(LEGEND (EXISTING SYMBOLS)

	<u>SYMBOLS</u>	LINEWORK	
\Phi	BENCHMARK		
0	FOUND IRON PIPE/REBAR	EASEMENT	
•	PRIMARY CONTROL/SET MONUMENT		=====
	FOUND MONUMENT/ROW	CURB	
AC	AIR CONDITIONER	INTERMEDIATE CONTOUR	·
₩ ARV	AIR RELEASE VALVE		<u> </u>
\boxtimes	ELECTRIC BOX/PEDESTAL	INDEX CONTOUR	
EB	ELECTRIC JUNCTION BOX	SANITARY SEWER LINE (SPECIFY SIZE & TYPE)	- SS ——
E	ELECTRIC METER	———— G ————	- G ———
ф	ELECTRIC TRANSFORMER	GAS LINE	
₹, FDC	FIRE DEPARTMENT CONNECTION	WATER LINE (SPECIFY SIZE & TYPE)	- W
-Ó-FH	FIRE HYDRANT	——————————————————————————————————————	
△GM	GAS METER	UNDERGROUND TELEPHONE	
 GV	GAS VALVE	——————————————————————————————————————	/
O	GUARD POST	UNDERGROUND ELECTRIC	1
	LIGHT POLE	OVERHEAD ELECTRIC	V
⊗ PP	POWER POLE	UGTV	- UGTV ——
S	SANITARY MANHOLE	UNDERGROUND TELEVISION	0017
o C0	SANITARY SEWER CLEANOUT	OHTV	- OHTV
	SIGN	OVERHEAD TELEVISION	
\bigoplus	SPRINKLER HEAD	CHAIN LINK FENCE	
	TELEPHONE PEDESTAL		_//
	TV PEDESTAL	WOOD FENCE	
Θ	WATER FAUCET	BARBED WRE FENCE	- X
	WATER METER		– FO ——
₩ V	WATER VALVE	FIBER OPTIC	. 🔾
©	DOWN GUY STORM SEWER MANHOLE	RIGHT OF WAY	
	STORM SEWER PIPE	ROAD CENTERLINE	
	,		

WHATABURGER

CONWAY, ARKANSAS







GENERAL NOTES

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS.
- 2. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE
- 3. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
- 4. THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.
- CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
- 5. CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR
- 7. CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.

Planning & Development 11/02/2023 11:38:22 AM

contingent on approval of drive aisle exception request

- 8. ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATÉS, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES. CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER.
- 9. ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES: ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.



CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

(CONTACTS

CITY OF CONWAY PLANNING DEPARTMENT PHONE # 501.450.6105

CITY OF CONWAY PERMITS & INSPECTIONS PHONE # 501.450.6107

CITY OF CONWAY POLICE DEPARTMENT PHONE # 501.450.6120

CITY OF CONWAY STREET DEPARTMENT PHONE # 501.450.6165

CITY OF CONWAY FIRE DEPARTMENT PHONE # 501.450.6147

CONWAY CORPORATION 1307 PRAIRIE STREET PHONE # 501.450.6050

ARKANSAS DEPARTMENT OF <u>TRANSPORTATION - DISTRICT 8</u> PHONE # 479.968.2286

GAS UTILITY
SUMMIT UTILITIES 817 N. CREEK DRIVE CONWAY, AR 501.472.4363

PROJECT INFORMATION

BUILDING SETBACK: FRONT 15' SIDE 6' REAR 10'

SITE AREA: 1.11 AC. (48,352 SQ.FT.) **BUILDING SIZE:** ± 3,318 SQ. FT. **BUILDING USAGE:** RESTAURANT FINISHED FLOOR ELEVATION: 313.15 ZONING: C-3PROPERTY USAGE: GENERAL COMMERCIAL 21'-0' BUILDING HEIGHT: 813 E. OAK STREET ADDRESS:

CONWAY, ARKANSAS 72032 WBCONAR, LLC SITE OWNER/DEVELOPER: PO BOX 648

HOT SPRINGS, ARKANSAS 71902

CRAFTON TULL

928 AIRPORT ROAD HOT SPRINGS, ARKANSAS 71913 PHONE: 501.767.2366 FAX: 501.767.6859

REQUIRED PARKING: 9/1000 S.F. 30 STALLS

SITE ENGINEER:

PROVIDED PARKING: STANDARD STALLS: 35 PARKING STALLS ADA STALLS: 4 PARKING STALLS TOTAL STALLS: 39 PARKING STALLS

Arkansas One Call



(🚱 LEGEND (CONSTRUCT)

SYMBOLS

SET IRON PIN LIGHT POLE POWER POLE TELEPHONE PEDESTAL TV PEDESTAL

MANHOLE SANITARY SEWER CLEANOUT GAS METER GAS VALVE

STORM SEWER PIPE

STRUCTURE NUMBER WATER VALVE FIRE HYDRANT ASSEMBLY AIR RELEASE VALVE FIRE DEPARTMENT CONNECTION WATER METER

BACK FLOW PREVENTER

REDUCER RECTANGULAR DROP INLET, GRATED INLET OR JUNCTION BOX (SPECIFY ON PLAN

> CIRCULAR DROP INLET, BOX (SPECIFY ON PLAN

LINEWORK EASEMENT CURB INTERMEDIATE CONTOUR INDEX CONTOUR SANITARY SEWER LINE WATER LINE UNDERGROUND TELEPHONE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC FIBER OPTIC UNDERGROUND TELEVISION CHAIN LINK FENCE WOOD FENCE BARBED WIRE FENCE

GRATED INLET OR JUNCTION

Sheet List Table

BUILDING SET BACK

RIGHT OF WAY

ROAD CENTERLINE

SHEET SHEET TITLE NUMBER COVER SHEET PROJECT CONTROL C-002 C - 101DEMOLITION PLAN C-102 SITE PLAN C-103 ACCESSIBILITY PLAN C-104 GRADING PLAN UTILITY PLAN (COLOR) C-105 C-106 EROSION CONTROL PHASE 1 C-107 EROSION CONTROL PHASE 2 C-108 EROSION CONTROL - CITY DETAILS



LOT 2A1, RAMADA INN LOT 2A REPLAT, A REPLAT OF RAMADA INN REPLAT TO THE CITY OF CONWAY, FAULKNER COUNTY, ARKANSAS.

EROSION CONTROL NOTES

CONSTRUCTION DETAILS

LESS AND EXCEPT: A PART OF LOT-2A, RAMADA INN REPLAT, NOW KNOWN AS LOT 2A1, RAMADA INN REPLAT, TO THE

CITY OF CONWAY, FAULKNER COUNTY, ARKANSAS, AS SHOWN ON PLAT OF RECORD IN PLAT BOOK K, PAGE 181 AND REPLATTED IN PLAT BOOK L, PAGE 261, RECORDS OF FAULKNER COUNTY; ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT A FOUND 1/2" REBAR AT THE NORTHEAST CORNER OF SAID LOT 2A, SAID POINT BEING THE POINT OF BEGINNING; THENCE S01°51'5L"W, 40.00 FEET TO A SET PK.NAIL; THENCE S89°52'26"W, 28.00 FEET TO A SET PK NAIL; THENCE NO1°31'58"E, 40.00 FEET TO A SET 1/2" REBAR (APLS#1243); THENCE N89°52'26"E, 28.00 FEET TO THE POINT OF BEGINNING

FLOOD NOTE:

C-109

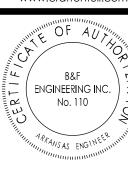
C - 501

THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05045C0283 H, EFFECTIVE DATE 12/19/2006.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

C





WHATABURGER

813 E. OAK STREET CONWAY, AR

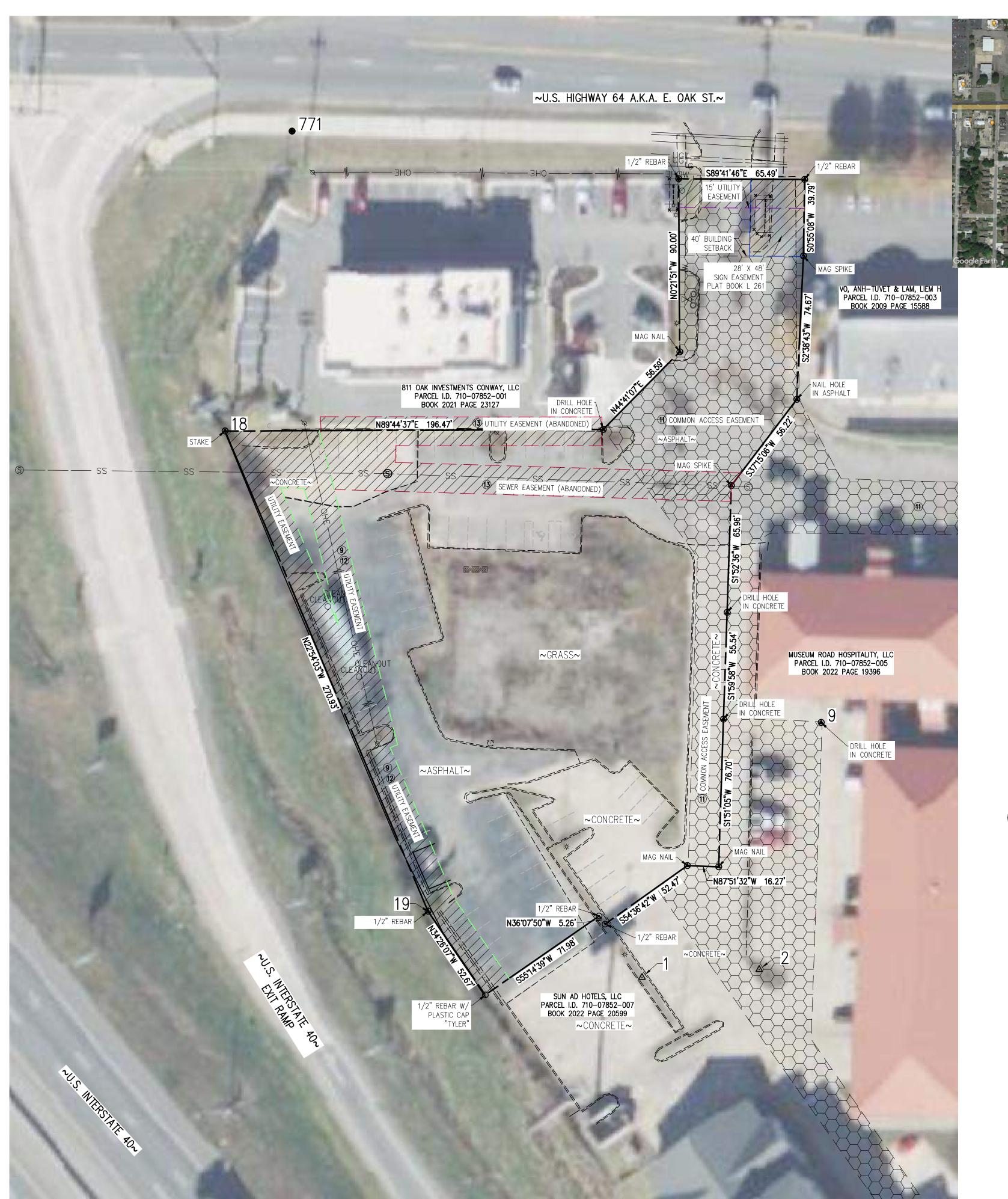
No.	Description	Date

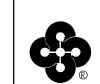
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PROJECT NO: 23406800 ARKANSAS ISSUE DATE: 10-26-2023 CONTACT: J. ROGERS * * * REGISTERED **ISSUED FOR** CONSTRUCTION

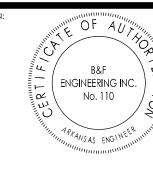
10/26/2023

COVER SHEET









WHATABURGER

813 E. OAK STREET CONWAY, AR

BASIS OF BEARING: ARKANSAS STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NAD 83 HORIZONTAL DATUM AND NAVD 88 VERTICAL DATUM.

