









































































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LEGEND (CONSTRUCT)

SYMBOLS		LINEWORK	
	SET IRON PIN		EASEMENT
	LIGHT POLE		
	POWER POLE		CURB
	TELEPHONE PEDESTAL		INTERMEDIATE CONTOUR
	TV PEDESTAL		
	MANHOLE		INDEX CONTOUR
	SANITARY SEWER CLEANOUT		
	GAS METER		SANITARY SEWER LINE
	GAS VALVE		
	STORM SEWER PIPE		GAS LINE
	STRUCTURE NUMBER		
	WATER VALVE		WATER LINE
	FIRE HYDRANT ASSEMBLY		UGT
	AIR RELEASE VALVE		UNDERGROUND TELEPHONE
	FIRE DEPARTMENT CONNECTION		
	WATER METER		UGE
	BACK FLOW PREVENTER		UNDERGROUND ELECTRIC
	REDUCER		OHE
	RECTANGULAR DROP INLET, GRADED INLET OR JUNCTION BOX (SPECIFY ON PLAN SHEET)		OVERHEAD ELECTRIC
			FO
			FIBER OPTIC
			UGTV
			UNDERGROUND TELEVISION
			CHAIN LINK FENCE
			
			WOOD FENCE
			
			BARBED WIRE FENCE
			
			BUILDING SET BACK
			
			RIGHT OF WAY
			
			PROPERTY LINE
			
			ROAD CENTERLINE

- THE DESIGN, INSPECTION, AND CERTIFICATION OF ANY RETAINING WALL SHOWN OR REFERENCED HEREIN, INCLUDING BUT NOT LIMITED TO, SEGMENTAL RETAINING WALLS, MASS GRAVITY WALLS, GABION WALLS, ETC., GREATER THAN FORTY-EIGHT INCHES IN HEIGHT, SHALL BE BY OTHERS. ANY RETAINING WALL DATA SHOWN OR REFERENCED HEREIN SHALL BE ONLY FOR COORDINATION OF THE WALL LOCATION AND ELEVATIONS.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS IS BASED ON A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS. CRAFTON TULL ASSUMES NO RESPONSIBILITY REGARDING THE ACCURACY OF THE DEPICTED LOCATION(S) OF THE UNDERGROUND FACILITIES ON THESE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ANY OTHER FACILITIES NOT SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL VERIFY LOCATION OF ALL FACILITIES BEFORE BEGINNING WORK.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES IN OR NEAR THE CONSTRUCTION SITE.
- THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF CRAFTON, TULL & ASSOCIATES, INC. AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF CRAFTON, TULL & ASSOCIATES, INC.
- CONTRACTOR SHALL NOT CAUSE ANY LONG-TERM INCONVENIENCE TO THE PUBLIC, ADJACENT PROPERTY OWNERS, PEDESTRIANS, ETC. DURING CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL PROVIDE ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION IF A DISCREPANCY OR INCONSISTENCY IS IDENTIFIED IN THE PLANS OR SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT WHICH ARE NECESSARY TO CONFORM TO OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
- ENGINEER OF RECORD SHALL OBSERVE THE INSTALLATION OF THE WATER & SEWER MAINS. BEYOND THAT SCOPE, CRAFTON TULL & ASSOCIATES, INC. (CTA) HAS NOT BEEN RETAINED BY THE OWNER FOR CONSTRUCTION ADMINISTRATION OR OBSERVATION SERVICES FOR THE WORK INDICATED ON THESE DRAWINGS. THEREFORE, CTA HEREBY NOTIFIES ALL PARTIES INVOLVED THAT CRAFTON, TULL & ASSOCIATES, INC. ASSUMES NO RESPONSIBILITY FOR THE INTERPRETATION, COORDINATION, OR ADMINISTRATION OF THESE DOCUMENTS AND/OR DEVIATIONS THEREOF. FURTHERMORE, CRAFTON, TULL & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR ANY EFFECTS THAT ANY CHANGES TO THESE DOCUMENTS MAY HAVE ON ANY RELATED TRADES, CONSTRUCTION SEQUENCES, OR OPERATION OF THE COMPLETED PROJECT EXCEPT AS SPECIFICALLY NOTED IN THE AGREEMENT BETWEEN CRAFTON, TULL & ASSOCIATES AND THE OWNER.
- ENERGIZED ELECTRICAL LINE SAFETY, WARNINGS, AND ADVANCED NOTICES:** ALL OWNERS, GENERAL CONTRACTORS, AND SUBCONTRACTORS ASSOCIATED WITH THIS PROJECT SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH, COMPLYING WITH, AND THE ENFORCEMENT OF ARKANSAS CODES AR ST § 11-5-307 AND § AR ST 11-5-308 AND ANY OTHER CURRENT STATE CODES PERTAINING TO ADVANCE NOTICE REQUIREMENTS AND FOR SAFETY OF ALL PERSONNEL, INCLUDING THE GENERAL PUBLIC, PERTAINING TO ANY WORK, MOVEMENT, AND ACTIVITY IN CLOSE PROXIMITY TO ANY ENERGIZED ELECTRICAL LINE.

CRAFTON TULL CANNOT CERTIFY THE SITE AS COMPLETE IN ORDER TO OBTAIN THE CERTIFICATE OF OCCUPANCY UNTIL ALL DISTURBED AREAS RELATED TO THE CONSTRUCTION OF THE PROJECT, BOTH ONSITE AND OFFSITE, HAVE BEEN STABILIZED PER THE PLANS AND SPECIFICATIONS AND ALL REQUIREMENTS SPELLED OUT IN PERMITS ISSUED BY THE STATE AND LOCAL AUTHORITIES HAVE BEEN MET.

CITY OF CONWAY  
PLANNING DEPARTMENT  
PHONE # 501.450.6105

**CITY OF CONWAY**  
**PERMITS & INSPECTIONS**  
**PHONE # 501.450.6107**

CITY OF CONWAY  
POLICE DEPARTMENT  
PHONE # 501.450.6120

CITY OF CONWAY  
STREET DEPARTMENT  
PHONE # 501.450.6165

CITY OF CONWAY  
FIRE DEPARTMENT  
PHONE # 501.450.6147

**CONWAY CORPORATION**  
1307 PRAIRIE STREET  
PHONE # 501.450.6050

ARKANSAS DEPARTMENT OF  
TRANSPORTATION - DISTRICT 8  
PHONE # 479.968.2286

**GAS UTILITY**  
SUMMIT UTILITIES  
817 N. CREEK DRIVE  
CONWAY, AR  
501.472.4363

BUILDING SETBACK:	FRONT 15' SIDE 6' REAR 10'
SITE AREA:	1.11 AC. (48,352 SQ.FT.)
BUILDING SIZE:	± 3,318 SQ. FT.
BUILDING USAGE:	RESTAURANT
FINISHED FLOOR ELEVATION:	313.15
ZONING:	C-3
PROPERTY USAGE:	GENERAL COMMERCIAL
BUILDING HEIGHT:	21'-0"
ADDRESS:	813 E. OAK STREET CONWAY, ARKANSAS 72032
SITE OWNER/DEVELOPER:	WBCONAR, LLC PO BOX 648 HOT SPRINGS, ARKANSAS 71902

SITE ENGINEER: CRAFTON TULL  
928 AIRPORT ROAD  
HOT SPRINGS, ARKANSAS 71913  
PHONE: 501.767.2366  
FAX: 501.767.6859

REQUIRED PARKING: 9/1000 S.F.  
30 STALLS

PROVIDED PARKING: STANDARD STALLS: 35 PARKING STALLS  
ADA STALLS: 4 PARKING STALLS  
TOTAL STALLS: 39 PARKING STALLS



## PROPERTY DESCRIPTION

LOT 2A1, RAMADA INN LOT 2A REPLAT, A REPLAT OF RAMADA INN REPLAT TO THE CITY OF CONWAY,  
FAULKNER COUNTY, ARKANSAS.

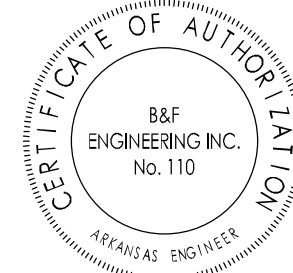
LESS AND EXCEPT:  
A PART OF LOT-2A, RAMADA INN REPLAT, NOW KNOWN AS LOT 2A1, RAMADA INN REPLAT, TO THE CITY OF CONWAY, FAULKNER COUNTY, ARKANSAS, AS SHOWN ON PLAT OF RECORD IN PLAT BOOK K, PAGE 181 AND REPLATED IN PLAT BOOK L, PAGE 261, RECORDS OF FAULKNER COUNTY, ARKANSAS, AND THE NEIGHBORING RESOURCES AS FOLLOWS:  
COMMENCING AT A FOUND 1/2" REBAR AT THE NORTHEAST CORNER OF SAID LOT 2A, SAID PLAT BEING THE POINT OF BEGINNING; THENCE S01°51'54", 40.00 FEET TO A SET PK.NAIL; THENCE S89°52'26", 28.00 FEET TO A SET PK NAIL; THENCE N01°31'58", 40.00 FEET TO A SET 1/2" REBAR (A.PLS#1243); THENCE N89°52'26", 28.00 FEET TO THE POINT OF BEGINNING.

**FLOOD NOTE:**  
THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05045C0283 H, EFFECTIVE DATE 12/19/2006.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAP(S) CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

928 AIRPORT ROAD  
HOT SPRINGS, AR 71913  
**B&F**  
**ENGINEERING, INC.**  
A DIVISION OF CRAFTON TULL  
† 501.767.2366 f501.767.6855  
[www.craftontull.com](http://www.craftontull.com)

CERTIFICATE OF AUTHORIZATION



813 E. OAK STREET  
CONWAY, AR

SHEET NUMBER	SHEET TITLE
C-001	COVER SHEET
C-002	PROJECT CONTROL
C-101	DEMOLITION PLAN
C-102	SITE PLAN
C-103	ACCESSIBILITY PLAN
C-104	GRADING PLAN
C-105	UTILITY PLAN (COLOR)
C-106	EROSION CONTROL PHASE
C-107	EROSION CONTROL PHASE
C-108	EROSION CONTROL - CITY
C-109	EROSION CONTROL NOTES
C-501	CONSTRUCTION DETAILS

## PROPERTY DESCRIPTION

LOT 2A1, RAMADA INN LOT 2A REPLAT, A REPLAT OF RAMADA INN REPLAT TO THE CITY OF CONWAY,  
FAULKNER COUNTY, ARKANSAS.

LESS AND EXCEPT:  
A PART OF LOT-2A, RAMADA INN REPLAT, NOW KNOWN AS LOT 2A1, RAMADA INN REPLAT, TO THE CITY OF CONWAY, FAULKNER COUNTY, ARKANSAS, AS SHOWN ON PLAT OF RECORD IN PLAT BOOK K, PAGE 181 AND REPLATED IN PLAT BOOK L, PAGE 261, RECORDS OF FAULKNER COUNTY, ARKANSAS, AND THE NEIGHBORING RESOURCES AS FOLLOWS:  
COMMENCING AT A FOUND 1/2" REBAR AT THE NORTHEAST CORNER OF SAID LOT 2A, SAID POINT BEING THE POINT OF BEGINNING; THENCE S01S1/4E, 40.00 FEET TO A SET PK.NAIL; THENCE S89S26'W, 28.00 FEET TO A SET PK NAIL; THENCE N01S31'58E, 40.00 FEET TO A SET 1/2" REBAR (A/PLS#1243); THENCE N89S26'E, 28.00 FEET TO THE POINT OF BEGINNING.

**FLOOD NOTE:**  
THIS PROPERTY IS NOT IN FLOOD ZONE "A" OR "AE", AND IS OUTSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05045C0283 H, EFFECTIVE DATE 12/19/2006.

