDC meeting will be held on Wednesday, July 25. The meeting was originally scheduled for Monday, July 23. It was moved to allow more recovery time for HDC members and Staff returning from the NAPC Forum in Des Moines, IA.

**Old Conway Overlay and Robinson District Guideline Amendments****HDC Member Term Amendment**

On June 12, the City Council approved an ordinance amending the Old Conway Design Overlay District and Robinson Historic District guidelines concerning synthetic siding. The Council approved the HDC's proposed amendments unanimously.

At the same meeting, the Council also unanimously approved the HDC's proposed term limit change. HDC members may now serve (2) initial 3 year terms. If reappointed, an HDC member may then serve an alternating 3 year term following a 3 year lapse from the Commission.