VICINITY MAP NOT TO SCALE



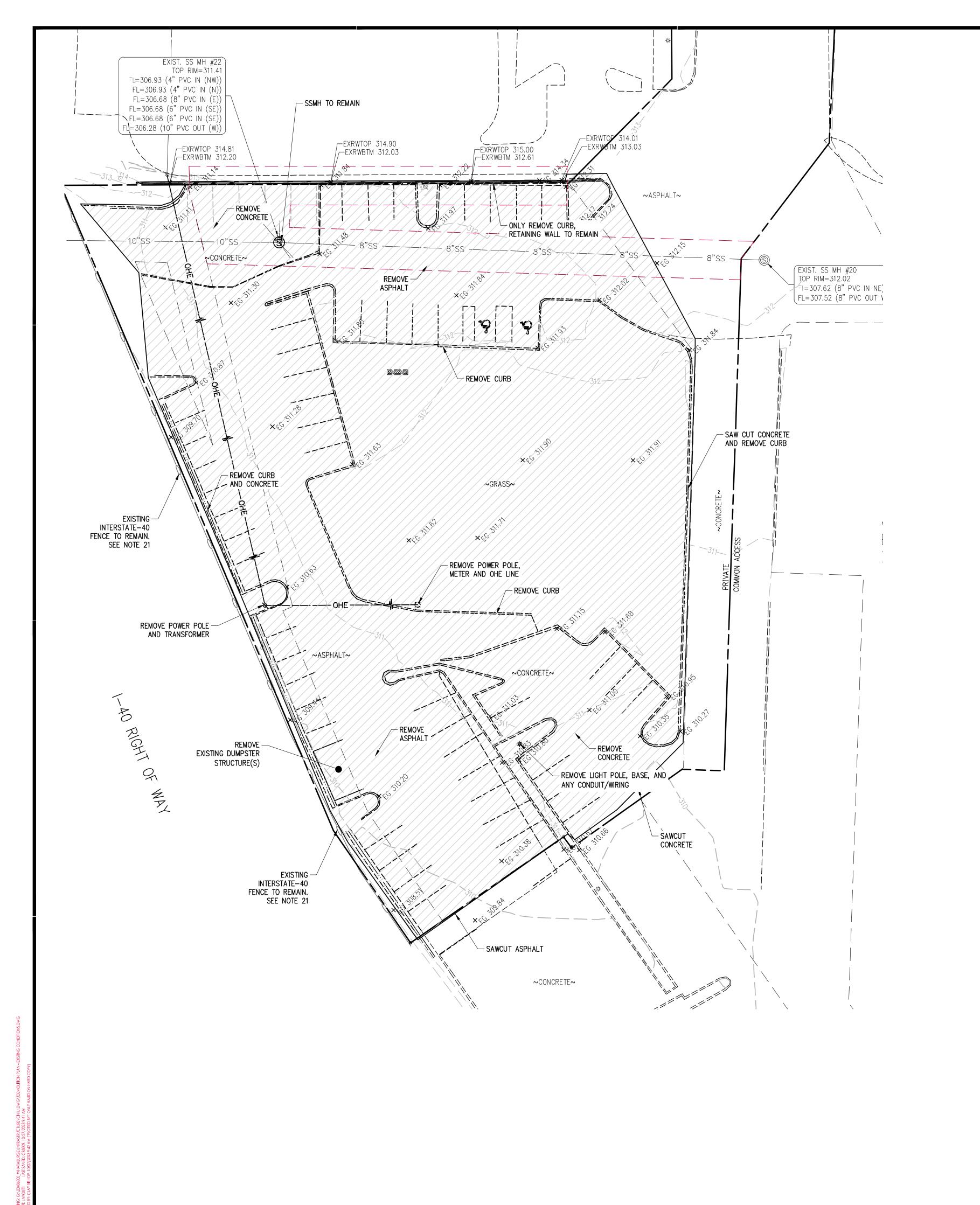
ONLY THE CONTROL POINTS, COORDINATE VALUES, AND ELEVATIONS SHOWN ON THIS SHEET SHALL BE USED ON THIS PROJECT. CRAFTON, TULL & ASSOCIATES SHALL NOT BE RESPONSIBLE FOR ANY CONSEQUENCES OF USING CONTROL POINTS, COORDINATE VALUES OR ELEVATIONS ESTABLISHED OR DERIVED FROM OTHER SOURCES. CRAFTON, TULL & ASSOCIATES, AT ITS SOLE DISCRETION, MAY ALLOW THE USE OF ALTERNATIVE OR ADDITIONAL CONTROL, BY A WRITTEN AMENDMENT TO THIS SHEET SEALED BY THE RESPONSIBLE SURVEYOR. USERS OF THESE CONTROL POINTS SHALL EXERCISE DUE CARE AND GOOD SURVEYING PRACTICE AND IMMEDIATELY NOTIFY THE CRAFTON, TULL & ASSOCIATES PROJECT ENGINEER OF ANY INCONSISTENCIES IN THE OBSERVED COORDINATE VALUES, ELEVATIONS AND DESCRIPTIONS FOR CONTROL POINTS SHOWN ON THIS SHEET.

	CONTROL POINT TABLE							
POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION				
1	275743.54	1186696.96	310.26					
2	275747.63	1186757.89	310.85					
9	275876.00	1186790.08	311.21					
18	276027.48	1186480.31	311.11					
19	275777.91	1186585.74	308.44					
771	276183.37	1186515.08	313.82	CAGIS				

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ISSUED FOR CONSTRUCTION

PROJECT CONTROL





- CONTRACTOR SHALL ABIDE BY ALL FEDERAL, STATE, AND LOCAL CODES FOR THE DEMOLITION AND DISPOSAL OF ALL MATERIALS.
 CRAFTON, TULL AND ASSOCIATES, INC. SHALL NOT BE LIABLE FOR ANY DEMOLITION PROCEDURES, SCHEDULING, AND DISPOSAL OF ANY MATERIALS.
- 3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE SURE THAT ADJACENT PROPERTY IS NOT DAMAGED AND IS ACCESSIBLE AT ALL TIMES, AND THAT CONSTRUCTION DOES NOT CREATE ANY HARDSHIP TO LAND OWNERS ADJACENT TO THE CONSTRUCTION SITE.
- 4. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSING IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES, OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- 5. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE DISCONNECTION, REMOVAL AND RELOCATION OF ALL UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING EXISTING IRRIGATION SYSTEM IN THE AREAS OF SITE IMPROVEMENTS. THE CONTRACTOR SHALL CAP THE EXISTING IRRIGATION SYSTEM TO REMAIN SUCH THAT THE REMAINING SYSTEM SHALL CONTINUE TO FUNCTION PROPERLY.
- 7. THE CONTRACTOR IS RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO THE EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE BUILDINGS.
- 8. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- 9. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
- 10. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE

- COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.
- 11. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC.
- 12. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO
- 13. CONTRACTOR MAY LIMIT SAW—CUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- 14. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- 15. THE CONTRACTOR SHALL COORDINATE WATERMAIN WORK WITH THE FIRE DEPARTMENT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN WATERMAIN IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATERMAIN SHUT—OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATERMAIN SHUT—OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- 16. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE. REPAIRS SHALL RESTORE DAMAGED ITEMS TO EQUAL OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR DOCUMENTING ALL EXISTING DAMAGE AND NOTIFYING CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- 17. ALL TRENCHES AND/OR EXCAVATED AREAS SHALL BE FILLED/TESTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.18. IF SEPTIC TANKS ARE FOUND PRESENT WITHIN THE LIMITS OF
- DISTURBANCE THEY SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL LAWS.
- 19. IF THE CONTRACTOR FINDS ANY UNDERGROUND TANKS ON SITE THEY SHALL CONTACT THE ENGINEER IMMEDIATELY.
- 20. ALL WELLS SHALL BE CAPPED AND CLOSED IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL LAW.
- 21. CONTRACTOR SHALL PROTECT EXISTING INTERSTATE—40 (I—40) FENCE DURING CLEARING / CONSTRUCTION ACTIVITIES. CONTACT ARDOT DISTRICT 8 FOR ANY REQUIRED PERMITS NECESSARY WHILE WORKING IN THE I—40 RIGHT OF WAY. ANY DAMAGES TO THE FENCE AS A RESULT
- OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

LINEWORK

CURE (TO BE REMOVED)

(DEMOLITION LEGEND

ASPHALT/CONCRETE (TO BE REMOVED)

LIMITS OF DEMOLITION

Arkansas One Call

Know what's **below**.

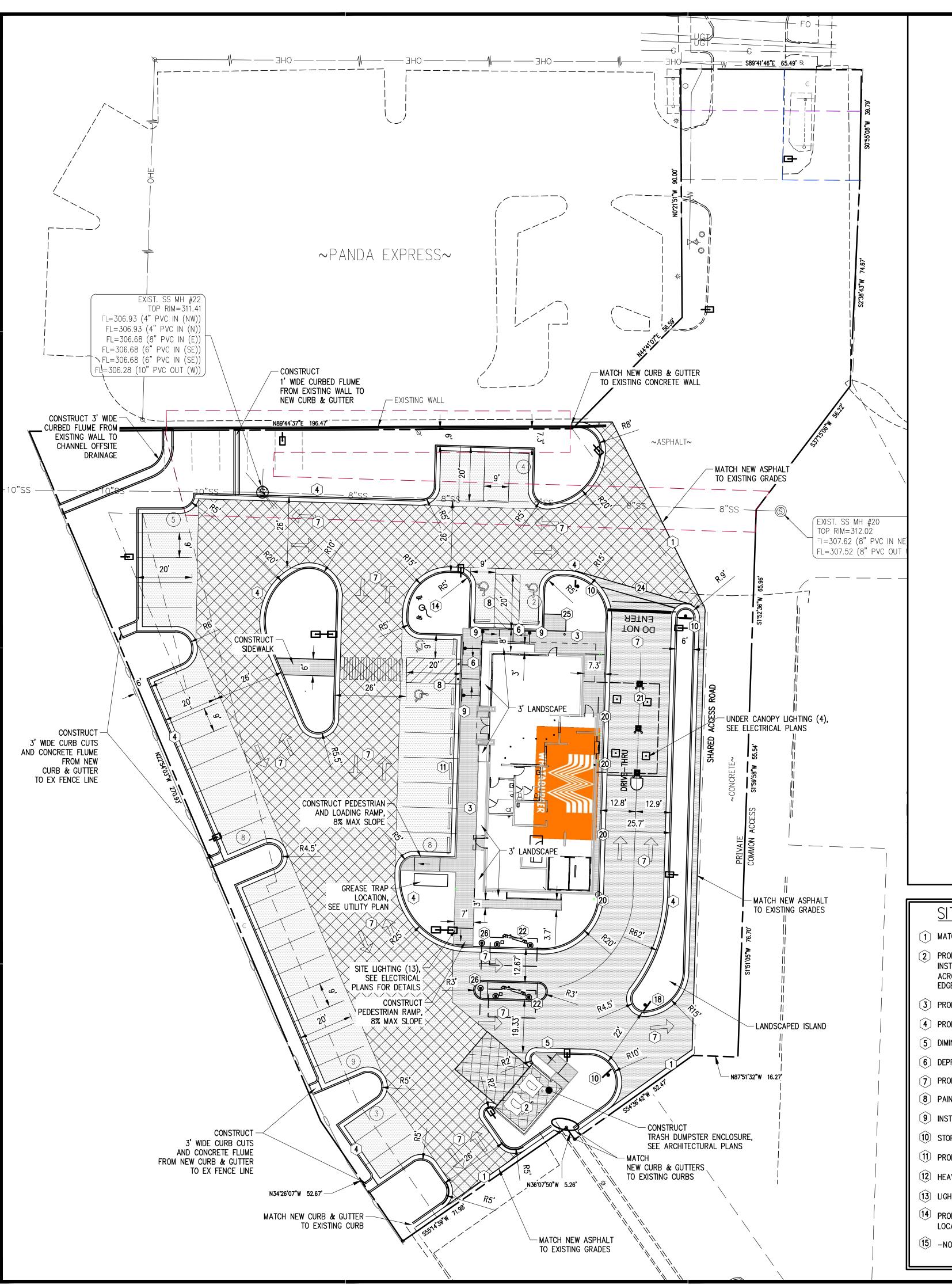
Call before you dig.

C-101

ISSUED FOR CONSTRUCTION

DEMOLITION PLAN

928 AIRPORT ROAD HOT SPRINGS, AR 71913 **G**5 **ENGINEERING, INC.** A DIVISION OF CRAFTON TULI † 501.767.2366 f501.767.6859 www.craftontull.com ERTIFICATE OF AUTHORIZATION: ENGINEERING INC. No. 110 WHATABURGER 813 E. OAK STREET CONWAY, AR This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.





- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND
- 2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY/STATE/FEDERAL REGULATIONS AND CODES AND OSHA STANDARDS.
- 3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 4. ALL CURB DIMENSIONS AND RADII ARE TO BACK OF CURB UNLESS OTHERWISE NOTED. 5. ALL PAVEMENT MARKINGS DIMENSIONS BACK OF CURB UNLESS OTHERWISE NOTED.
- 6. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 7. ALL CURB/SIDEWALK/HANDICAP RAMP DESIGNS SHALL CONFORM TO ADA STANDARDS OR LOCAL RESTRICTIVE CODES, WHICHEVER IS MORE RESTRICTIVE.
- 8. CONTRACTOR SHALL ENSURE ALL NECESSARY PERMITS ARE OBTAINED PRIOR TO CONSTRUCTION START.
- 9. CONTRACTOR SHALL MATCH NEW CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 10. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.

MATERIAL SPECIFICATIONS

- 1. AGGREGATE BASE COURSE SHALL BE CLASS 7 AGGREGATE BASE IN ACCORDANCE WITH SECTION 303 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- 2. PRIME AND TACK COATS AND EMULSIFIED ASPHALT IN BASE COURSE SHALL BE IN ACCORDANCE WITH SECTION 401 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- ASPHALT CONCRETE HOT MIX (ACHM) SURFACE COURSE SHALL BE IN ACCORDANCE WITH SECTION 407 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION,
- 4. CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH SECTION 501 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- 5. DOWEL BARS AND TIE BARS FOR CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH SECTION 502 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- 6. CONCRETE DITCH PAVING SHALL BE IN ACCORDANCE WITH SECTION 605 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION AND ARDOT STANDARD DRAWING CDP-1. 7. REINFORCED CONCRETE PIPE CULVERTS AND FLARED END SECTIONS SHALL BE IN
- ACCORDANCE WITH SECTION 606 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION. 8. CURB INLETS SHALL BE IN ACCORDANCE WITH SECTION 609 OF THE ARKANSAS

DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY

- CONSTRUCTION, 2014 EDITION. 9. SEEDING AND MULCHING SHALL BE IN ACCORDANCE WITH SECTIONS 620 AND 623 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR
- HIGHWAY CONSTRUCTION, 2014 EDITION. 10. TEMPORARY EROSION CONTROL DEVICES SHALL BE IN ACCORDANCE WITH SECTIONS 621, 625. AND 626 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD
- SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION. 11. TOPSOIL SHALL BE IN ACCORDANCE WITH SECTION 628 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014
- 12. CONCRETE SIDEWALKS AND ACCESSIBLE RAMPS SHALL BE IN ACCORDANCE WITH SECTION 633 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- 13. CURB & GUTTER SHALL BE IN ACCORDANCE WITH SECTION 634 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- 14. PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH SECTION 718 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION.
- 15. REINFORCED CONCRETE BOX CULVERT SHALL BE IN ACCORDANCE WITH SECTIONS 801, 802, AND 804 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD
- SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, 2014 EDITION. 16. RIPRAP AND FILTER BLANKET SHALL BE IN ACCORDANCE WITH SECTION 816 OF THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY
- CONSTRUCTION, 2014 EDITION. 17. HIGH DENSITY POLYETHYLENE PIPING SHALL BE IN ACCORDANCE WITH THE

SPECIFICATIONS AND DETAILS.

- MANUFACTURER'S SPECIFICATIONS/DRAWINGS. 18. NYLOPLAST DRAIN BASINS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S
- SPECIFICATIONS/DRAWINGS. 19. ALL WORK AND MATERIALS ASSOCIATED WITH WATER MAINS AND SANITARY SEWER MAINS SHALL BE IN STRICT ACCORDANCE WITH CONWAY CORPORATION STANDARD

	CITY OF CONWAY REQUIRED INFO	RMATION
1	SITE ACREAGE	1.43 ACRES
2	SQUARE FOOTAGE OF SITE	62,314 S.F.
3	SQUARE FOOTAGE OF IMPERVIOUS SURFACE AREA	49,559 S.F. (80%)
4	SQUARE FOOTAGE OF PERVIOUS SURFACE AREA	12,755 S.F. (20%)
5	EXISTING BUILDINGS TO REMAIN	0
6	PROPOSED BUILDINGS	1
7	HEIGHT OF BUILDING	22' - 0" ±
8	BUILDING FOOTPRINT	3,318 S.F.
9	PARKING	
	PROVIDED SPACES	39
	PROVIDED ADA SPACES	4

PROVIDED ADA SPACES 10 GENERAL SLOPE ANALYSIS 0 TO 5% 11 BUILDING SETBACKS AS SHOWN

SITE LAYOUT KEY NOTES

- MATCH EXISTING SURFACE
- PROPOSED CONCRETE DUMPSTER PAD (SEE SITEWORK DETAILS); FURNISH AND INSTALL (2) PIPE BOLLARDS (SEE SITEWORK DETAILS) EVENLY SPACED ACROSS WIDTH OF PAD WITH CENTERLINE OF BOLLARDS 1'-6" FROM BACK EDGE OF PAD
- (3) PROPOSED CONCRETE SIDEWALK (SEE SITEWORK DETAILS)
- (4) PROPOSED CONCRETE CURB AND GUTTER (SEE SITEWORK DETAILS)
- (5) DIMINISHED CURB, RAMP AND SIDEWALK TO DUMPSTER
- (6) DEPRESSED SIDEWALK RAMP (SEE SITEWORK DETAILS)
- 7 PROPOSED PAVEMENT MARKINGS, WHITE UNLESS SHOWN OTHERWISE
- (8) PAINT HC PARKING SYMBOLS AND STRIPE ISLE PER ADA STANDARDS
- 9 INSTALL HANDICAP SIGN (TYP. 2; SEE SITEWORK DETAILS)
- (10) STOP SIGN (SEE SITEWORK DETAILS)
- PROPOSED WHEELSTOP, TYP. 10 PLACES (SEE SITEWORK DETAILS)
- 12 HEAVY TRAFFIC ASPHALT PAVEMENT SECTION (TYP., SEE SITEWORK DETAILS)
- (13) LIGHT TRAFFIC PCC PAVEMENT SECTION (TYP., SEE SITEWORK DETAILS)
- PROPOSED FLAGPOLE (1 EA.); SEE SITEWORK DETAILS; COORDINATE EXACT LOCATION W/ OWNER
- 15 -NOT USED-

- (16) -NOT USED-
- (17) -NOT USED-
- (18) ONE WAY SIGN (SEE SITEWORK DETAILS)

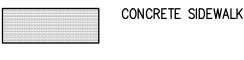
(21) PROPOSED CANOPY (SEE ARCH. PLAN)

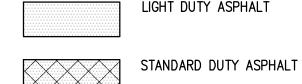
(19) -NOT USED-

23 -NOT USED-

- (20) PROPOSED BOLLARD (SEE STRUCTURAL DETAILS)
- (22) DIGITAL MENU BOARD (SEE INSET DETAIL ON SHEET
- (24) VALLEY GUTTER (SEE SITE DETAILS)
- (25) 8' x 6' CONCRETE SLAB WITH 4 BIKE RACKS
- (26) HEIGHT LIMITER (SEE STRUCTURAL PLANS)



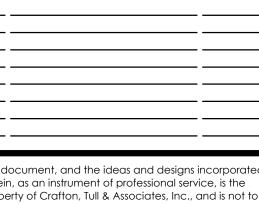








PROPOSED STANDARD PARKING SPACES	35
PROPOSED ACCESSIBLE PARKING SPACES	4
TOTAL PROPOSED PARKING	39



WHATABURGER

813 E. OAK STREET

CONWAY, AR

928 AIRPORT ROAD HOT SPRINGS, AR 71913

ENGINEERING, INC.

ENGINEERING INC.