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### Key Pla

[illegible]

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PROJECT NO: 23406800  
ISSUE DATE: 10-26-2023  
CONTACT: J. ROGER

ISSUED FOR  
CONSTRUCTION

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STATE OF  
ARKANSAS  
REGISTERED  
PROFESSIONAL  
ENGINEER  
No. 10855  
D. BROWN

10/26/2023

COVER SHEET

C-001

DRAWING: G:\23049000\_WHATABURGE\INRASTRUCTURE\CIVIL\DWG\COVER.DWG  
LAYOUT: COVER SHEET LAST SAVED: 08/30/2013 8:30 AM  
NOTED BY: CLAY BISHOP 1/20/2013 8:12 AM EXCLUDED BY: ONLY VALID ON LINGO.COM









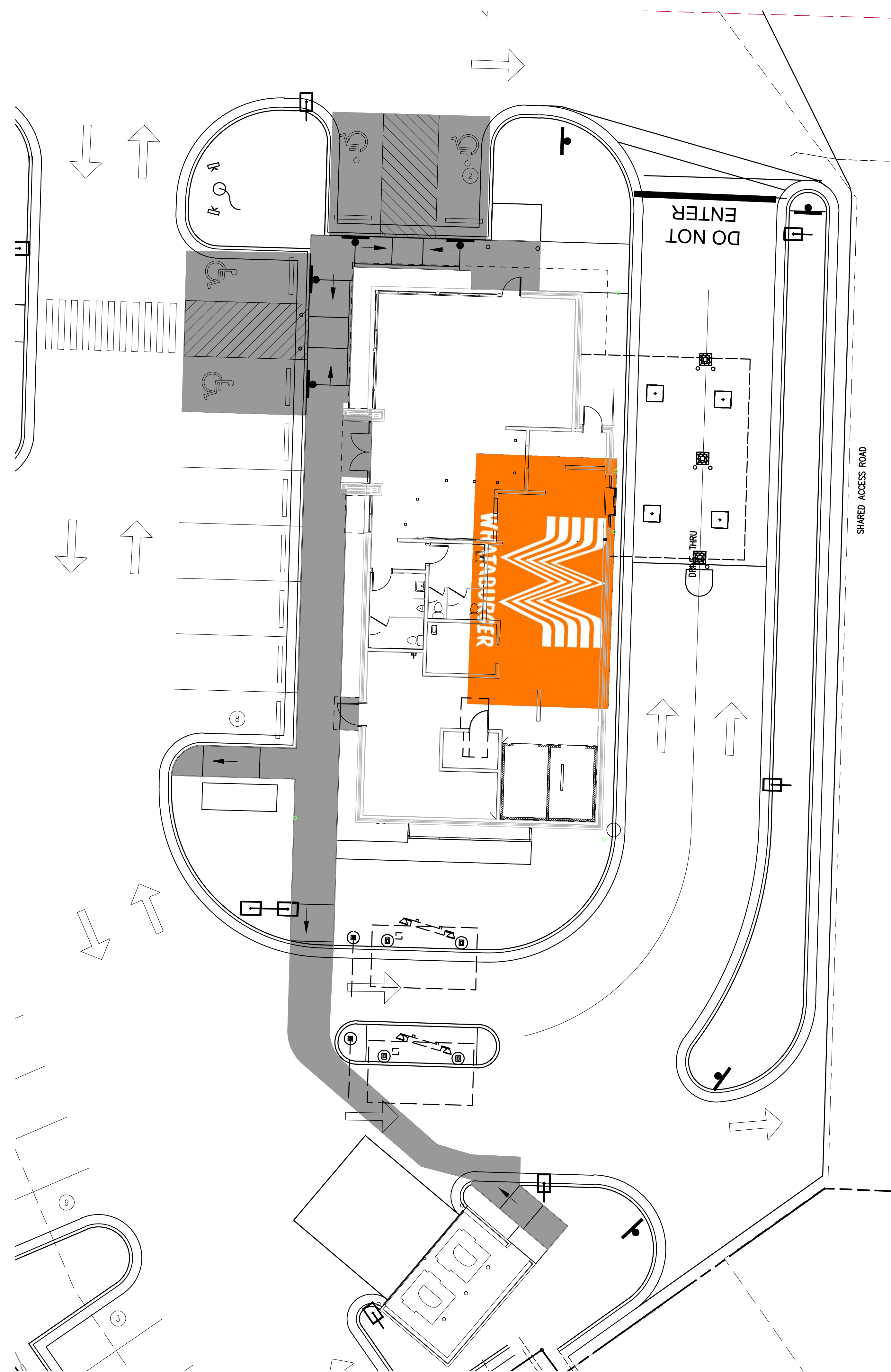
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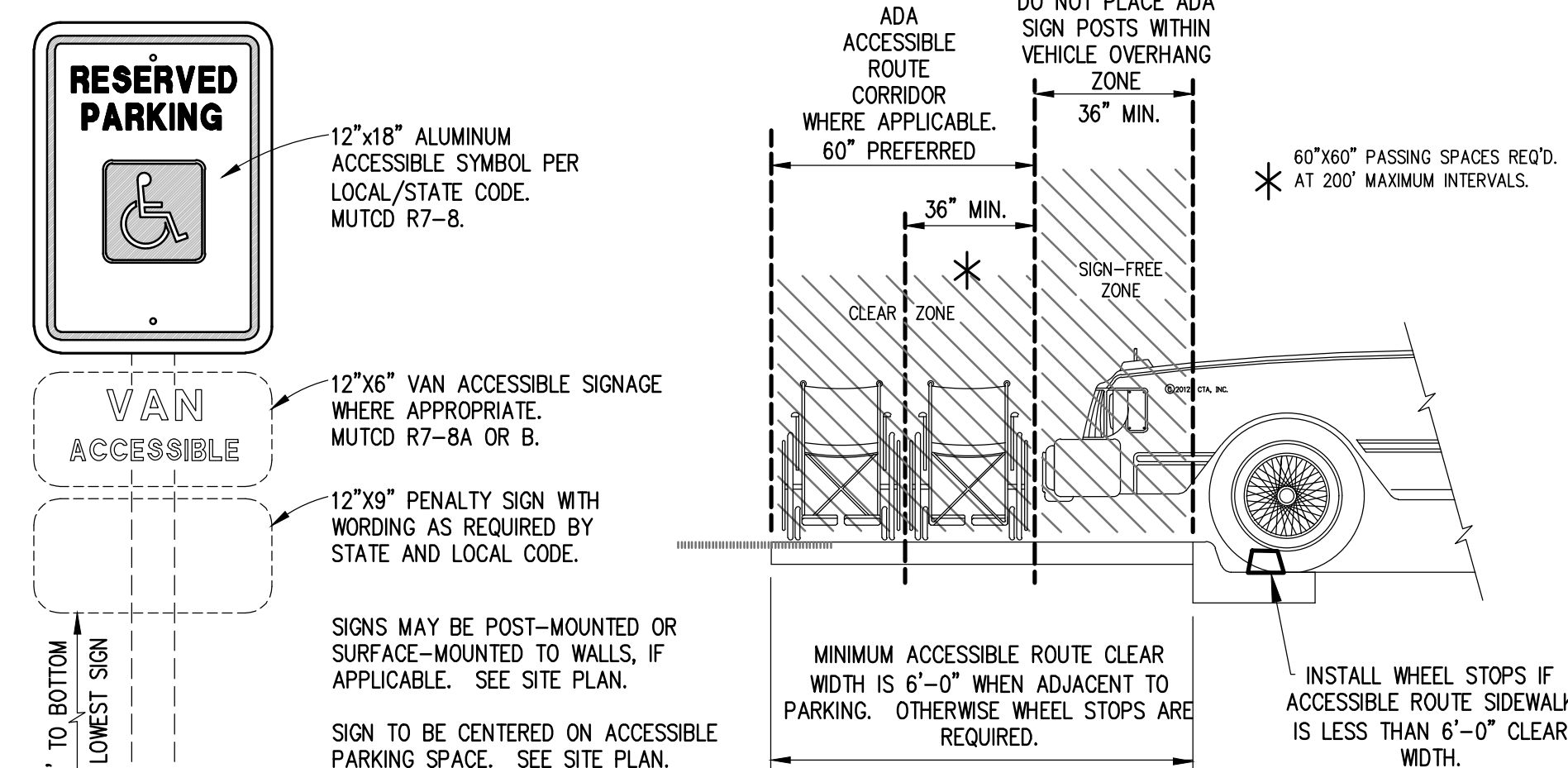
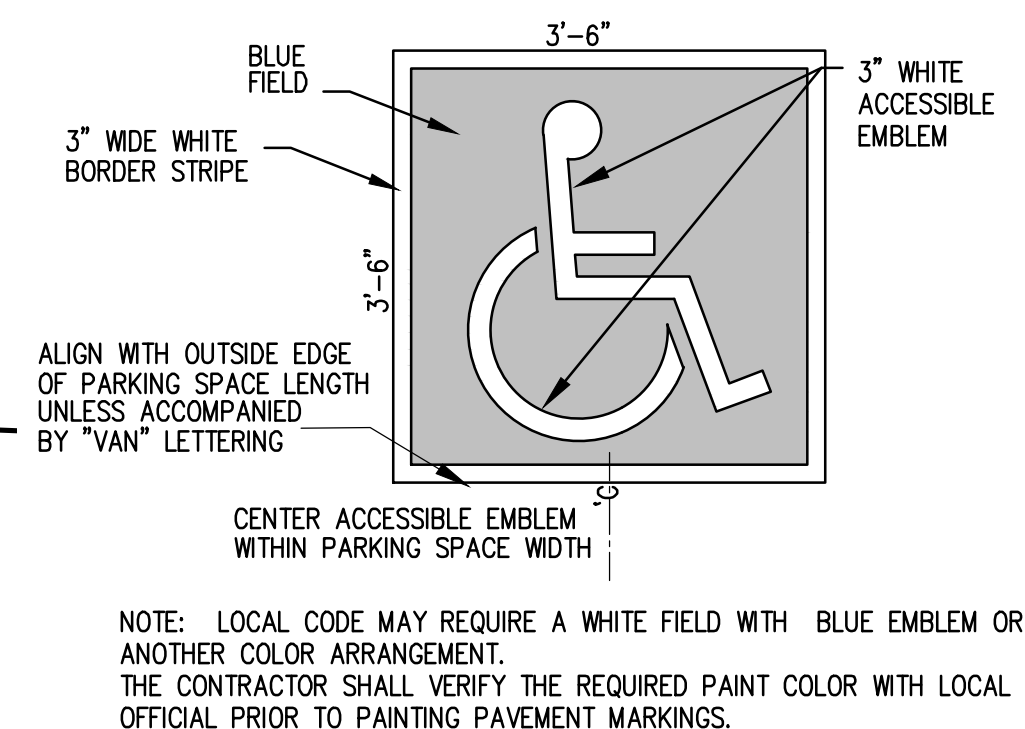
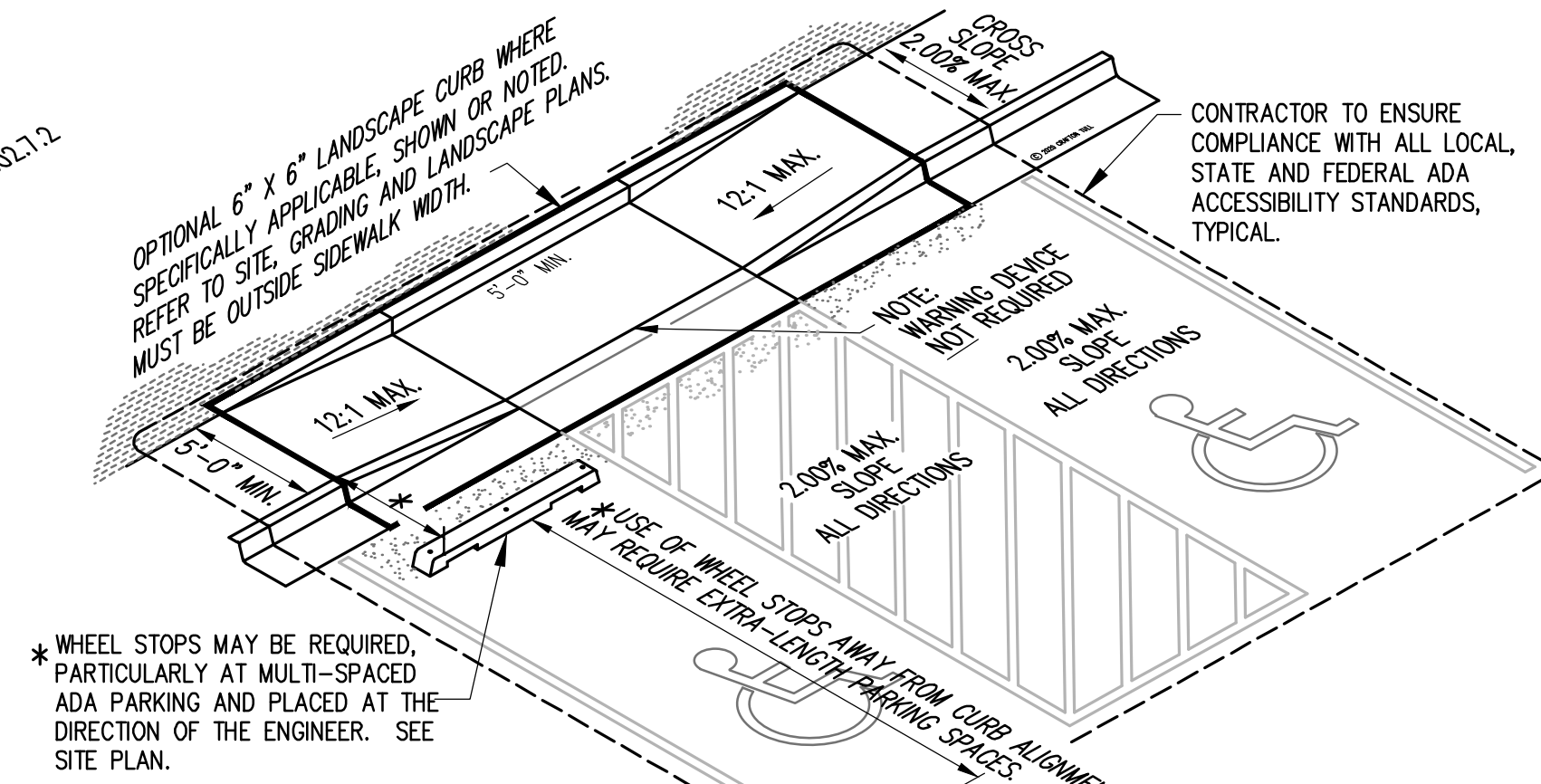
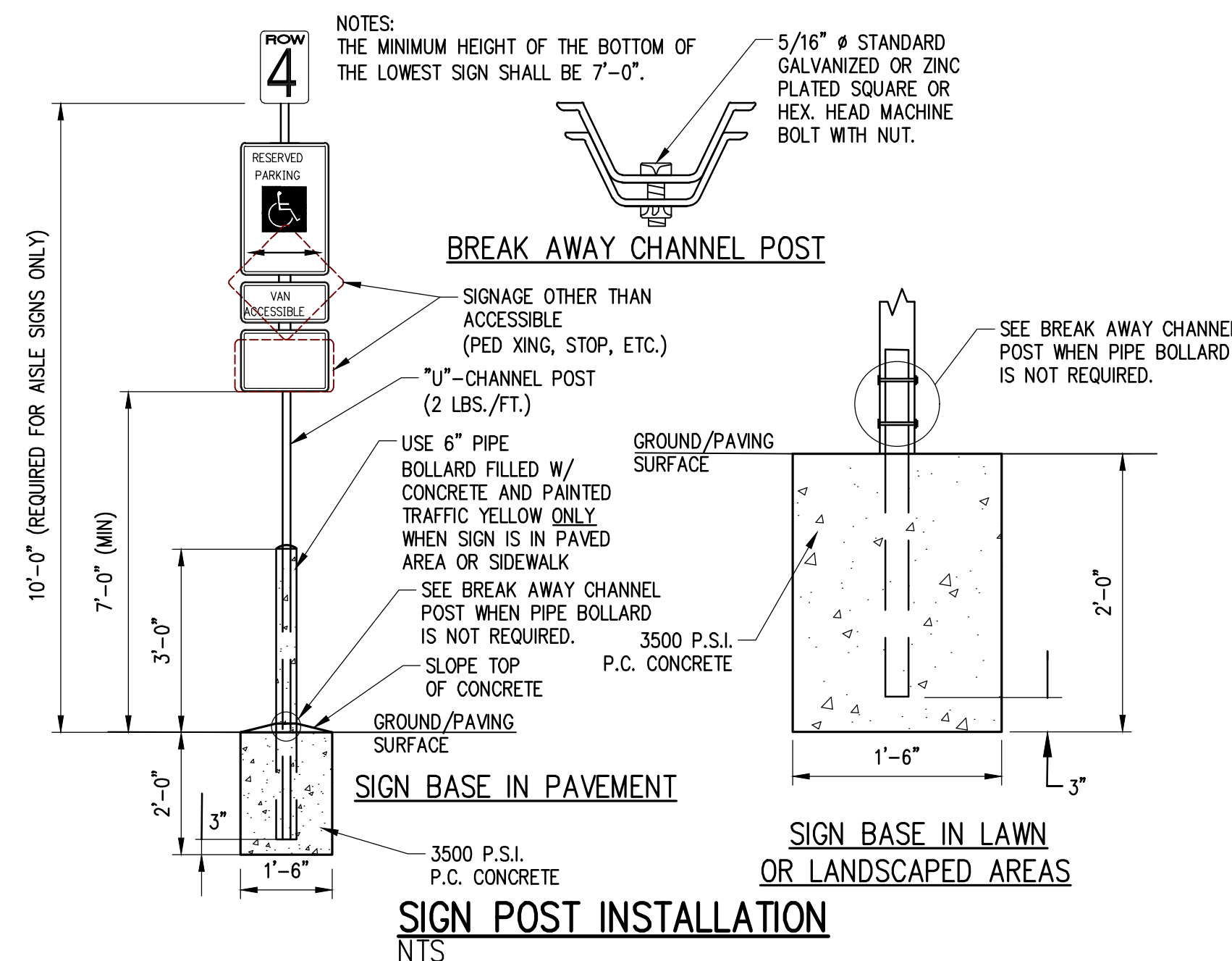
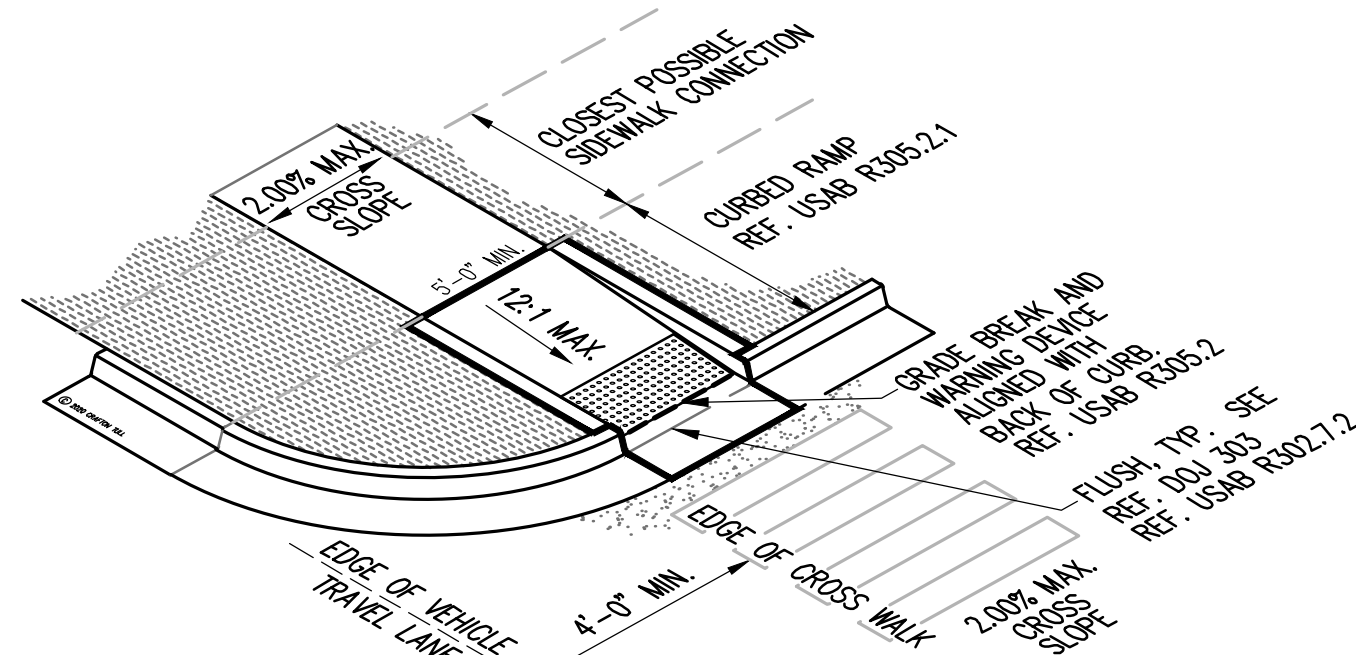


C-102



 ACCESSIBILITY NOTES

-  INDICATES ACCESSIBLE ROUTE.
1. THE AREAS ON THIS SHEET INDICATED BY THIS HATCH PATTERN ARE TO BE CONSIDERED AN ACCESSIBLE ROUTE AND SHALL MEET THE LATEST EDITIONS OF ACCESSIBILITY PROVIDED BY THE AMERICANS WITH DISABILITIES ACT (ADA).
  2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THESE PLANS AND THE ADA GUIDELINES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY IN THE DETAILS AND GRADES PROVIDED ON THE GRADING PLAN PRIOR TO PLACING ANY CONCRETE.
  3. THE MAXIMUM GROSS SLOPE SHALL NOT EXCEED 2% FOR ANY ACCESSIBLE ROUTE.
  4. THE MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% FOR AN ACCESSIBLE ROUTE UNLESS A RAMP IS PROVIDED THAT MEETS THE REQUIREMENTS OF AN ACCESSIBLE ROUTE (SEE DETAILS).
  5. THE MAXIMUM SLOPE OF AN ACCESSIBLE PARKING STALL NOT EXCEED 2% IN ANY DIRECTION.
  6. ACCESSIBLE ROUTE DETAILS FOR SIDEWALKS, CROSSWALKS, RAMPS, HANDRAILS, AND HANDICAP PARKING STALLS ARE PROVIDED ON SHEETS C-103.
  7. NEITHER THE OWNER NOR THE ENGINEER WILL MAKE EXHAUSTIVE CHECKS OF THE CONTRACTOR'S WORK ON THE ACCESSIBLE ROUTES. RATHER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONSTRUCT THE ACCESSIBLE ROUTES PER THE PLANS AND DETAILS ENSURING THAT THEY MEET THE ADA REQUIREMENTS.
  8. AT HIS OWN EXPENSE, THE CONTRACTOR SHALL REMOVE AND REPLACE ANY SECTIONS OF AN ACCESSIBLE ROUTE THAT EXCEED THE MAXIMUM GRADES. THIS SHALL BE STRICTLY ENFORCED.



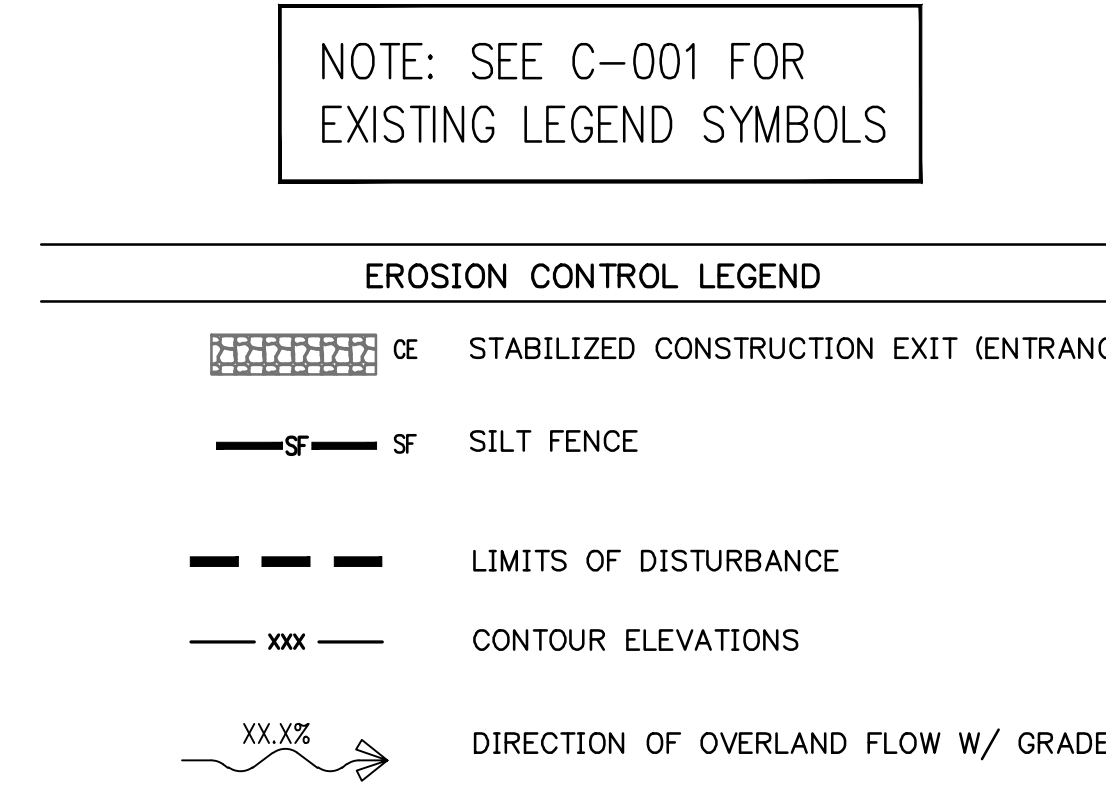






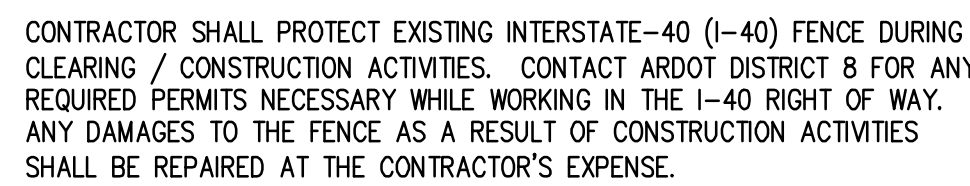






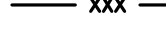
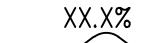






CONTRACTOR SHALL PROTECT EXISTING INTERSTATE-40 (I-40) FENCE DURING CLEARING / CONSTRUCTION ACTIVITIES. CONTACT ARDOT DISTRICT 8 FOR ANY REQUIRED PERMITS NECESSARY WHILE WORKING IN THE I-40 RIGHT OF WAY. ANY DAMAGES TO THE FENCE AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.