No. 110

A DIVISION OF CRAFTON TUL † 501.767.2366 f501.767.6859 www.craftontull.com

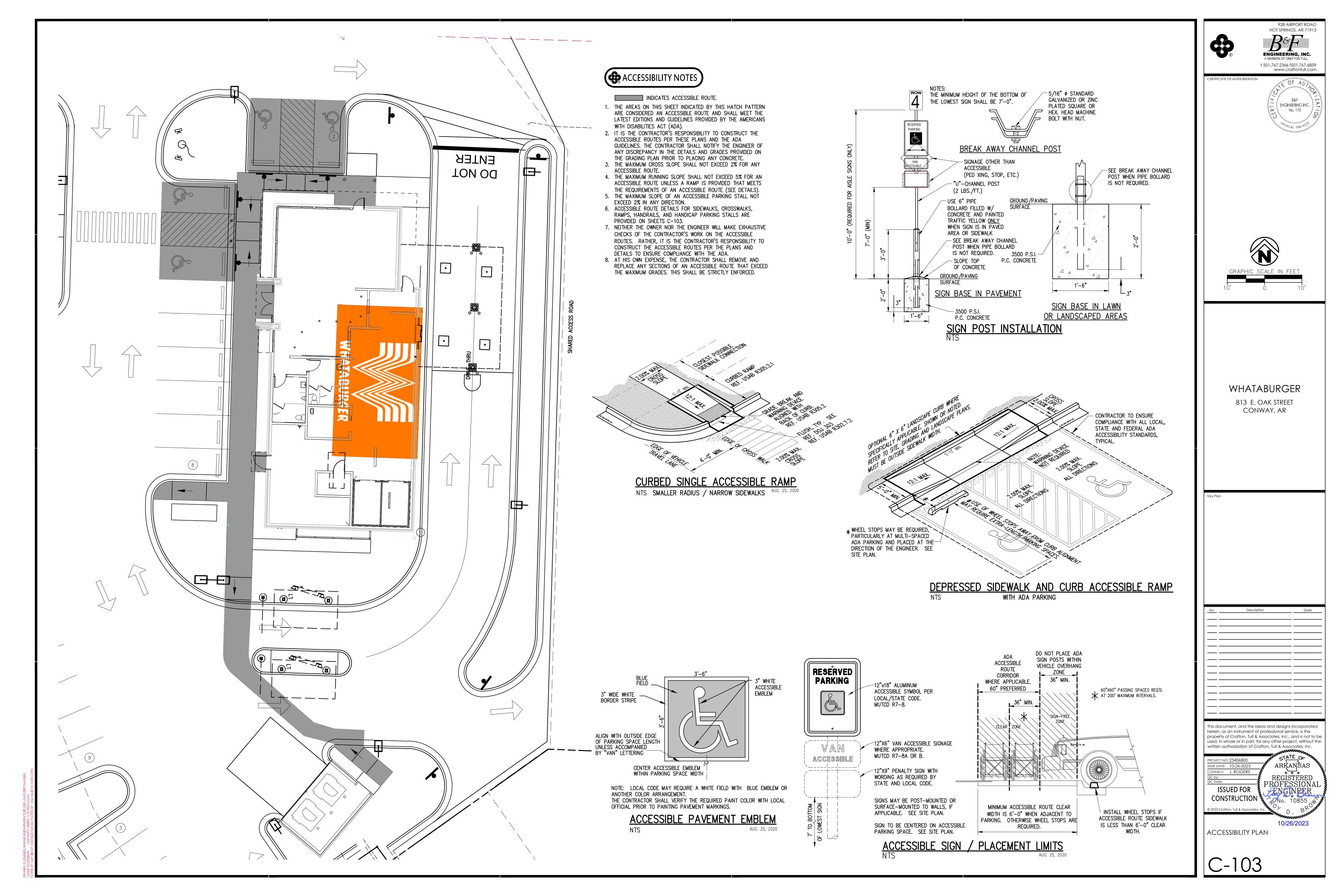
CA

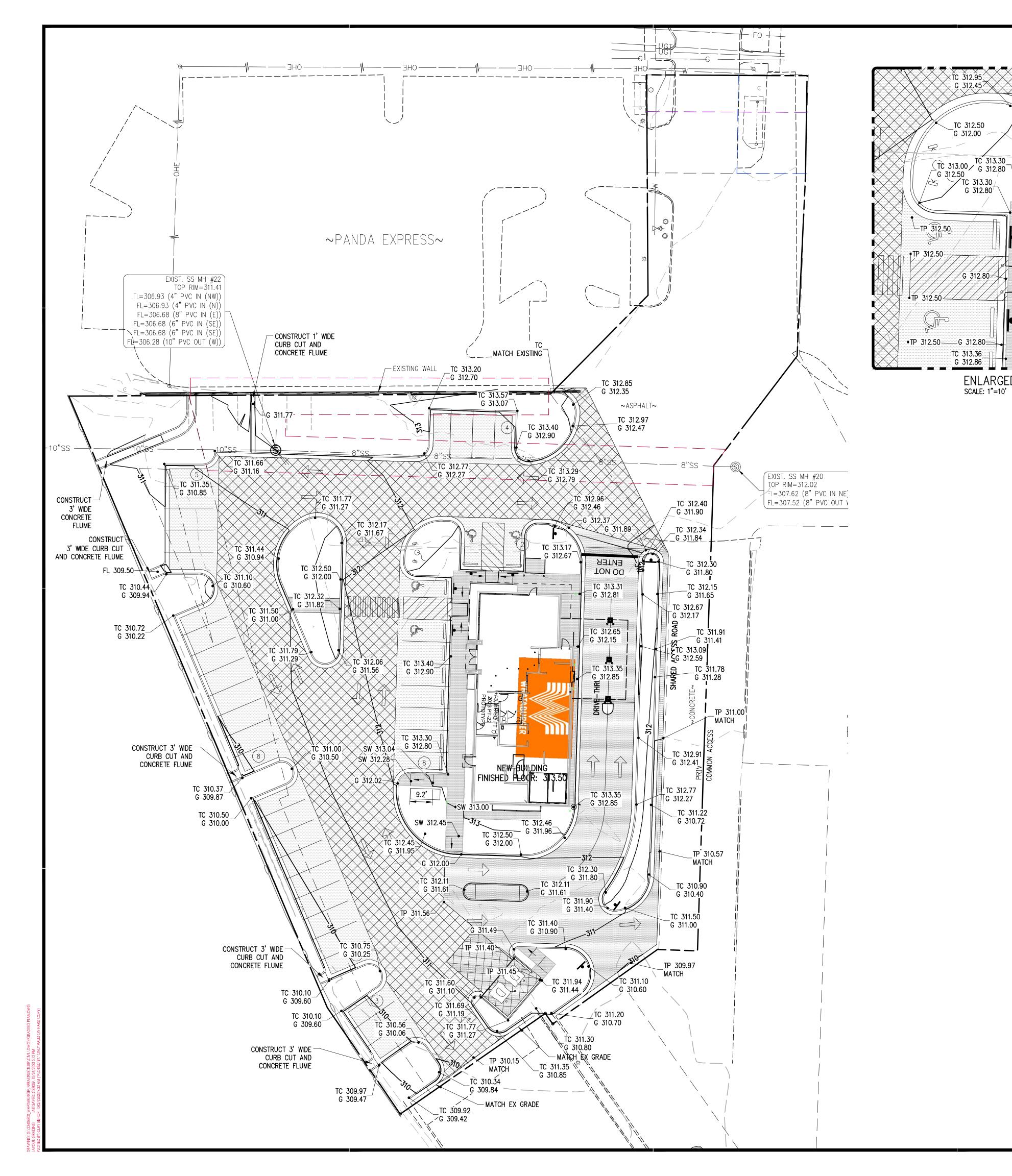
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10/26/2023

ISSUED FOR CONSTRUCTION

SITE PLAN







 \times FG 312.45 \times

G 312.80

ENLARGED VIEW: RD-HC SPACES

FG 312.58

TC 313.15/

G 312.65

rc 313.30

G 312.80

SW 313.50-

`—SW 313.00

-SW 313.28

G 312.45

TC 312.50

G 312.80⁷

∕G 312.80∕-√

G 312.86

SCALE: 1"=10'

G 312.00

- 1. THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS
- 2. THE OWNER/CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR OBTAINING AND PROVIDING SEPARATE AND INDEPENDENT RETAINING WALL DESIGNS, INSPECTIONS, AND CERTIFICATIONS BY A REGISTERED PROFESSIONAL ENGINEER OTHER THAN CRAFTON TULL. THIS SHALL ALSO APPLY TO ANY ASSOCIATED AND NECESSARY PUBLIC SAFETY DEVICES INCLUDING, BUT NOT LIMITED TO, PEDESTRIAN SAFETY RAILS.
- 3. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES ON SITE OR IN RIGHT-OF-WAY. ALL UTILITIES MUST BE LOCATED PRIOR TO GRADING
- 4. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 5. ALL CUT OR FILL SLOPES SHALL BE A MAX 3:1 SLOPE OR FLATTER
- UNLESS OTHERWISE NOTED.
- 6. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITION OR BETTER.
- 7. ALL STORM SEWER PIPE CONNECTIONS TO STRUCTURES SHALL BE GROUTED TO ENSURE CONNECTION AT STRUCTURE IS WATERTIGHT. ALL STORM SEWER STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- 8. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY WHEN IN PAVED AND TRAFFIC AREAS.
- 9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH THE PAVEMENT AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 1" ABOVE FINISH GRADE. LIDS SHALL BE LABELED PER JURISDICTIONAL SPECIFICATIONS.
- 10. SITE GRADING SHALL NOT PROCEED UNTIL APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL NPDES PERMIT AND THE SWPPP FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- 11. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL TO FINAL GRADE. REFER TO THE LANDSCAPE PLAN.
- 12. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON PLANS, CONTACT ENGINEER IMMEDIATELY.
- 13. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 14. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
- 15. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
- 16. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILI AND DEBRIS.
- 17. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 18. CONTRACTOR SHALL MAINTAIN ALL EXISTING PARKING, SIDEWALKS, DRIVES, ETC. CLEAR AND FREE FROM ANY CONSTRUCTION ACTIVITY AND/OR MATERIAL TO ENSURE EASY AND SAFE PEDESTRIAN AND VEHICULAR TRAFFIC TO AND FROM THE SITE.
- 19. IF WET AREAS ARE ENCOUNTERED ON-SITE THE CONTRACTOR SHALL COORDINATE WITH THE GEOTECHNICAL ENGINEER FOR THE DESIGN AND
- PLACEMENT OF A FRENCH DRAIN SYSTEM. 20. CRAFTON, TULL & ASSOCIATES, INC. (CTA) HAS NOT NECESSARILY ESTABLISHED MINIMUM FINISH FLOOR ELEVATIONS FOR EACH INDIVIDUAL BUILDING OR LOT IN THIS SUBDIVISION. WHEN A MINIMUM BUILDING FLOOR ELEVATION IS NOT ESTABLISHED AND NOTED, THE ULTIMATE

RESPONSIBILITY FOR THE PROPER GRADING OF EACH INDIVIDUAL LOT OR PARCEL SHALL REST WITH THE LOT'S OWNER. TYPICALLY, THE MINIMUM FINISH FIRST FLOOR ELEVATIONS SHOULD BE AT LEAST TWELVE INCHES (12") ABOVE THE FINISHED TOP OF STREET CURB ELEVATION ASSOCIATED WITH EACH INDIVIDUAL LOT OR PARCEL OR AS REQUIRED BY LOCAL AND STATE CODES.

GRADING PLAN SPOT ELEVATIONS

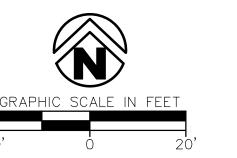
DING PLAIN	SPUT ELEVATION
3W	BOTTOM WALL
-G	FINISHED GRADE
Ľ	FLOW LINE
}	GUTTER
SW	SIDEWALK
C	TOP CURB
P	TOP PAVEMENT
W	TOP WALL
Ò	EXISTING GRADE





ERTIFICATE OF AUTHORIZATION





WHATABURGER

813 E. OAK STREET CONWAY, AR

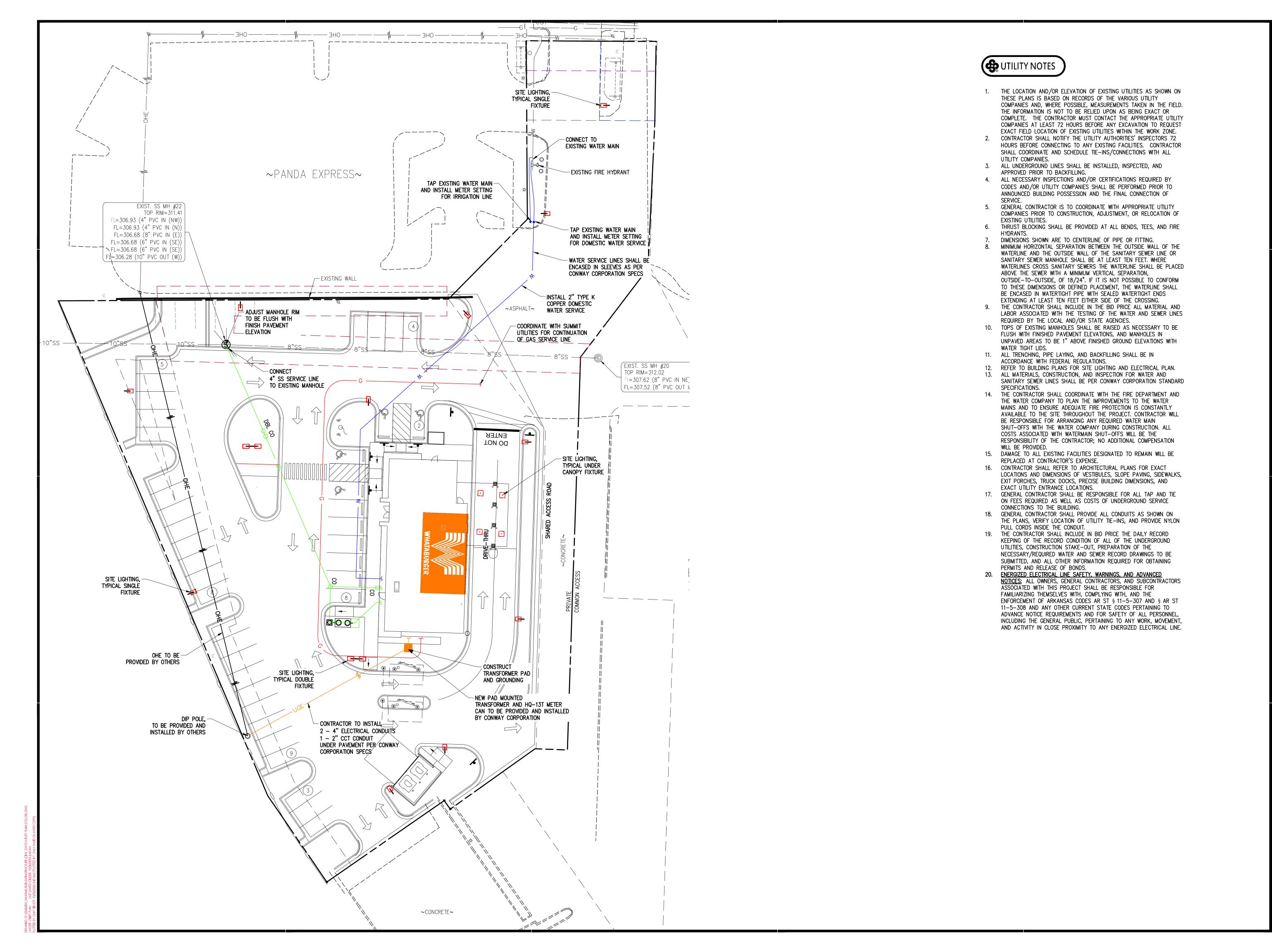
No.	Description	Date

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SSUE DATE: 10-26-202 * * * **ISSUED FOR** CONSTRUCTION

10/26/2023

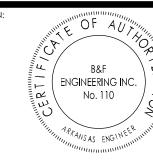
GRADING PLAN

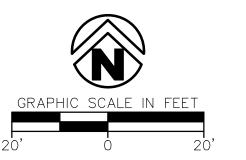






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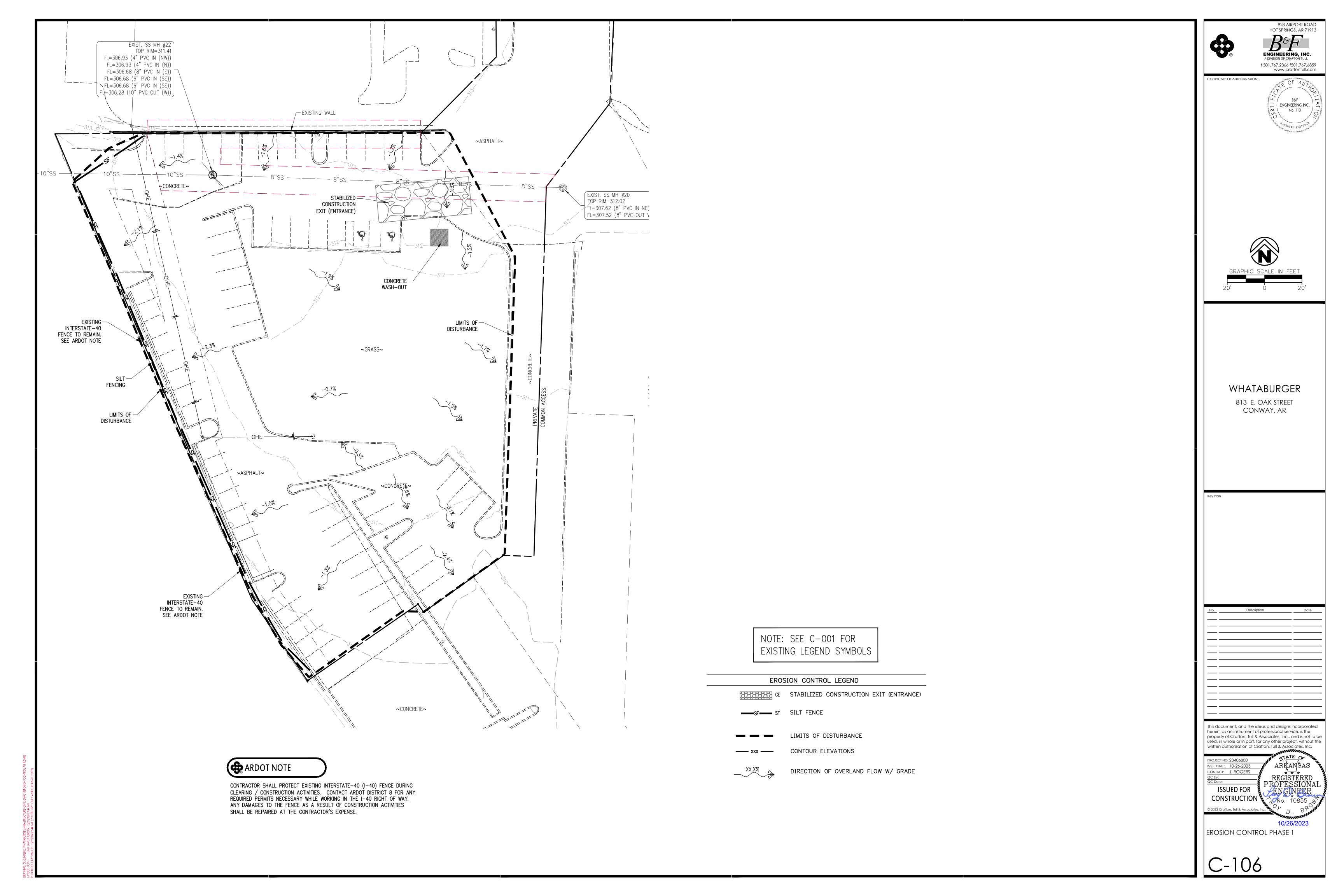
813 E. OAK STREET CONWAY, AR

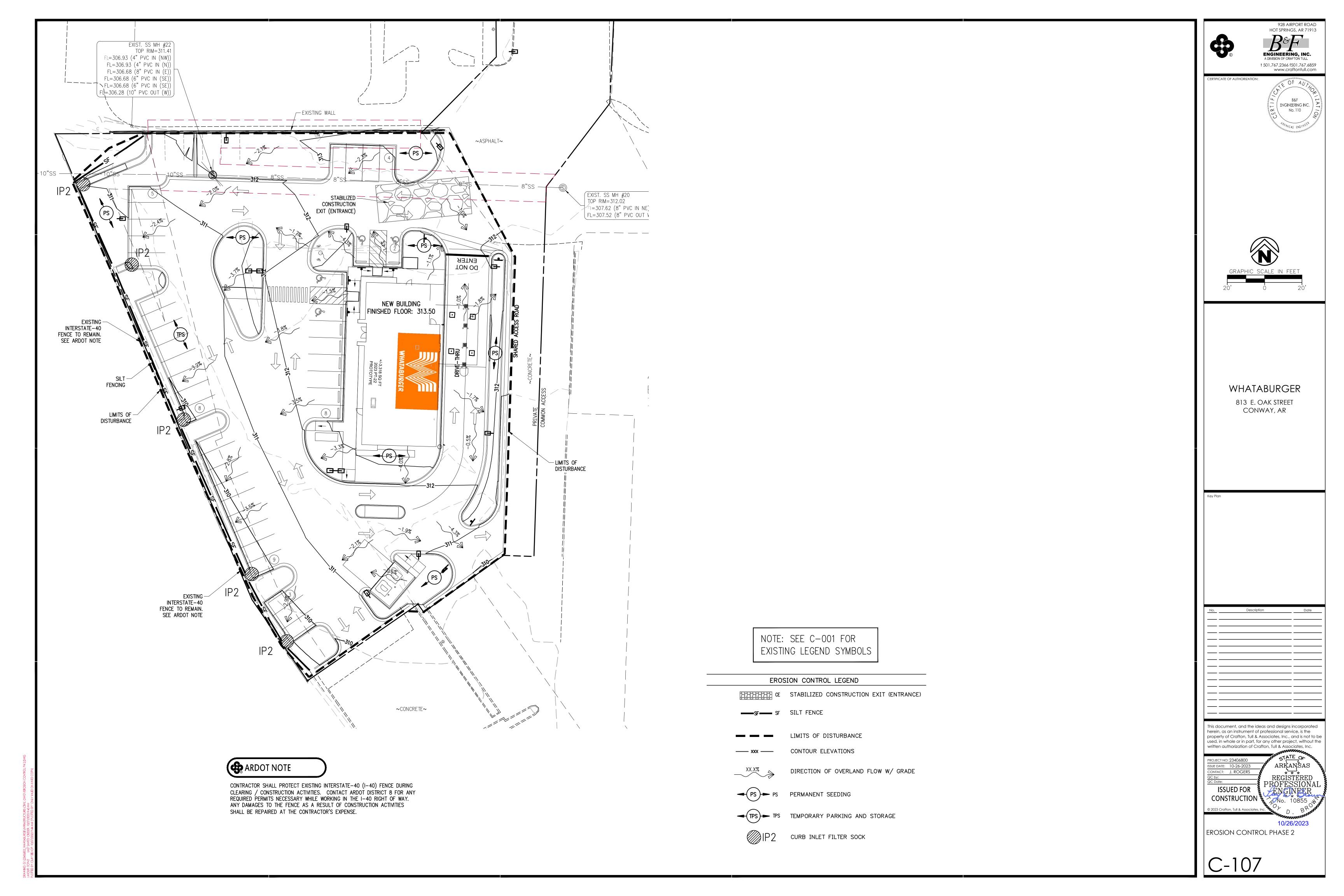
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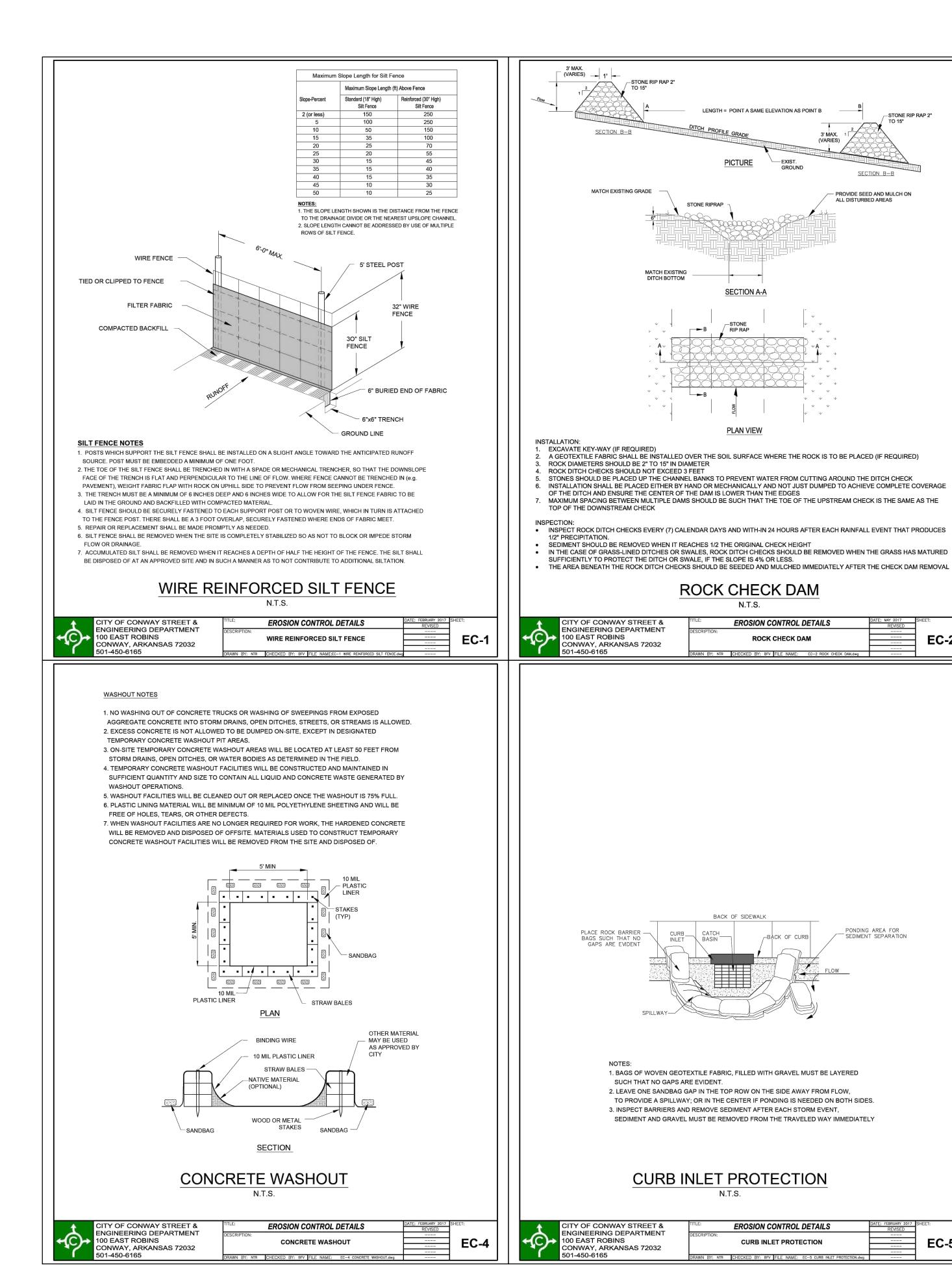
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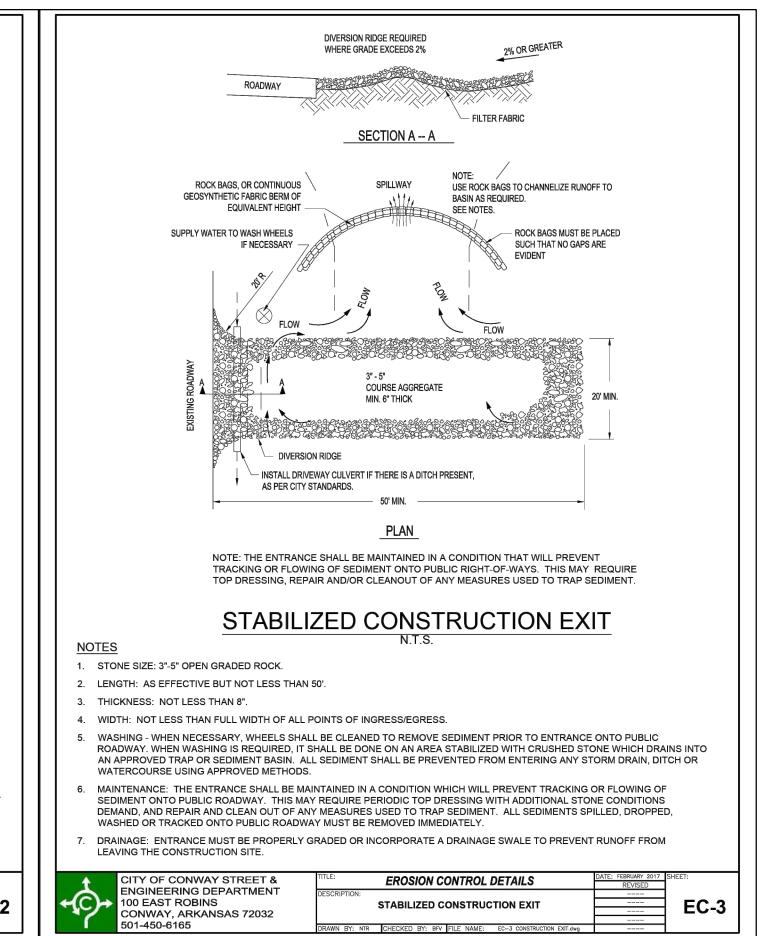
UTILITY PLAN (COLOR)