	CE	STABILIZED CONSTRUCTION EXIT (ENTRANCE)
	SF	SILT FENCE
		LIMITS OF DISTURBANCE
		CONTOUR ELEVATIONS
		DIRECTION OF OVERLAND FLOW W/ GRADE
	PS	PERMANENT SEEDING
	TPS	TEMPORARY PARKING AND STORAGE
	IP2	CURB INLET FILTER SOCK

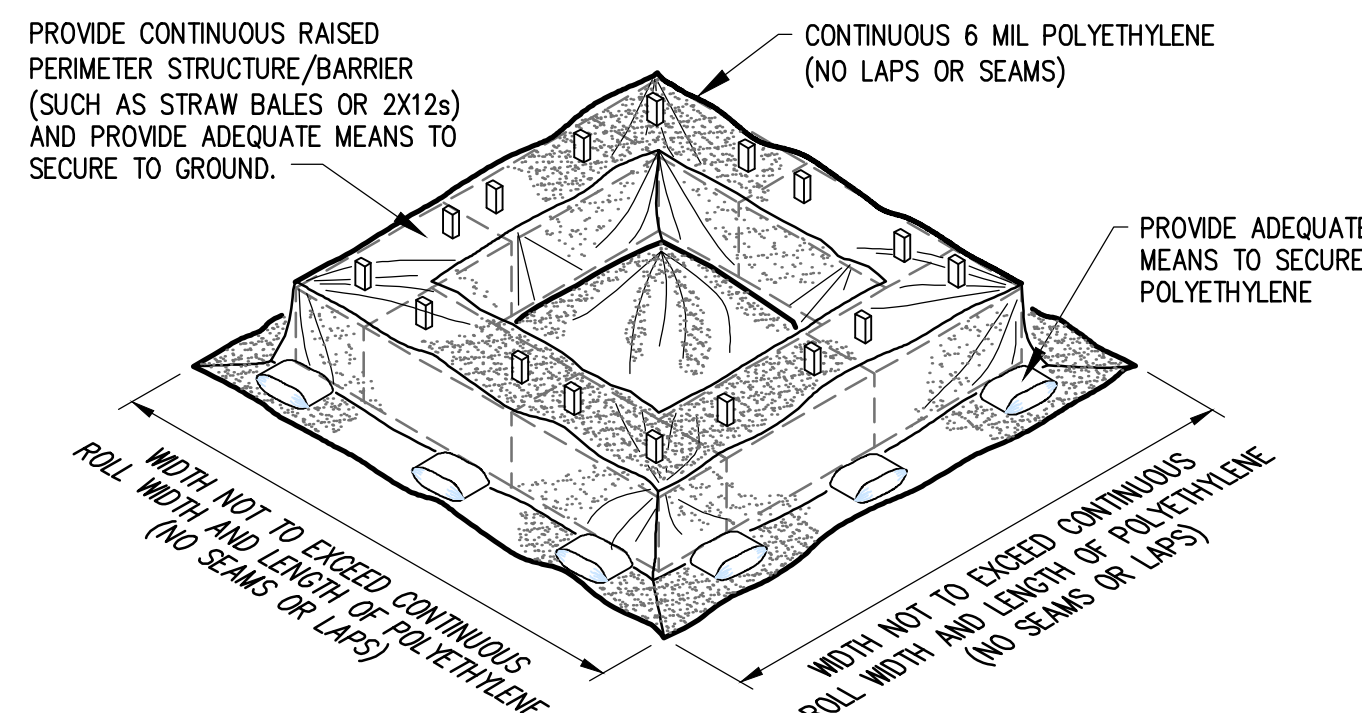








CERTIFICATE OF AUTHORIZATION



### CONCRETE WASH-OUT BASIN

NTS

### SOIL EROSION/SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

[illegible]

## ACREAGE SUMMARY

IMPERVIOUS AREA	0.91 AC
SEEDED AREA	0.20 AC
TOTAL DISTURBED	1.11 AC

DEVELOPER/OWNER:  
R.A. WILSON ENTERPRISES, INC  
PO BOX 6480  
HOT SPRINGS, ARKANSAS 71902

GENERAL CONTRACTOR:  
MILLER BROTHERS CONSTRUCTION  
MATT MILLER  
(501) 545-0592

SUPERINTENDENT:  
TBD

T.B.M.

ENTER BENCHMARK INFORMATION



USGS QUADRANGLE MAP

NTS

VICINITY MAP

NTS



- PHASE I

1. INSTALL STABILIZED CONSTRUCTION ENTRANCES/EXITS.
2. PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASH-OUT, MASON'S AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
3. CONSTRUCT THE SILT FENCES ON THE SITE.
4. CONSTRUCT THE SEDIMENTATION AND SEDIMENT TRAP BASINS.
5. HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEER CONSULTANT TO PERFORM INSPECTION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRE-CONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
6. CLEAR AND GRUB THE SITE.
7. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
8. BEGIN GRADING THE SITE.

## PHASE II

1. TEMPORARILY SEED DENUDEED AREAS.
2. INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
3. INSTALL RIP-RAP AROUND OUT STRUCTURES.
4. INSTALL INLET PROTECTION AROUND ALL STORM SEWER STRUCTURES.
5. PREPARE SITE FOR PAVING.
6. PAVE SITE.
7. INSTALL INLET PROTECTION DEVICES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES IF SITE IS STABILIZED.

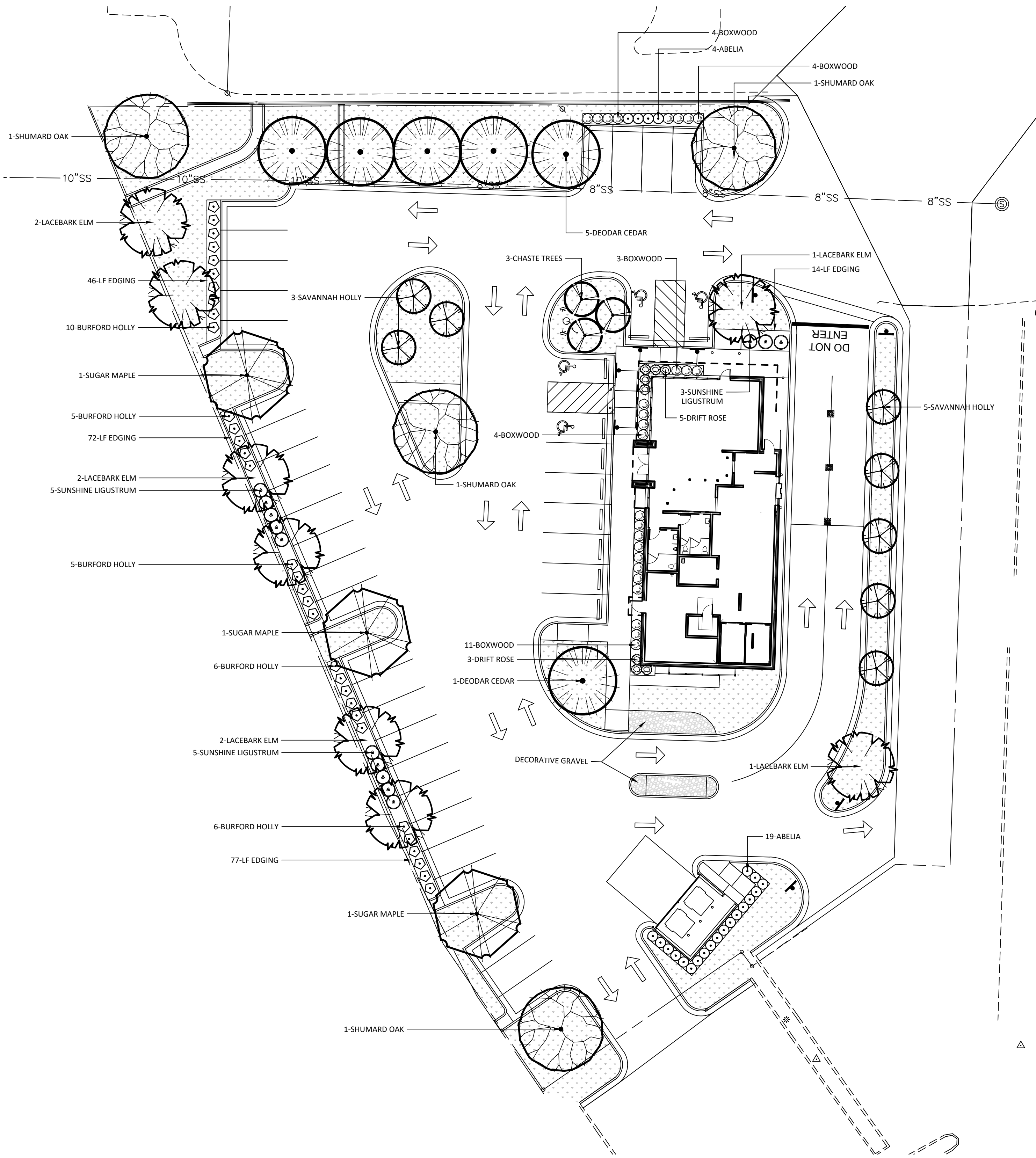
GENERAL EROSION NOTES:

- THE STORMWATER POLLUTION PREVENTION MEASURES PLAN IS COMPRISED OF THIS DRAWING (SITE MAP), THE STANDARD DETAILS, THE PLAN NARRATIVE, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- B. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE STATE OF ARKANSAS NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS.
- C. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- D. BEST MANAGEMENT PRACTICES (BMP) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AND APPLICABLE CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY THE PERMITTING AGENCY OR OWNER.
- E. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON THE SITE AT ALL TIMES.
- F. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- G. GENERAL CONTRACTOR SHALL DENOTE THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, AND AREA FOR PORTABLE FACILITIES, OFFICE TRAILERS AND TOILET FACILITIES.
- H. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE AND EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- I. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- J. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- K. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM BEING BLOWN OR WASHED OFF-SITE.
- L. ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THIS PLAN AND SWPPP SHALL BE INITIATED AS SOON AS POSSIBLE.
- M. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 14 DAYS SHALL BE TEMPORARY SEEDED.
- N. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- O. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCE/EXIT IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES EXIT ONTO THE PUBLIC ROADS. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF-SITE.
- P. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- Q. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT FROM THE CONSTRUCTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- R. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH THE GENERAL PERMIT.
- S. SLOPES MUST BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- T. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, STRAW BALES, ETC.) TO PREVENT EROSION.
- U. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.







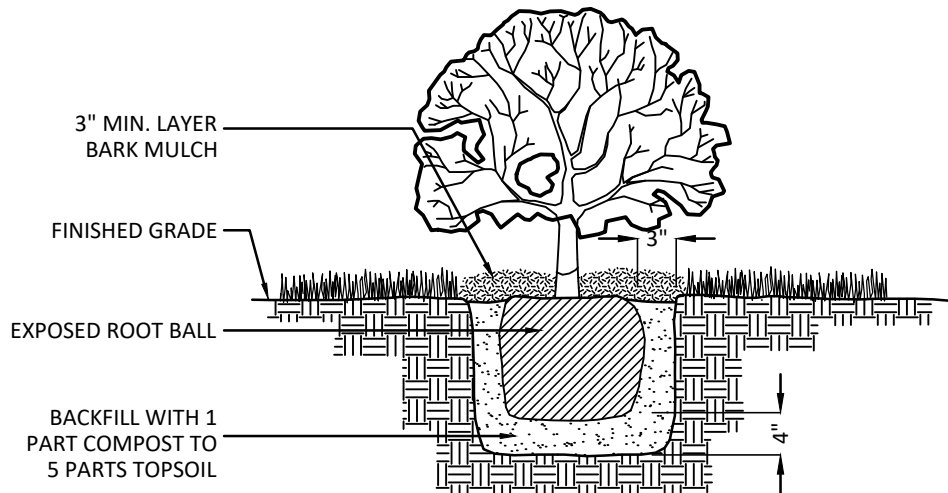


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Planning & Development  
11/02/2023 11:38:03 AM

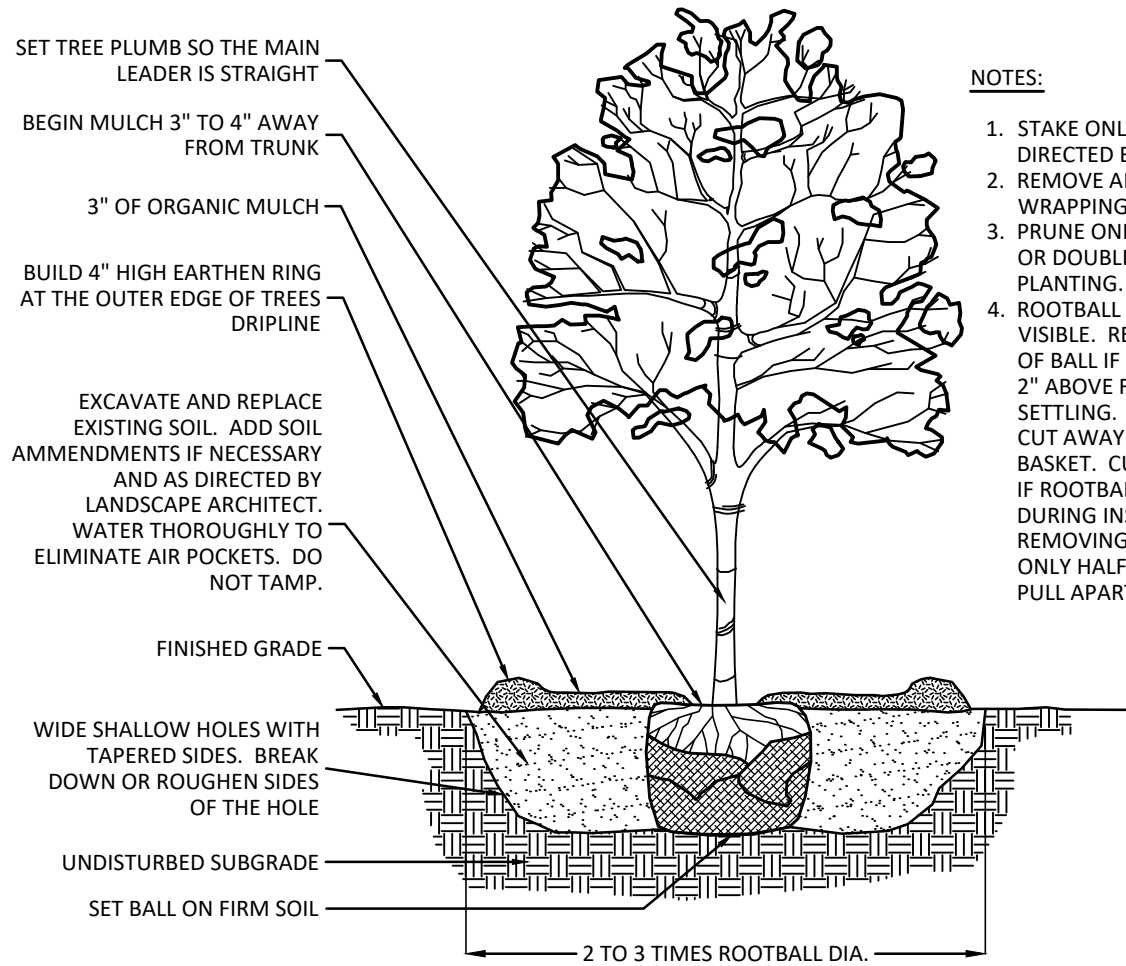
PLANT MATERIALS LIST:				
COMMON NAME	SCIENTIFIC NAME	QUAN.	SIZE	REMARKS
T R E E S				
Caddo Sugar Maple	Acer saccharum 'Caddo'	3	2" cal.	Single-Trunk, Full Crown
Deodar Cedar	Cedrus deodara	6	2" cal.	Single-Trunk, Full Crown
Savannah Holly	Ilex x attenuata 'Savannah'	8	1" cal	Single-Trunk, Full Crown
Shumard Oak	Quercus shumardii	4	2" cal	Single-Trunk, Full Crown
Lacebark Elm	Ulmus parvifolia	8	2" cal.	Single-Trunk, Full Crown
Chaste Tree	Vitex agnus-castus	3	1" cal	Multi-Trunk, Full Crown
S H R U B S				
Boxwood	Buxus microphylla 'Wintergreen'	26	3 gal	Full
Sunshine Ligustrum	Ligustrum sinense 'Sunshine'	13	3 gal	Full
Abelia	Abelia x grandiflora 'Little Richard'	13	3 gal	Full
Burford Holly	Ilex cornuta 'Burfordii'	22	3 gal	Full
Drift Rose	Rosa hybrid 'Meidrifora'	8	3 gal	Full

- GENERAL LANDSCAPE NOTES:**
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL PLANT QUANTITIES.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CALCULATION OF ALL GRASS AND MULCH AREAS. VERIFY LOCATIONS WITH OWNER. VERIFY LOCATIONS WITH OWNER.
  - ADJUSTMENTS IN ACTUAL LOCATION OF PLANT MATERIAL MAY BE NECESSARY DUE TO EXISTING FIELD ITEMS (AIR CONDITIONERS, TRANSFORMERS, ETC.).
  - FULL BED PREPARATION TYPICAL. REFERENCE PLANTING DETAILS.
  - LANDSCAPE CONTRACTOR TO PROVIDE A UNIT COST (INCLUDING INSTALLATION) FOR ALL ITEMS.
  - WHEN THE SAME SPECIES OF TREES ARE PAIRED OR GROUPED IN 3 OR MORE, THEY SHOULD BE MATCHED IN SIZE, SHAPE, GROWTH CHARACTERISTICS, ETC.
  - PLANT MATERIAL AVAILABILITY SHALL BE CONFIRMED BY LANDSCAPE CONTRACTOR PRIOR TO BIDDING. SHOULD SPECIFIED MATERIAL NOT BE AVAILABLE, THE OWNER AND ENGINEER SHALL BE NOTIFIED PRIOR TO BID DATE.
  - VERIFY LOCATION OF ALL UTILITY LINES PRIOR TO INSTALLATION. FIELD ADJUST FOR GENERAL INTENT IF CONFLICT EXISTS.
  - THE LANDSCAPE CONTRACTOR SHALL NOT ELIMINATE, SUBSTITUTE, AND/OR DOWNSIZE PLANT MATERIAL WITHOUT PRIOR APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT, AND CITY OF CONWAY PLANNING DEPARTMENT. MINIMUM STANDARDS AND REQUIREMENTS OF THE CITY OF CONWAY MUST BE MAINTAINED.
  - PLANTING BEDS AND TREES, UNLESS OTHERWISE NOTED ON THE PLAN, TO RECEIVE 3 INCHES OF HARDWOOD MULCH TYPICAL.
  - ALL PLANT MATERIALS SHALL BE MAINTAINED BY OWNER IN A HEALTHY AND GROWING CONDITION, AND BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED (SEE WARRANTY INFORMATION).
  - LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING.
  - ALL LANDSCAPE AREAS SHALL BE CONSTRUCTED, INSTALLED, AND MAINTAINED SO AS NOT TO CONSTRUCT VIEW OF MOTORISTS BETWEEN THE STREET AND THE ACCESS DRIVES. VISIBILITY TRIANGLES SHALL ALWAYS REMAIN UNOBSTRUCTED.
  - ALL PERMEABLE SURFACES NOT OCCUPIED BY TREES, SHRUBS, PLANTING BEDS, EXISTING GRASS, SIGNS, AND OTHER PERMITTED ITEMS OR FIXTURES SHALL BE LAWN AREAS. THESE LAWN AREAS, UNLESS SPECIFIED OTHERWISE, SHALL BE BERMUDA GRASS.
  - PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS, FULL BRANCHED ON ALL SIDES, WELL SHAPED SYMMETRICAL AND SHALL BE FREE OF DEFECTS, DECAY, SUN-SCALD INJURIES, ABRASIONS OF THE BARK AND LIMBS, DISEASE, INSECT EGGS AND LARVA.
  - THE OWNER OR ENGINEER HAS THE RIGHT TO INSPECT ALL MATERIALS PRIOR TO AND AFTER DELIVERY TO THE SITE AS WELL AS AFTER INSTALLATION AND SHALL RESERVE THE RIGHT TO ACCEPT OR REJECT SAID MATERIALS AT ANY TIME.
  - CONTRACTOR TO INSTALL AN UNDERGROUND POP-UP TYPE IRRIGATION SYSTEM. IRRIGATION SYSTEM SHALL WATER ALL LANDSCAPE PLANTING AND LAWN AREAS. ADJUSTMENTS TO THE SYSTEM SHALL LIMIT OVERSPRAY ONTO ADJACENT ROADWAYS AND CONSERVE WATER TO THE GREATEST EXTENT POSSIBLE. IRRIGATION CONTRACTOR TO COORDINATE WITH CIVIL ENGINEER AND SITE CONTRACTOR FOR LOCATION OF SLEEVE FOR IRRIGATION SYSTEM.
  - TOPSOIL SHALL BE FERTILE NATURAL SURFACE SOIL, UNIFORM IN COMPOSITION, SIMILAR TO SITE TOPSOIL IF APPROVED, FREE OF STONES LUMPS WEEDS, AND ROOTS. MINIMUM 20 PERCENT ORGANIC MATTER, 50 TO 50 PERCENT SAND, 15-20 PERCENT CLAY.
  - THERE SHALL BE A 3 INCH MINIMUM LAYER OF GOOD TOPSOIL IN ALL GRASS AREAS. GRADE AREAS AROUND SIDEWALKS AND CURBS 1 INCH BELOW TOP OF CONCRETE TO ALLOW FOR SOD THICKNESS.
  - TOPSOIL IN PLANTING BEDS TO BE MOUNDED AND GRADED IN A WAY TO ALLOW POSITIVE DRAINAGE AWAY FROM BUILDING AND TO DETER ANY PONDING.
  - REFERENCE CIVIL ENGINEER PLANS FOR GRADING AND DRAINAGE.

**WARRANTY:**  
ALL WORK IS WARRANTED FOR (1) FULL YEAR AFTER INITIAL ACCEPTANCE. THE LANDSCAPE CONTRACTOR IS OBLIGATED TO CORRECT ANY WORK FOUND TO BE DEFECTIVE OR NONCONFORMING. UPON NOTICE, REMOVE DEAD MATERIALS AND ALL MATERIALS NOT IN VIGOROUS, THRIVING CONDITION, AS SOON AS WEATHER PERMITS AND ON NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER. PLANTS, INCLUDING TREES, WHICH HAVE PARTIALLY DIED SO THAT SHAPE, SIZE OR SYMMETRY HAS BEEN DAMAGED, SHALL BE CONSIDERED FOR REPLACEMENT. IN SUCH CASES, THE OPINION OF THE LANDSCAPE ARCHITECT WILL BE FINAL. ANNUAL PLANTS WILL BE GUARANTEED FOR A PERIOD COINCIDING WITH THEIR NORMAL SEASON OF GROWTH. PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE AS THOSE ORIGINALLY PLANTED, AND SHALL BE PLANTED AS ORIGINALLY SPECIFIED. ALL WORK, INCLUDING MATERIALS, LABOR, AND EQUIPMENT USED IN REPLACEMENT, WILL BE AT NO COST TO THE OWNER. REPLACEMENT PLANTS SHALL CARRY A ONE (1) YEAR WARRANTY. ANY DAMAGE, INCLUDING RUTS IN LAWN OR BED AREAS, INCURRED IN MAKING REPLACEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER OR LANDSCAPE ARCHITECT BY THE LANDSCAPE CONTRACTOR.