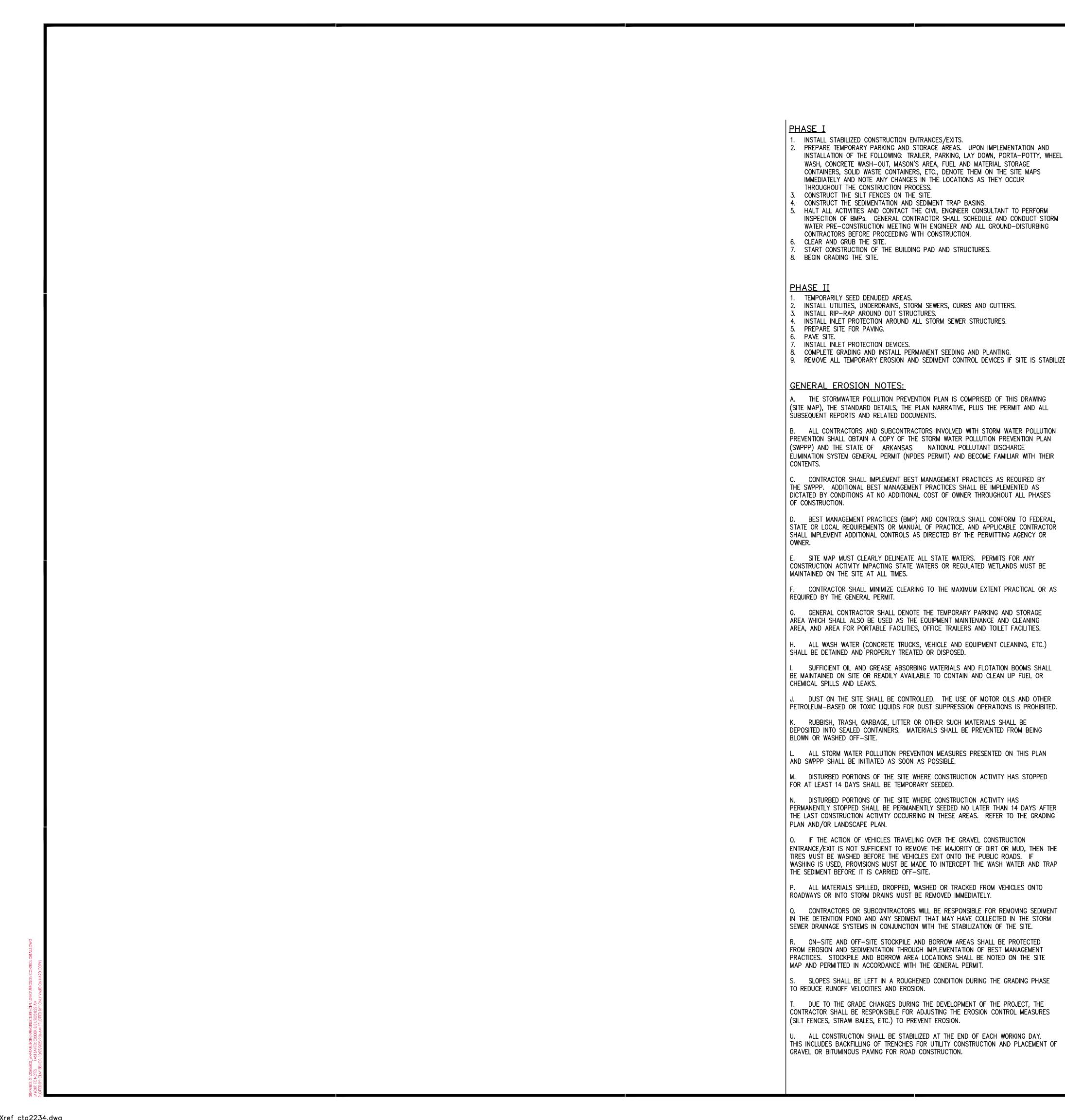
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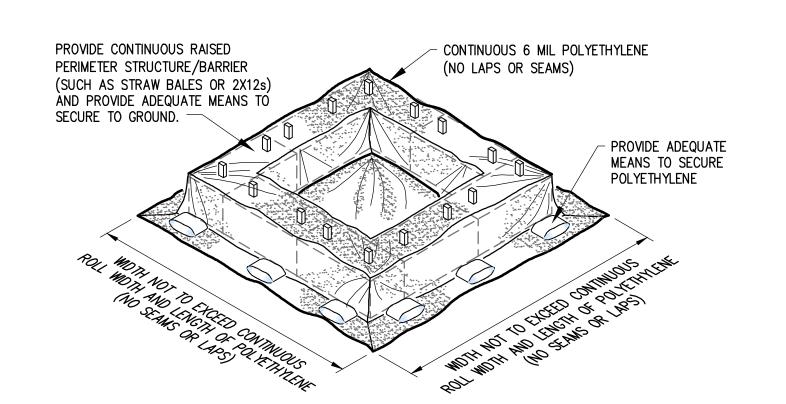


928 AIRPORT ROAD HOT SPRINGS, AR 71913 ENGINEERING, INC. † 501.767.2366 f501.767.6859 www.craftontull.com ERTIFICATE OF AUTHORIZATION: ENGINEERING INC. No. 110 WHATABURGER 813 E. OAK STREET CONWAY, AR This document, and the ideas and designs incorporated herein, as an instrument of professional service, is the property of Crafton, Tull & Associates, Inc., and is not to be used, in whole or in part, for any other project, without the written authorization of Crafton, Tull & Associates, Inc.

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EROSION CONTROL - CITY DETAILS





CONCRETE WASH-OUT BASIN

SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE																		
NOTE: GENERAL CONTR	RACTO	OR T	0 C	OMPL	ETE	TAB	LE \	MTH	THE	IR S	PECI	FIC	PRO	JECT	SCI	HEDU	JLE	
CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	ОСТ	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
ROUGH GRADE / SEDIMENT CONTROL																		
TEMPORARY CONTROL MEASURES																		
STRIP & STOCKPILE TOPSOIL																		
STORM FACILITIES																		
TEMPORARY CONSTRUCTION ROADS																		
FOUNDATION / BUILDING CONSTRUCTION																		
SITE CONSTRUCTION																		
PERMANENT CONTROL STRUCTURES																		
FINISH GRADING																		
LANDSCAPING/SEED/FINAL STABILIZATION																		

ACREAGE	SUMMARY
IMPERVIOUS AREA	0.91 AC
SEEDED AREA	0.20 AC
TOTAL DISTURBED	1.11 AC
	IMPERVIOUS AREA SEEDED AREA

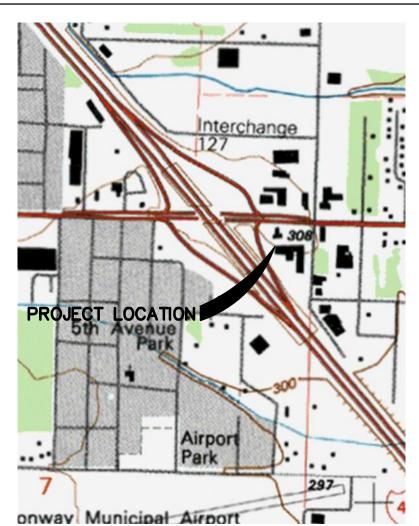
DEVELOPER/OWNER: R.A. WILSON ENTERPRISES, INC PO BOX 6480 HOT SPRINGS, ARKANSAS 71902

GENERAL CONTRACTOR:
MILLER BROTHERS CONSTRUCTION
MATT MILLER
(501) 545-0592

SUPERINTENDENT: TBD

T.B.M.

ENTER BENCHMARK INFORMATION



USGS QUADRANGLE MAP



VICINITY MAP NTS





CERTIFICATE OF AUTHORIZATION:

B&F

ENGINEERING INC.

No. 110

WHATABURGER

813 E. OAK STREET CONWAY, AR

Key Plan

No. Description

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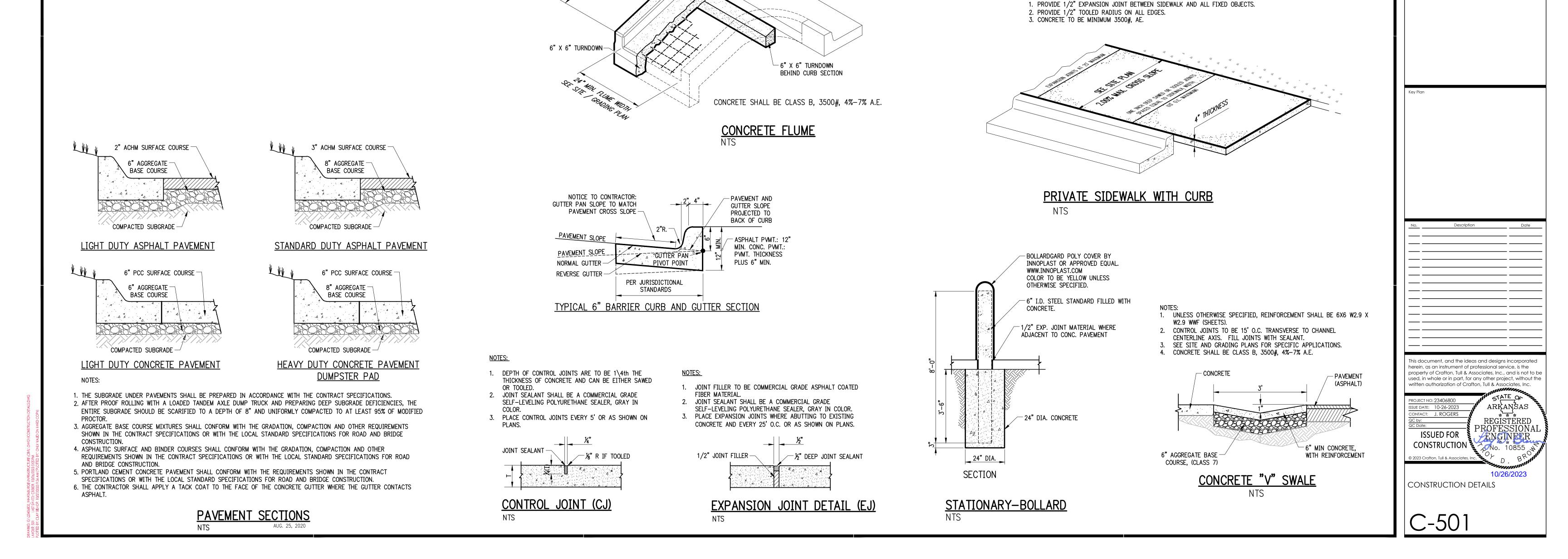
PROJECT NO: 23406800

ISSUE DATE: 10-26-2023
CONTACT: J. ROGERS
QC by:
QC Date:

ISSUED FOR
CONSTRUCTION

No. 10855

10/26/2 EROSION CONTROL NOTES



NOTES:

6" X 6" CURB WITH 3/4" CHAMFER

-6" THICK FLUME CHANNEL WITH 6X6-W2.1XW2.1 WWF

ON ALL EXPOSED EDGÉS

1. LETTERS, NUMBERS AND ARROWS FOR DRIVEWAYS, PARKING LOTS

2. PAVEMENT MARKINGS TO BE REFLECTIVE WHITE PAINT OR

THERMOPLASTIC AS INDICATED IN THE PLANS.

DEVICES FOR STREETS AND HIGHWAYS.

AND STREETS SHALL BE APPLIED ACCORDING TO REQUIREMENTS

"ONLY" PAVEMENT MARKING

(1) PIECE SHAFT ASSEMBLY; SEE SITE LAYOUT PLAN FOR NOTES ON FLAGPOLE

ALUMINUM FLASH COLLAR w/-WATER-PROOF SEALANT

GALV. FOUNDATION SLEEVE

TIGHTLY TAMPERED SAND-

STEEL CENTERING WEDGE -

STEEL BASE PLATE -WELDED TO SLEEVE

LIGHTNING SPIKE -

FLAGPOLE FOUNDATION DETAIL SCALE: N.T.S.

- STEEL SUPPORT PLATE

FINISH GRADE

CONCRETE BASE -

AS OUTLINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL

NOTES:

1. LETTERS, NUMBERS AND ARROWS FOR DRIVEWAYS, PARKING LOTS

AS OUTLINED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL

9'-6"

PAVEMENT MARKING ARROW

1/2" EXP. JT.

2. PAVEMENT MARKINGS TO BE REFLECTIVE WHITE PAINT OR

THERMOPLASTIC AS INDICATED IN THE PLANS.

DEVICES FOR STREETS AND HIGHWAYS.

AND STREETS SHALL BE APPLIED ACCORDING TO REQUIREMENTS

C3 CERTIFICATE OF AUTHORIZATION: ENGINEERING INC.