1 DETAIL - SHRUB PLANTING  
SCALE - NTS



2 DETAIL - TREE PLANTING  
SCALE - NTS



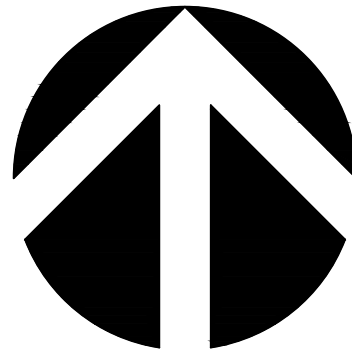
# LANDSCAPE PLAN WHATABURGER CONWAY, ARKANSAS

REVISIONS:  
(1) 10/25/23 - CITY COMMENTS

DATE:  
AUGUST 2, 2023

SCALE: 20" = 0'  
0' 20' 40'

NORTH







CITY OF CONWAY | 1111 Main Street  
Planning and Development | Conway, AR 72032  
T 501.450.6105  
F 501.450.6144  
www.conwayarkansas.gov

**November 3, 2023**

Crafton Tull & Associates  
928 Airport Road  
Hot Springs, AR 71913

**Project No. SDR-0923-0139**

**EXCEPTION REPORT TO CITY COUNCIL PURSUANT TO ZONING CODE SEC. 1007 - EXCEPTIONS**

- 1) Applicant requested an **EXCEPTION** from Section **1007.4.E.2.a.iii of the Zoning Code**.

**Project Name:** Whataburger

The Director has **APPROVED** the following exception to Development Review Requirements:

**Requirement:**

1007.4.E.2.a.iii – Considerations For Traffic, Access, Parking, and Loading

*Parking lots shall be designed with a hierarchy of circulation: Major access drives with no parking, framed by use of one or more of the following: building facades, sidewalks, low walls, trees, and/or shrubs. Maximum of forty (40) feet in width. Major circulation aisles with little or no parking, generally adjacent to the building(s) being served, and typically wide enough to allow for drop-offs and pick-ups. Maximum of thirty-four (34) feet in width. **Narrower parking aisles to reduce speeds and allow for direct access to parking spaces. Maximum of twenty (20) feet in width.***

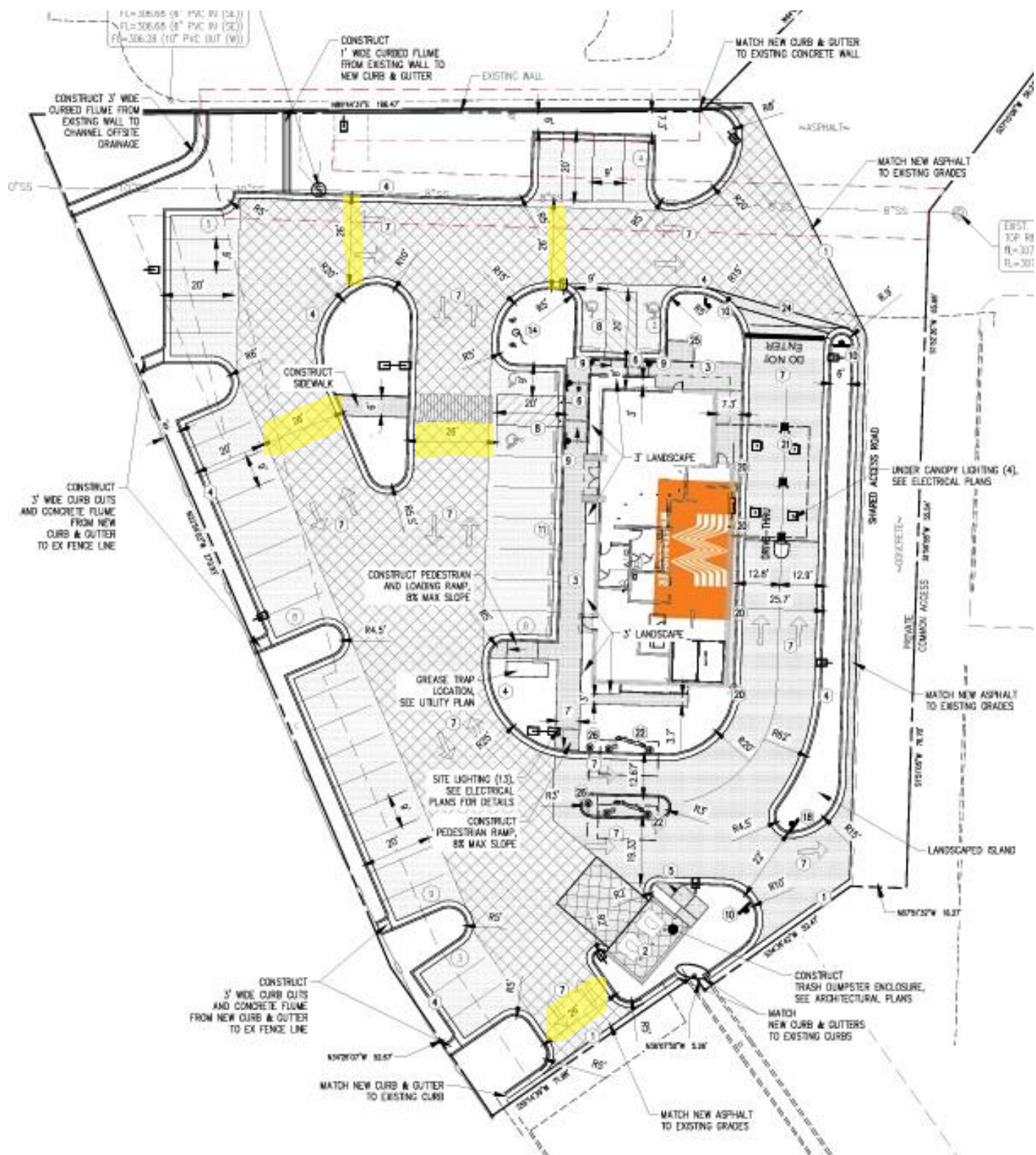
**Exception(s) Granted:** The applicant is requesting an exception to the maximum width of twenty (20) feet width parking aisle due to potential issues regarding sanitation and delivery truck circulation as well as customer traffic that includes larger trucks and trucks with trailers. It is the opinion of the Director this represents a site specific hardship that is worthy of an exception. The applicant will be permitted to construct parking aisles no wider than twenty-six (26) feet in width.

*Refer to attachments provided.*

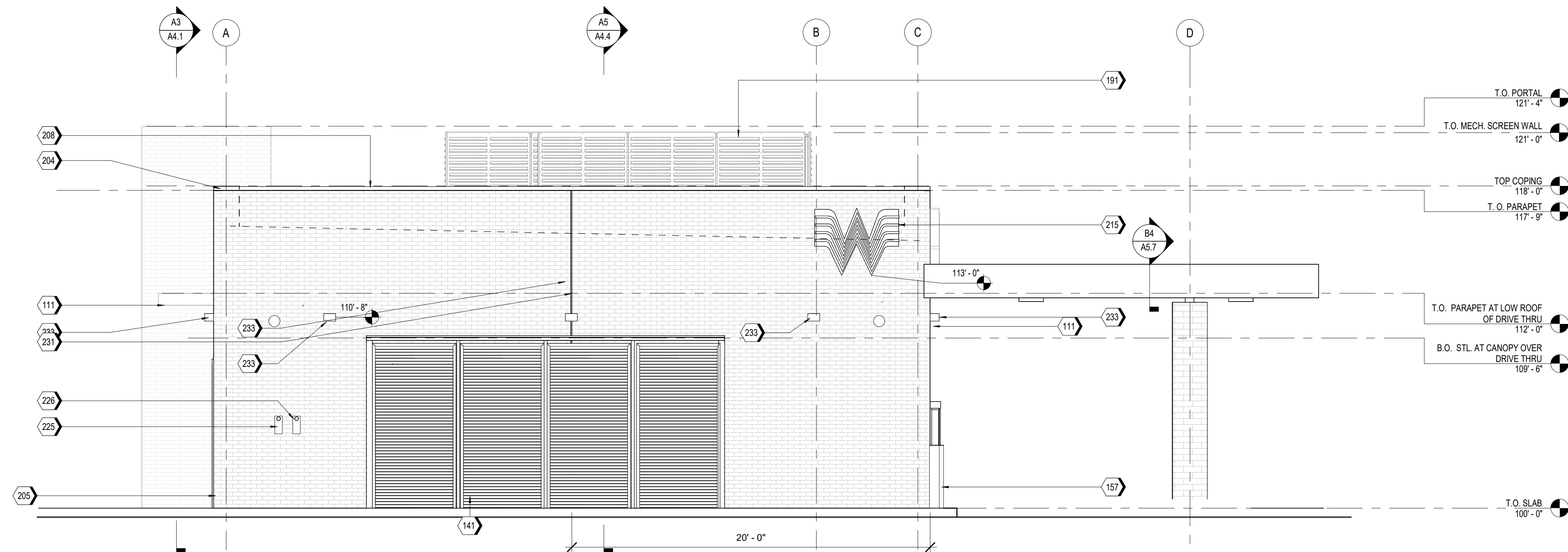
Thank you,

Troy Rice  
Interim Director of Planning and Development





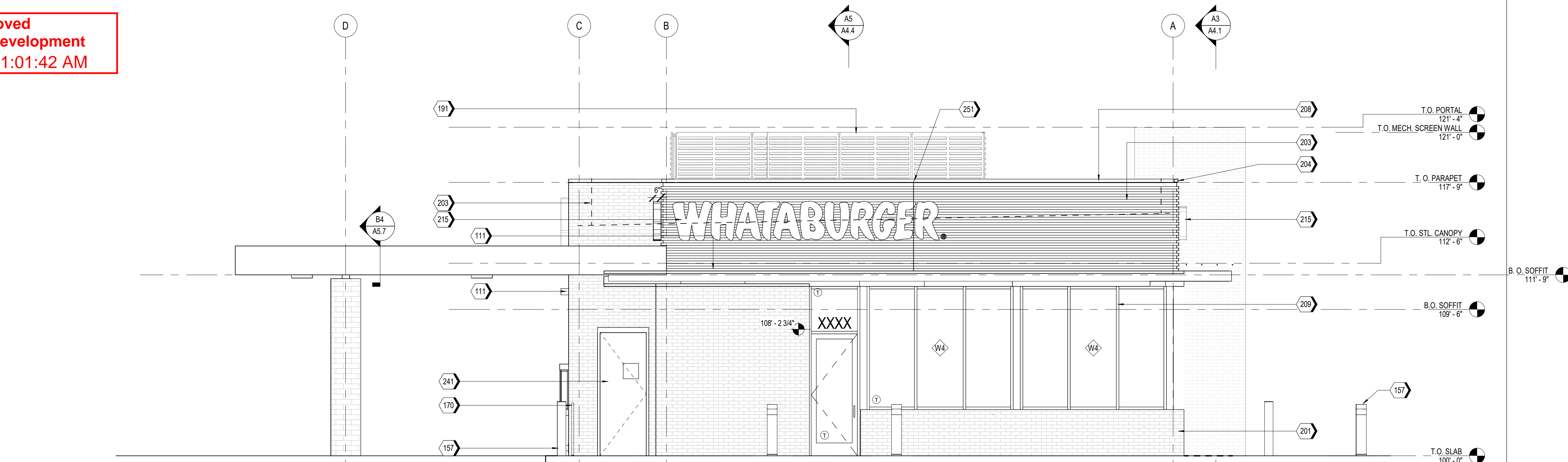




A2 SOUTH ELEVATION  
SCALE 1/4" = 1'-0"

Proposed - 0% Corrugated Metal  
Original - 27% Corrugated Metal

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Planning & Development  
11/02/2023 11:01:42 AM



A1 NORTH ELEVATION  
SCALE 1/4" = 1'-0"

Proposed - 23% Corrugated Metal  
Original - 26% Corrugated Metal

### KEYNOTES

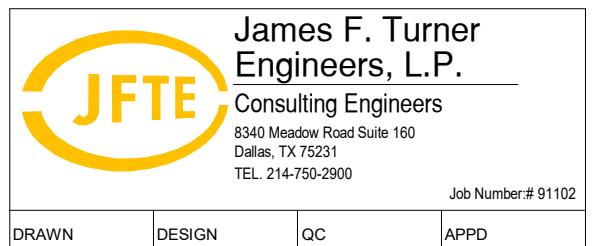
111	ENTERRA PRE-MANUFACTURED CANOPY
141	ENTERRA PRE-MANUFACTURED ELECTRICAL PANEL SCREEN
157	PIPE BOLLARDS: IDEAL SHIELD, RE: SPECIFICATIONS. 402 GRAY, PANTONE 402C. RE: D3/S5.1
170	GUARDRAIL RE: B4/A0.1
191	ENTERRA PRE-MANUFACTURED ROOF SCREEN
201	WIRELESS ACCESS POINT
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02: PRE-FINISHED METAL FLASHING
205	BR-01: BRICK VENEER, COLOR PARK AVENUE
206	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE WOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
226	STAINLESS STEEL SHIELD W/ 1/2" HOLE THROUGH WALL FOR CO2 PORT
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
241	PAINT (PT-5) EXTERIOR DOORS.

### KEYNOTES

251	EXPANSION JOINTS: PLEASE FOLLOW MANUFACTURERS RECOMMENDATION
-----	--

### NOTES

- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



Date Description

These drawings and associate specifications are the exclusive and confidential property of Whataburger and shall not be reproduced without written authorization of the Owner. Reproduction of prototype drawings for reuse as construction documents is not authorized.

Seal / Signature

Project Name  
WHATABURGER CONWAY, AR

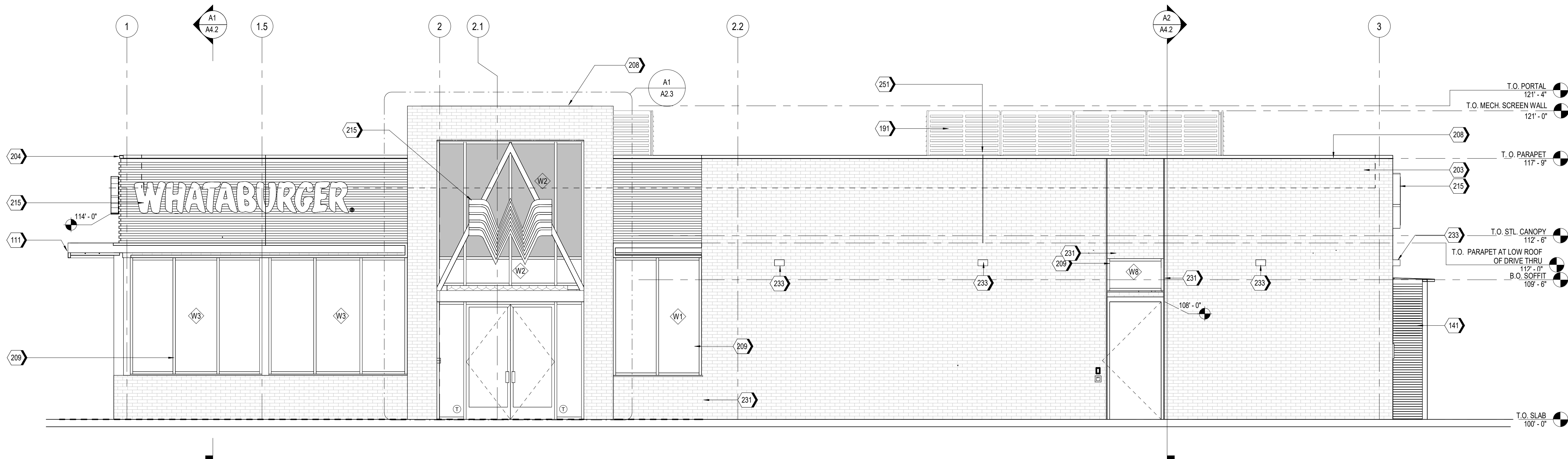
Project Number  
WB0005

Description  
EXTERIOR ELEVATIONS

Scale  
As indicated

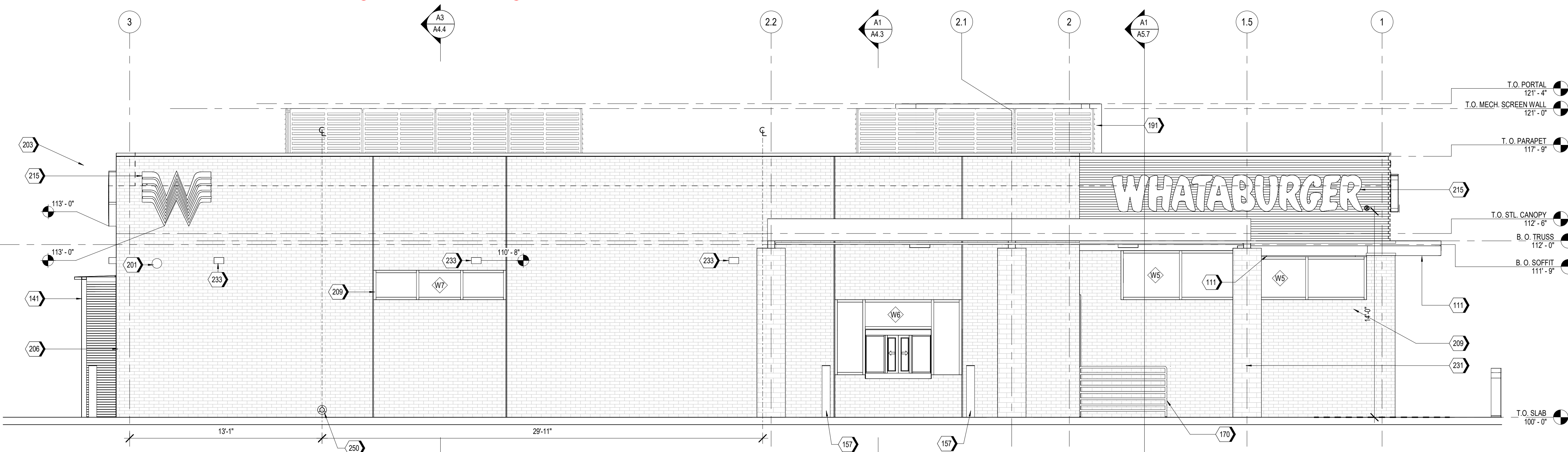
A2.1





**A2 WEST ELEVATION**  
SCALE 1/4" = 1'-0"

Proposed - 9% Corrugated Metal  
Original - 27% Corrugated Metal



**A1 EAST ELEVATION**  
SCALE 1/4" = 1'-0"

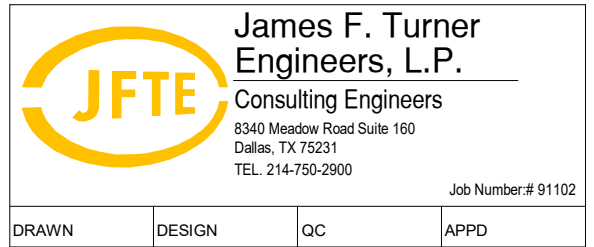
Proposed - 7% Corrugated Metal  
Original - 29% Corrugated Metal

### KEYNOTES

111	ENTERRA PRE-MANUFACTURED CANOPY
141	ENTERA PRE-MANUFACTURED ELECTRICAL PANEL SCREEN
157	PIPE BOLLARDS: IDEAL SHIELD. RE: SPECIFICATIONS. 402 GRAY, PANTONE 402C. RE D3/S5.1
170	GUARDRAIL RE B4/A0.1
191	ENTERA PRE-MANUFACTURED ROOF SCREEN
201	WIRELESS ACCESS POINT
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
204	MP-02: PRE-FINISHED METAL FLASHING
206	BR-02: BRICK VENEER. COLOR DOESKIN
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
215	ILLUMINATED SIGNAGE BY OTHERS. G.C. TO PROVIDE WOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
231	MASONRY EXPANSION CONTROL JOINT
233	EXTERIOR LIGHT FIXTURE. RE: ELECTRICAL
250	DOWNSPOUT NOZZLE 6 INCHES ABOVE INTERIOR FINISH FLOOR
251	EXPANSION JOINTS. PLEASE FOLLOW MANUFACTURERS RECOMMENDATION

### NOTES

- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



Date	Description
------	-------------

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Seal / Signature

Project Name  
WHATABURGER CONWAY, AR

Project Number

WB0005

Description

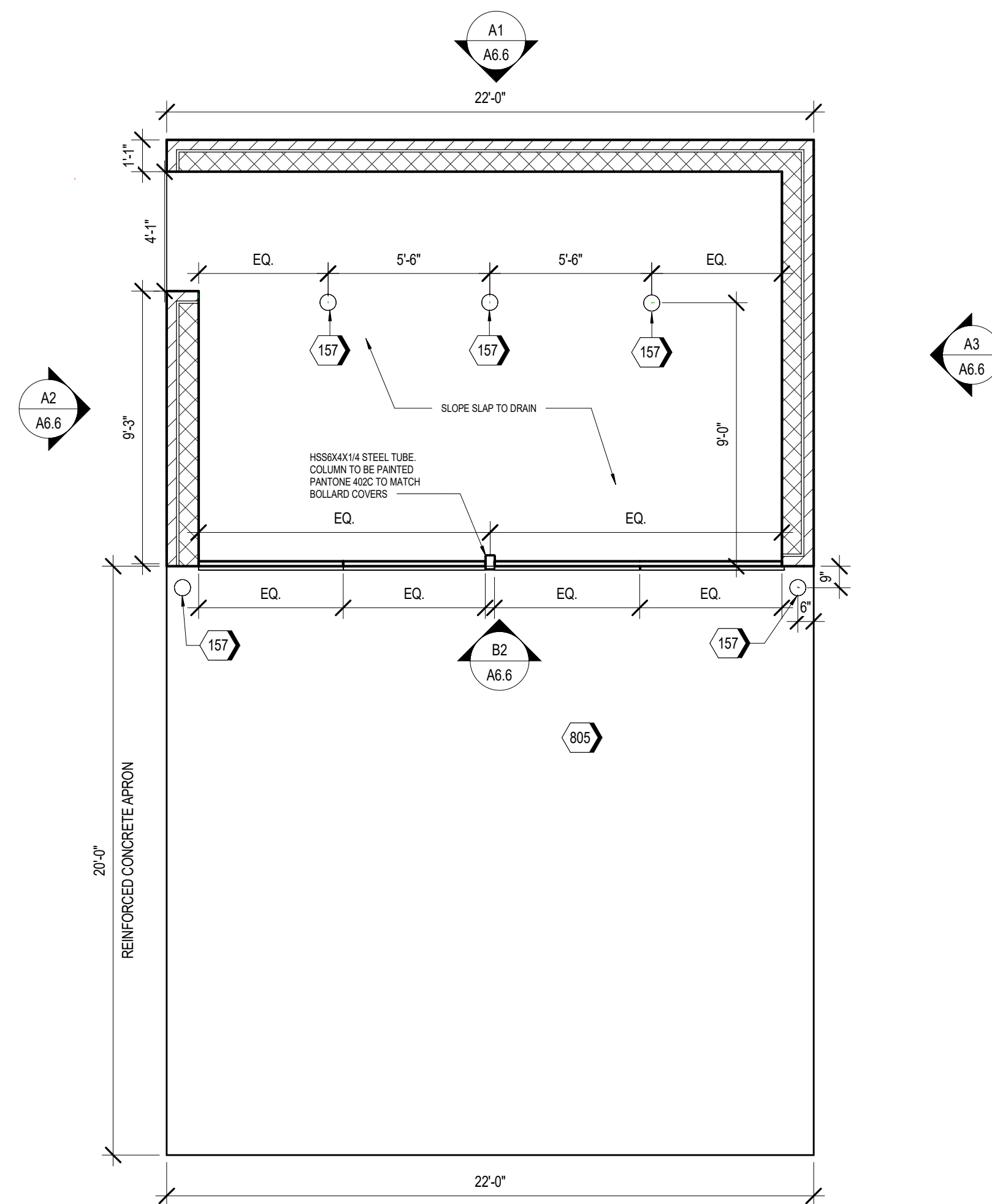
EXTERIOR ELEVATIONS

Scale

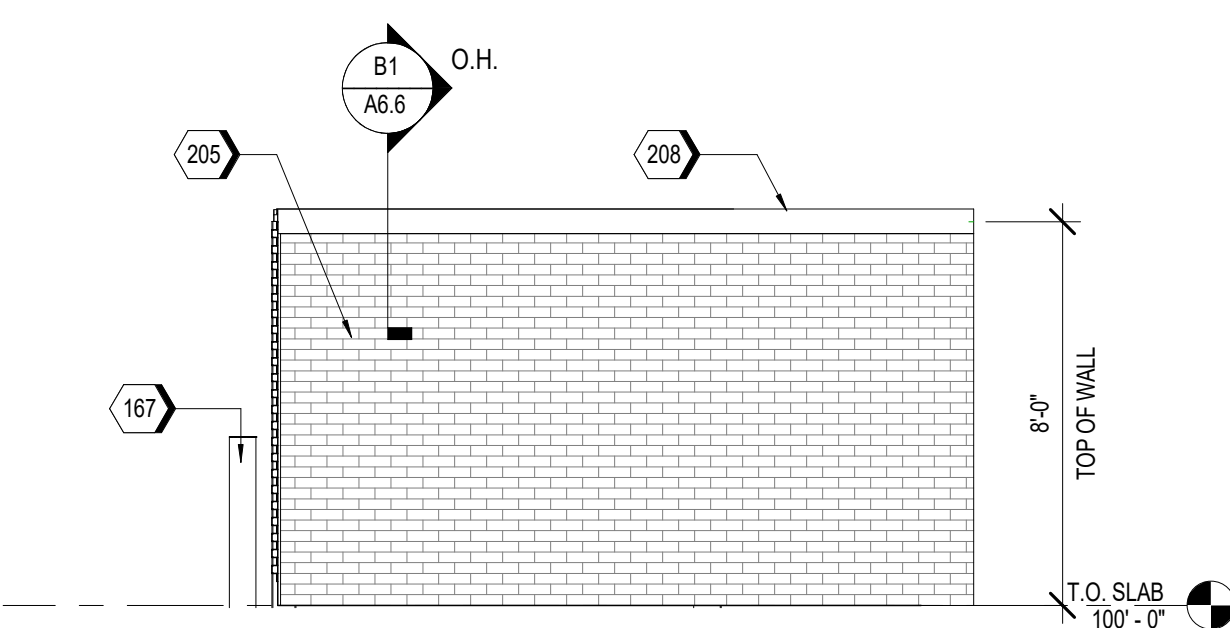
1/4" = 1'-0"