ENGINEERING, INC. † 501.767.2366 f501.767.6859 www.craftontull.com

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WHATABURGER

813 E. OAK STREET CONWAY, AR

WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAS BEEN DAMAGED, SHALL BE CONSIDERED FOR REPLACEMENT. IN SUCH

CASES, THE OPINION OF THE LANDSCAPE ARCHITECT WILL BE FINAL. ANNUAL PLANTS WILL BE GUARANTEED FOR A PERIOD COINCIDING WITH

THEIR NORMAL SEASON OF GROWTH. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE AS THOSE ORIGINALLY PLANTED,

AND SHALL BE PLANTED AS ORIGINALLY SPECIFIED. ALL WORK, INCLUDING MATERIALS, LABOR, AND EQUIPMENT USED IN REPLACEMENT, WILL BE

AT NO COST TO THE OWNER. REPLACEMENT PLANTS SHALL CARRY A ONE (1) YEAR WARRANTY. ANY DAMAGE, INCLUDING RUTS IN LAWN OR BED

AREAS, INCURRED IN MAKING REPLACEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER OR LANDSCAPE ARCHITECT BY THE

LANDSCAPE CONTRACTOR.

1-SHUMARD OAK -

Planning & Development 11/02/2023 11:38:03 AM

— 1-SHUMARD OAK

EXPOSED ROOT BALL -

BACKFILL WITH 1

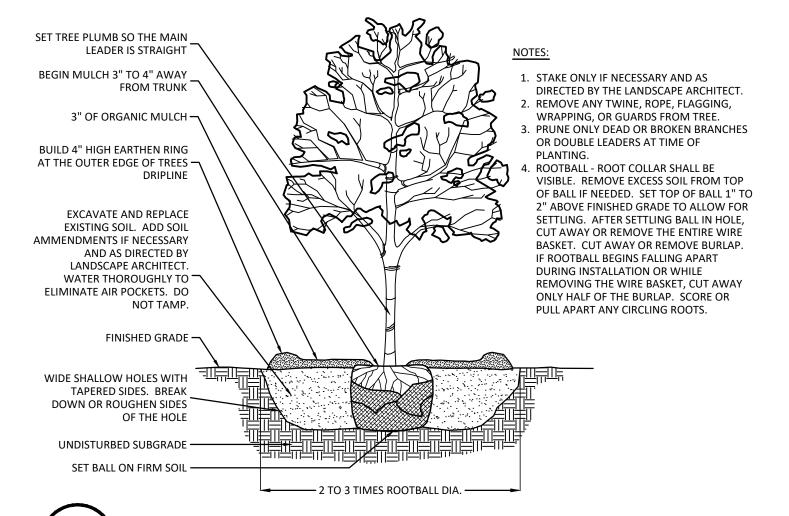
PART COMPOST TO

5 PARTS TOPSOIL

COMMON NAME	SCIENTIFIC NAME	QUAN.	SIZE	REMARKS
	TREI	E S		
Caddo Sugar Maple	Acer saccharum 'Caddo'	3	2" cal.	Single-Trunk, Full Crown
Deodar Cedar	Cedrus deodara	6	2" cal.	Single-Trunk, Full Crown
Savannah Holly	Ilex x attenuata 'Savannah'	8	1" cal	Single-Trunk, Full Crown
Shumard Oak	Quercus shumardii	4	2" cal	Single-Trunk, Full Crown
Lacebark Elm	Ulmus parvifolia	8	2" cal.	Single-Trunk, Full Crown
Chaste Tree	Vitex agnus-castus	3	1" cal	Multi-Trunk, Full Crown
	SHRU	BS		
Boxwood	Buxus microphylla 'Wintergreen'	26	3 gal	Full
Sunshine Ligustrum	Ligustrum sinense 'Sunshine'	13	3 gal	Full
Abelia	Abelia x grandiflora 'Little Richard'	13	3 gal	Full
Burford Holly	Ilex cornuta 'Burfordii'	22	3 gal	Full
Drift Rose	Rosa hybrid 'Meidrifora'	8	3 gal	Full

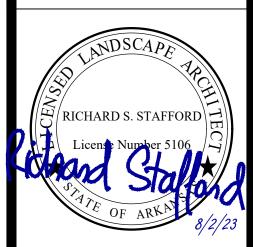
GENERAL LANDSCAPE NOTES:

- 1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT QUANTITIES.
- 2. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CALCULATION OF ALL GRASS AND MULCH AREAS. VERIFY LOCATIONS WITH OWNER.
- 3. ADJUSTMENTS IN ACTUAL LOCATION OF PLANT MATERIAL MAY BE NECESSARY DUE TO EXISTING FIELD ITEMS (AIR CONDITIONERS, TRANSFORMERS, ETC.).
- 4. FULL BED PREPARATION TYPICAL. REFERENCE PLANTING DETAILS.
- 5. LANDSCAPE CONTRACTOR TO PROVIDE A UNIT COST (INCLUDING INSTALLATION) FOR <u>ALL</u> ITEMS.
- 6. WHEN THE SAME SPECIES OF TREES ARE PAIRED OR GROUPED IN 3 OR MORE, THEY SHOULD BE MATCHED IN SIZE, SHAPE, GROWTH CHARACTERISTICS, ETC.
- PLANT MATERIAL AVAILABILITY SHALL BE CONFIRMED BY LANDSCAPE CONTRACTOR PRIOR TO BIDDING. SHOULD SPECIFIED MATERIAL
- NOT BE AVAILABLE, THE OWNER AND ENGINEER SHALL BE NOTIFIED PRIOR TO BID DATE.
- 8. VERIFY LOCATION OF ALL UTILITY LINES PRIOR TO INSTALLATION. FIELD ADJUST FOR GENERAL INTENT IF CONFLICT EXISTS.
- 9. THE LANDSCAPE CONTRACTOR SHALL NOT ELIMINATE, SUBSTITUTE, AND/OR DOWNSIZE PLANT MATERIAL WITHOUT PRIOR APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND CITY OF CONWAY PLANNING DEPARTMENT. MINIMUM STANDARDS AND REQUIREMENTS OF THE CITY OF CONWAY MUST BE MAINTAINED.
- 10. PLANTING BEDS AND TREES, UNLESS OTHERWISE NOTED ON THE PLAN, TO RECEIVE 3 INCHES OF HARDWOOD MULCH TYPICAL.
- 11. ALL PLANT MATERIALS SHALL BE MAINTAINED BY OWNER IN A HEALTHY AND GROWING CONDITION, AND BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED (SEE WARRANTY INFORMATION).
- 12. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
- 13. ALL LANDSCAPE AREAS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED SO AS NOT TO CONSTRUCT VIEW OF MOTORISTS BETWEEN THE STREET AND THE ACCESS DRIVES. VISIBILITY TRIANGLES SHALL ALWAYS REMAIN UNOBSTRUCTED.
- 14. ALL PERMEABLE SURFACES NOT OCCUPIED BY TREES, SHRUBS, PLANTING BEDS, EXISTING GRASS, SIGNS, AND OTHER PERMITTED ITEMS OR FIXTURES SHALL BE LAWN AREAS. THESE LAWN AREAS, UNLESS SPECIFIED OTHERWISE, SHALL BE BERMUDA GRASS.
- 15. PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS, FULL BRANCHED ON ALL SIDES, WELL SHAPED SYMMETRICAL AND SHALL BE FREE OF DEFECTS, DECAY, SUN-SCALD INJURIES, ABRASIONS OF THE BARK AND LIMBS, DISEASE, INSECT EGGS AND LARVA.
- 16. THE OWNER OR ENGINEER HAS THE RIGHT TO INSPECT ALL MATERIALS PRIOR TO AND AFTER DELIVERY TO THE SITE AS WELL AS AFTER INSTALLATION AND SHALL RESERVE THE RIGHT TO ACCEPT OR REJECT SAID MATERIALS AT ANY TIME.
- 17. CONTRACTOR TO INSTALL AN UNDERGROUND POP-UP TYPE IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL WATER ALL LANDSCAPE PLANTING AND LAWN AREAS. ADJUSTMENTS TO THE SYSTEM SHALL LIMIT OVERSPRAY ONTO ADJACENT ROADWAYS AND CONSERVE WATER TO THE GREATEST EXTENT POSSIBLE. IRRIGATION CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER AND SITE CONTRACTOR FOR LOCATION OF SLEEVING FOR IRRIGATION SYSTEM.
- 18. TOPSOIL SHALL BE FERTILE NATURAL SURFACE SOIL, UNIFORM IN COMPOSITION, SIMILAR TO SITE TOPSOIL IF APPROVED, FREE OF STONES LUMPS WEEDS, AND ROOTS. MINIMUM 20 PERCENT ORGANIC MATTER, 50 TO 50 PERCENT SAND, 15-20 PERCENT CLAY.
- 19. THERE SHALL BE A 3 INCH MINIMUM LAYER OF GOOD TOPSOIL IN ALL GRASS AREAS. GRADE AREAS AROUND SIDEWALKS AND CURBS 1 INCH BELOW TOP OF CONCRETE TO ALLOW FOR SOD THICKNESS.
- 20. TOPSOIL IN PLANTING BEDS TO BE MOUNDED AND GRADED IN A WAY TO ALLOW POSITIVE DRAINAGE AWAY FROM BUILDING AND TO
- 21. REFERENCE CIVIL ENGINEER PLANS FOR GRADING AND DRAINAGE.



DETAIL - TREE PLANTING

Stafford Landscape Architecture, LLC 14 Jamestown Drive Searcy, AR 72143 rstafford74@gmail.com 501.593.3666

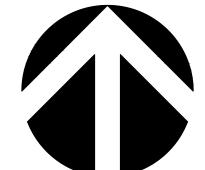


REVISIONS: (1) 10/25/23 - CITY COMMENTS

DATE:

AUGUST 2, 2023

SCALE: 20" = 0'





CITY OF CONWAY 1111 Main Street Planning and Development Conway, AR 7203.

Conway, AR 72032 T 501.450.6105 F 501.450.6144 www.conwayarkansas.gov

November 3, 2023

Crafton Tull & Associates 928 Airport Road Hot Springs, AR 71913

Project No. SDR-0923-0139

EXCEPTION REPORT TO CITY COUNCIL PURSUANT TO ZONING CODE SEC. 1007 - EXCEPTIONS

1) Applicant requested an **EXCEPTION** from Section **1007.4.E.2.a.iii of the Zoning Code.**

Project Name: Whataburger

The Director has **APPROVED** the following exception to Development Review Requirements:

Requirement:

1007.4.E.2.a.iii - Considerations For Traffic, Access, Parking, and Loading

Parking lots shall be designed with a hierarchy of circulation: Major access drives with no parking, framed by use of one or more of the following: building facades, sidewalks, low walls, trees, and/or shrubs. Maximum of forty (40) feet in width. Major circulation aisles with little or no parking, generally adjacent to the building(s) being served, and typically wide enough to allow for drop-offs and pick-ups. Maximum of thirty-four (34) feet in width. Narrower parking aisles to reduce speeds and allow for direct access to parking spaces. Maximum of twenty (20) feet in width.

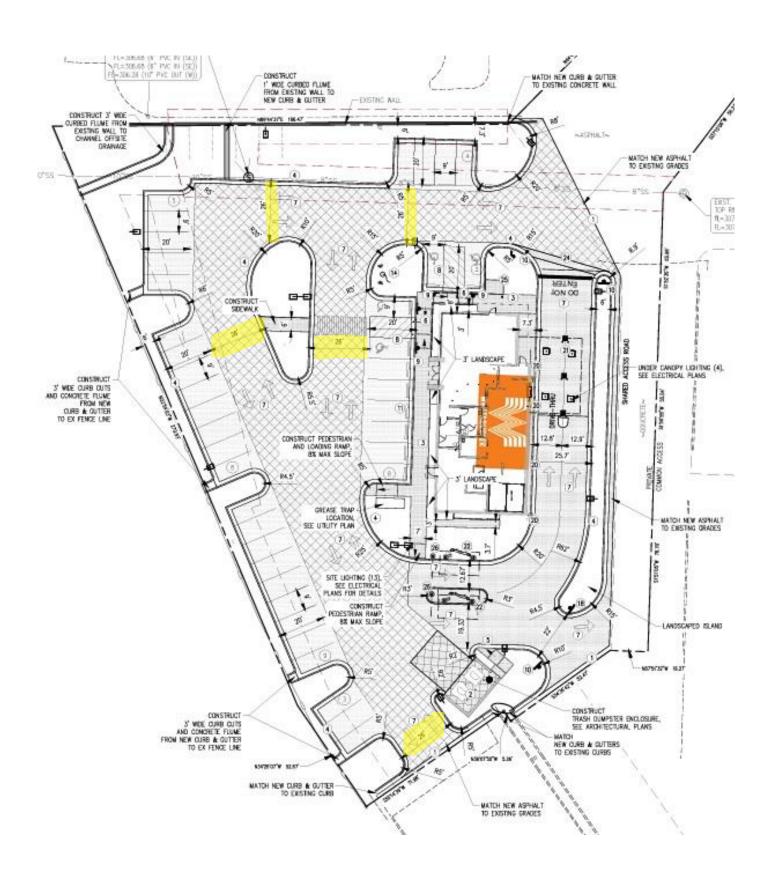
Exception(s) Granted: The applicant is requesting an exception to the maximum width of twenty (20) feet width parking aisle due to potential issues regarding sanitation and delivery truck circulation as well as customer traffic that includes larger trucks and trucks with trailers. It is the opinion of the Director this represents a site specific hardship that is worthy of an exception. The applicant will be permitted to construct parking aisles no wider than twenty-six (26) feet in width.

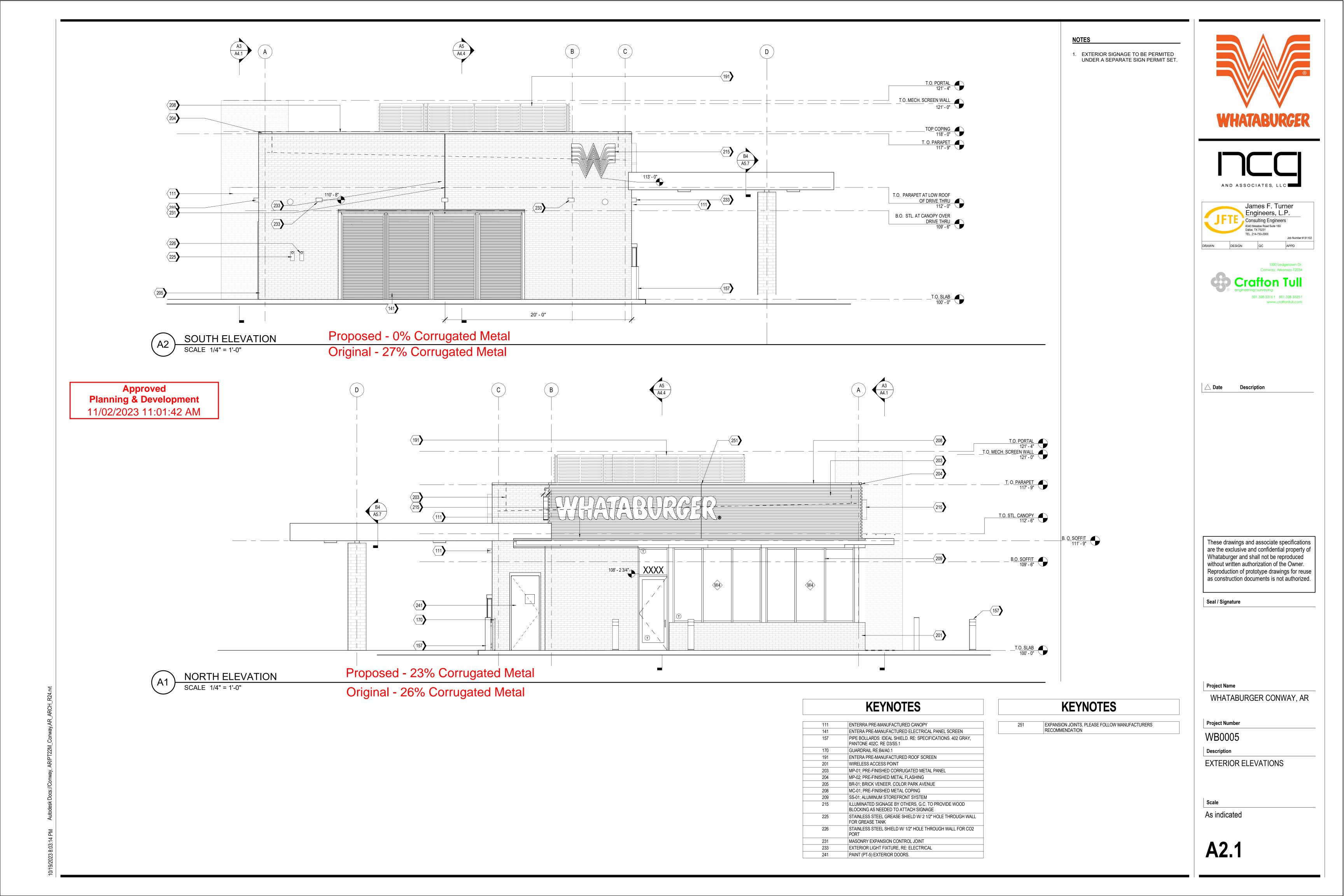
Refer to attachments provided.

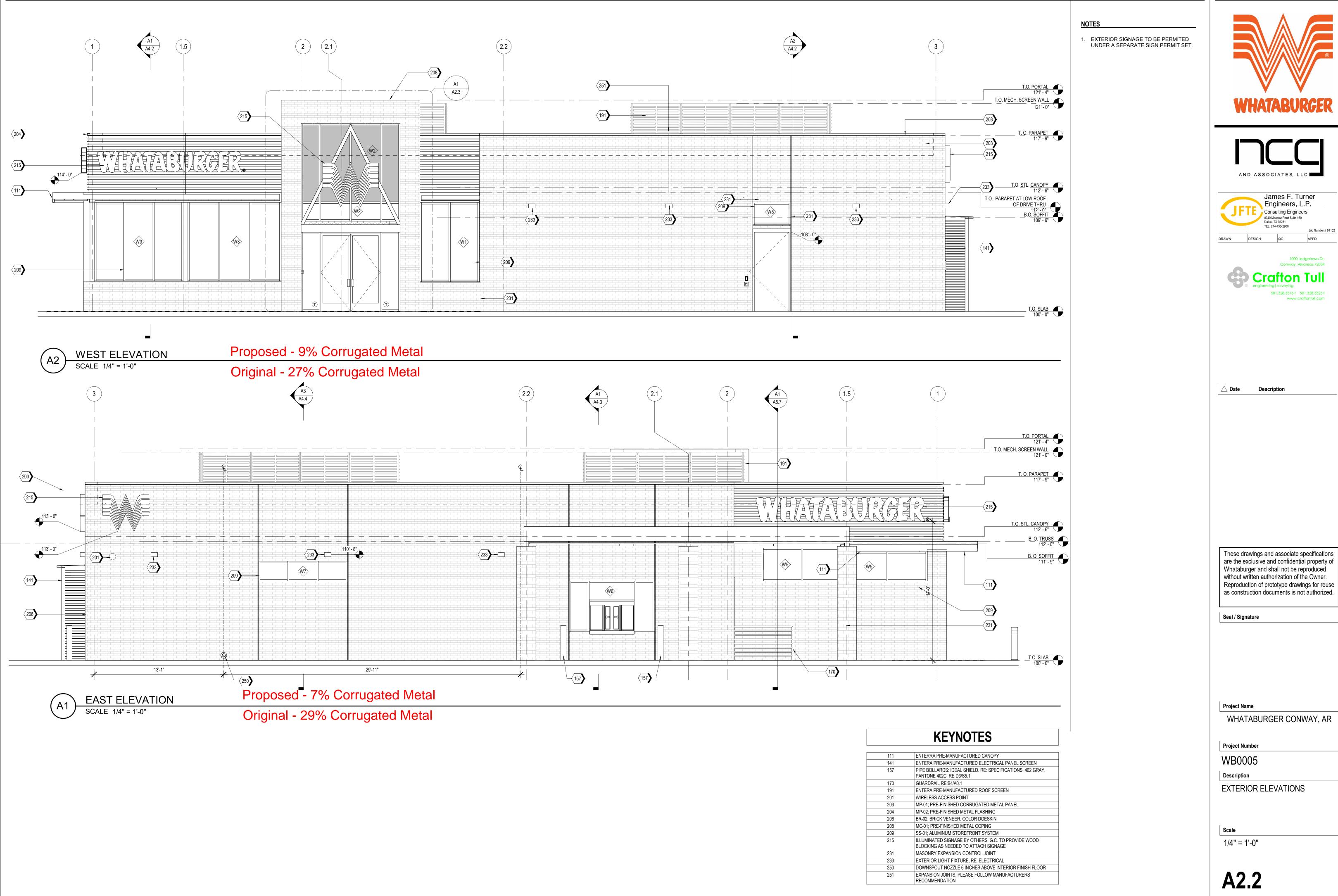
Thank you,

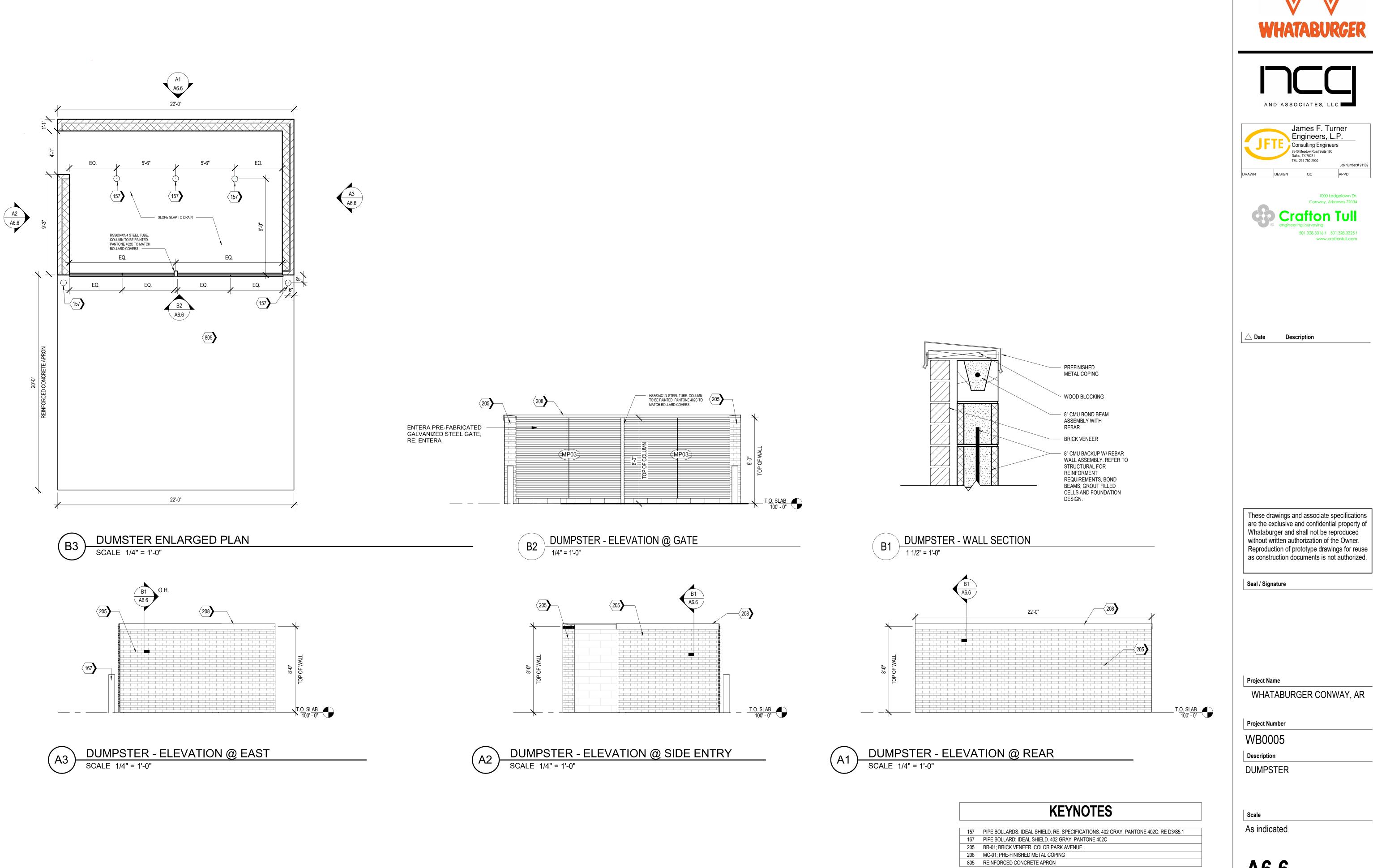
Troy Rice

Interim Director of Planning and Development



















A6.6