**A2.2**

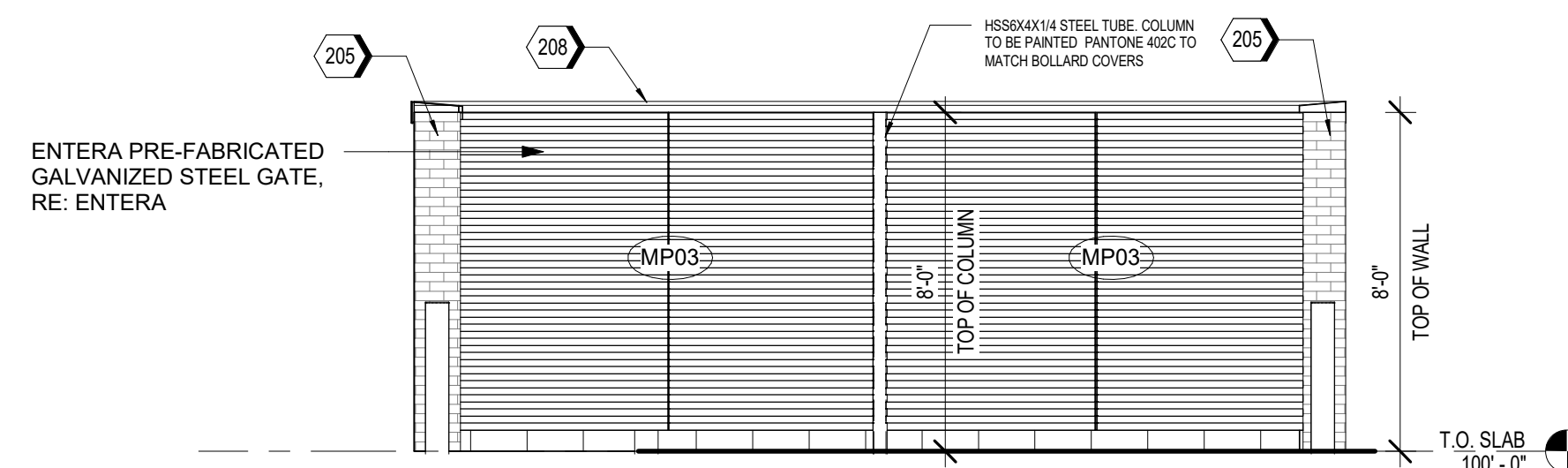




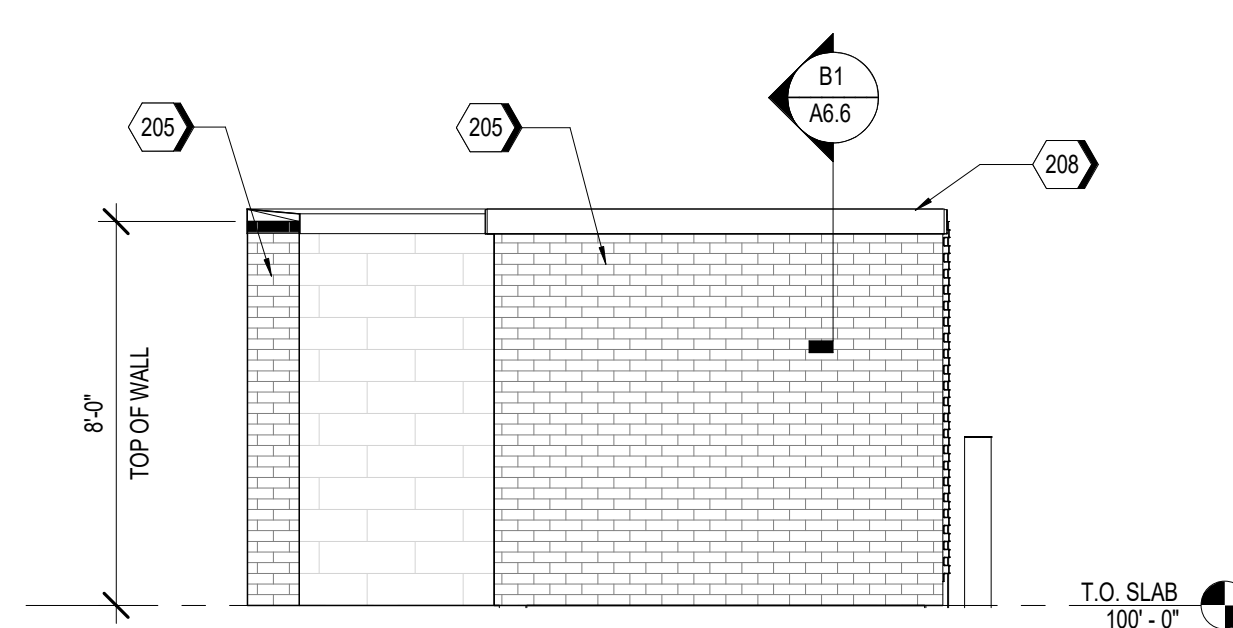
**B3** DUMSTER ENLARGED PLAN  
SCALE 1/4" = 1'-0"



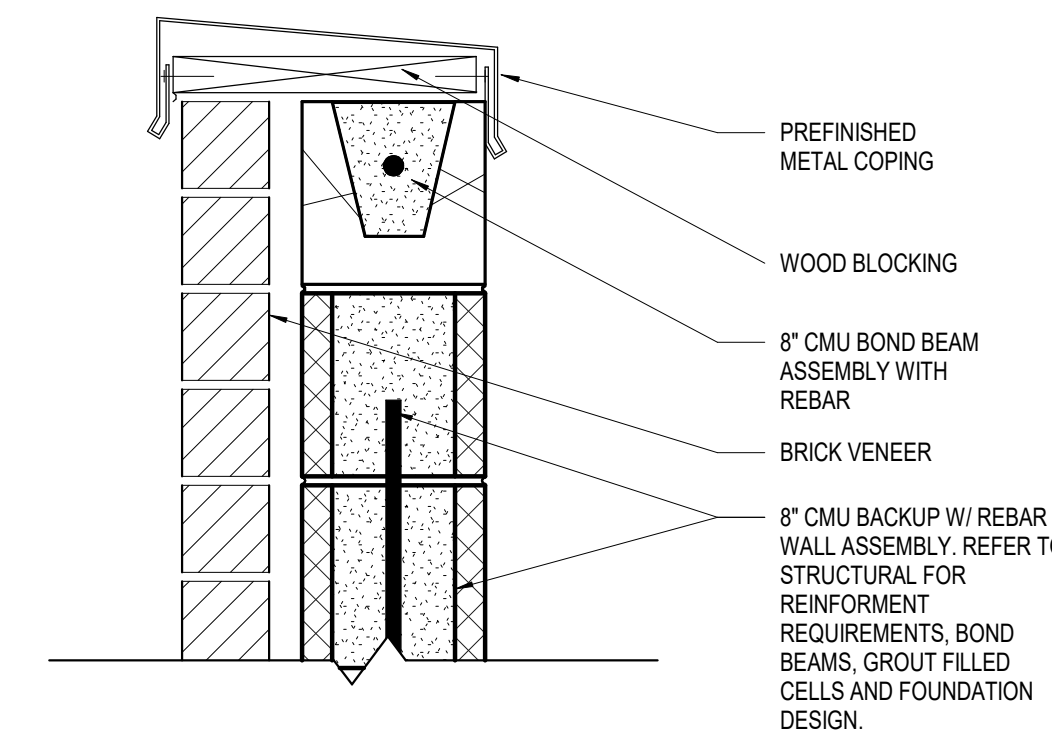
**A3** DUMSTER - ELEVATION @ EAST  
SCALE 1/4" = 1'-0"



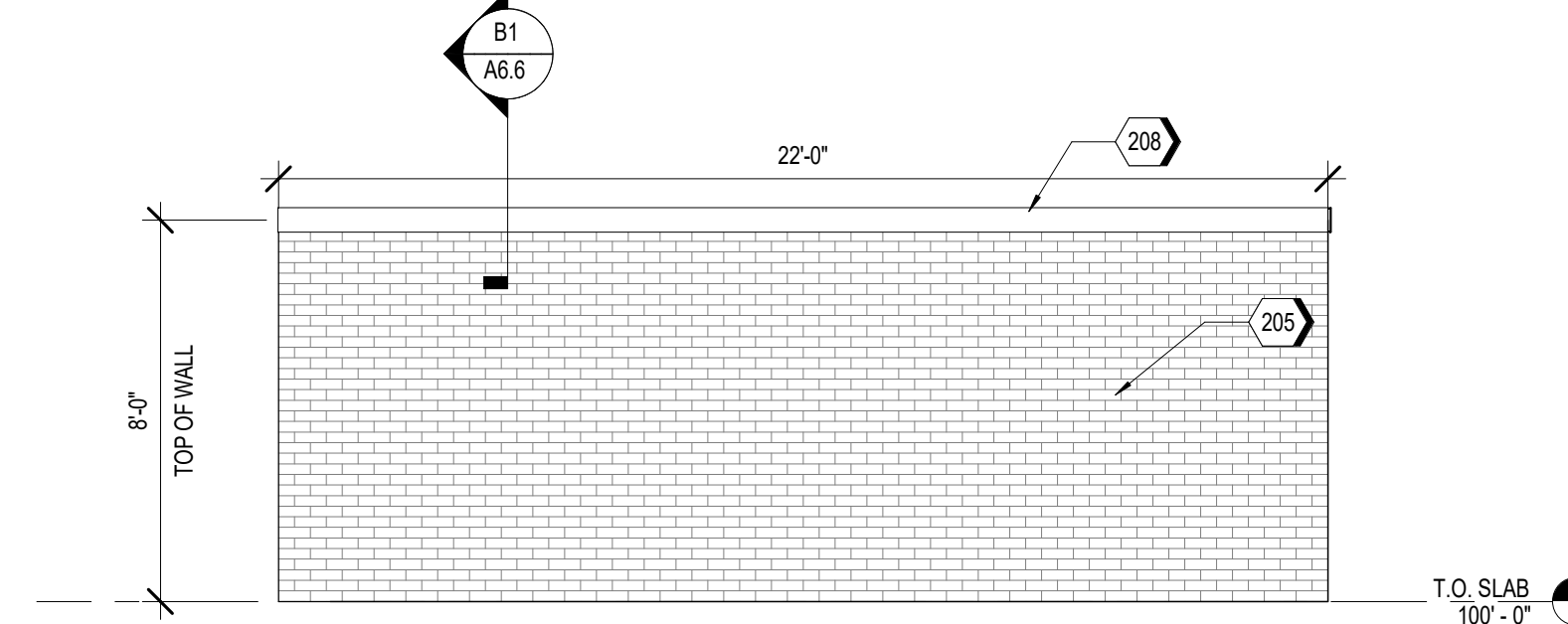
**B2** DUMSTER - ELEVATION @ GATE  
1/4" = 1'-0"



**A2** DUMSTER - ELEVATION @ SIDE ENTRY  
SCALE 1/4" = 1'-0"



**B1** DUMSTER - WALL SECTION  
1 1/2" = 1'-0"



**A1** DUMSTER - ELEVATION @ REAR  
SCALE 1/4" = 1'-0"

**KEYNOTES**

157	PIPE BOLLARDS: IDEAL SHIELD. RE: SPECIFICATIONS. 402 GRAY, PANTONE 402C. RE D3/S5.1
167	PIPE BOLLARD: IDEAL SHIELD. 402 GRAY, PANTONE 402C
205	BR-01; BRICK VENEER. COLOR PARK AVENUE
208	MC-01; PRE-FINISHED METAL COPING
805	REINFORCED CONCRETE APRON